

SITE PLAN AND GROUND STOREY PLAN
SCALE: 1:100

List of Deviation:

Occupancy Classification: H4

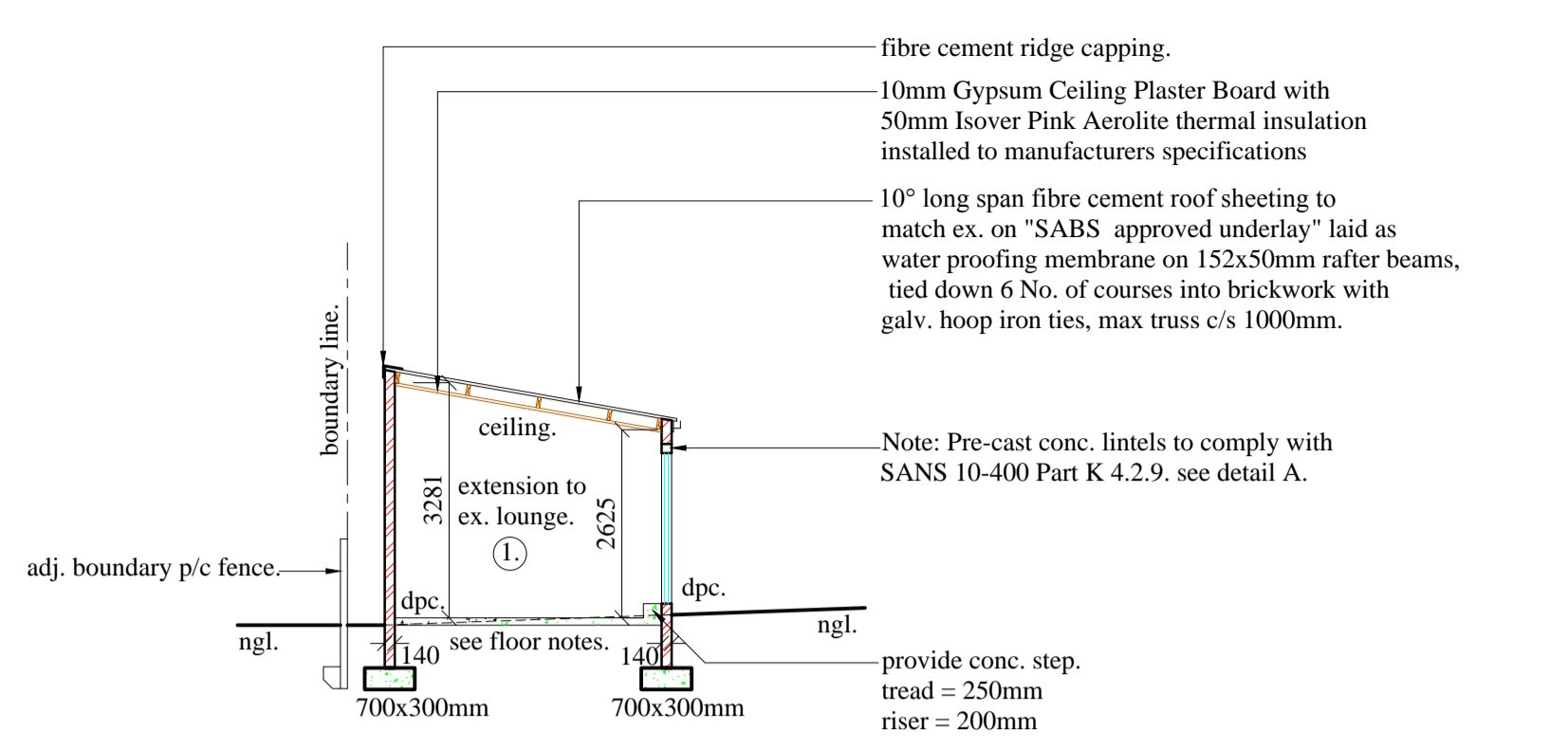
- ① Existing servants quarters changed to Ancillary unit and exist lounge extended.
- ② Lapa and braai area added.
- ③ Pool changed in shape and location.
- ④ Front boundary wall omitted and new p/c fence added.
- ⑤ Tool and store room sheds added.
- ⑥ Retaining walls added.

Note: pc plain louvre panel fence by specialist.
Details:
A to B = 21410
B to C = 2500

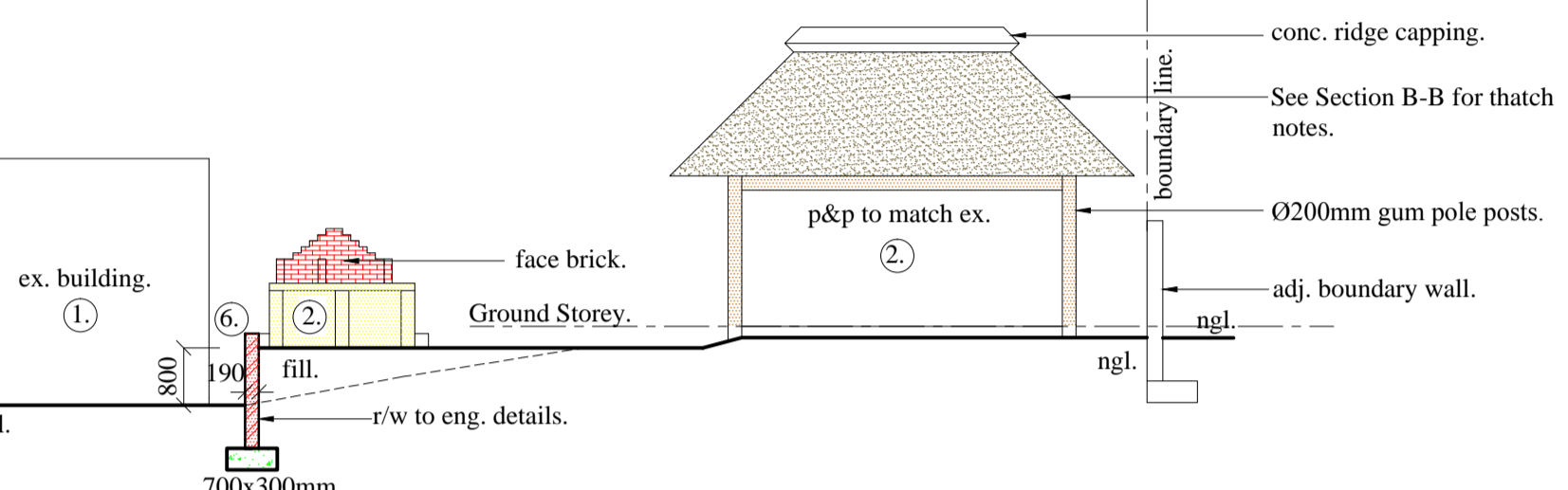
DOOR AND WINDOW SCHEDULE:
SCALE: 1:100

	1600x1200mm	aluminium framed window with 3mm monolithic annealed glass.
	900x595mm	h/w framed cottage pane window with 3mm monolithic annealed glass.
	595x595mm	h/w framed cottage pane window with 3mm monolithic annealed glass.
	900x800mm	h/w framed cottage pane window with 3mm monolithic annealed glass.
	1800x2100mm	aluminium framed sliding door with 4mm toughened safety glass.

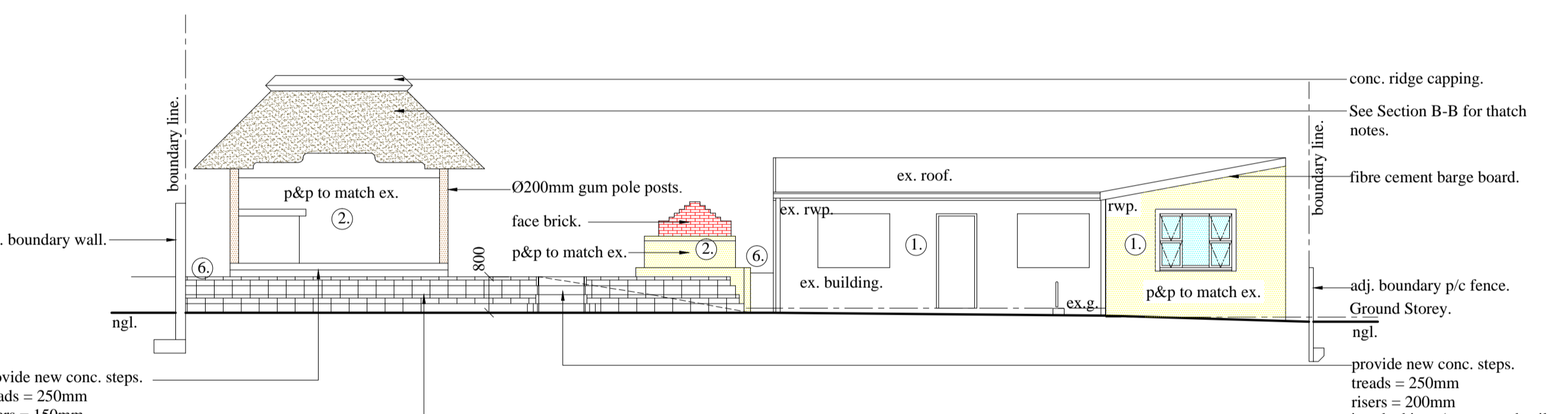
Note: All Glazing to comply with SANS 10 400 Part N.
All safety glass to comply with SANS 10 400 PART N 4.3 & 4.4.



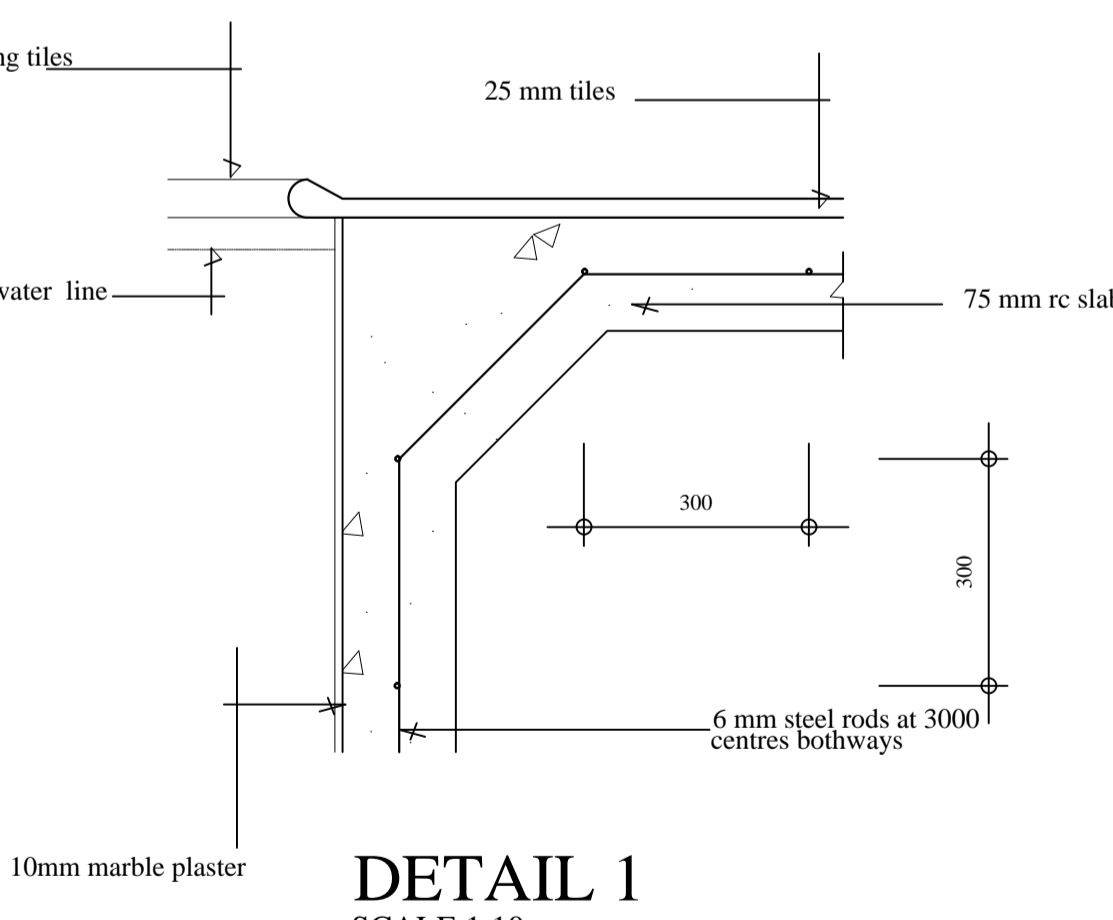
SECTION A-A
SCALE: 1:100



NORTH EAST ELEVATION OF THATCHED LAPA
SCALE: 1:100



SOUTH WEST ELEVATION OF THATCHED LAPA AND EX. OUT BUILDING
SCALE: 1:100



DETAIL 1
SCALE 1:10

Pool Notes:

All levels and dimensions to be checked on site prior to commencement of work.
Final position of pool & pump to be determined on site on day of set-out.
Earth leakage protection to be fitted to the electrical supply.
Precautions to be taken in regards to condensation, flooding, seepage and rainwater in a sunken pump chamber and filter unit.
Pump chamber to be adequately drained.
100mm gunite to be monolithically placed against undisturbed soil or other firm surface as directed by engineer.
12mm minimum cover to all reinforcing.
Soil to be remove off site.
Waste water to be directed to existing sewer drain via break pressure tank.
Pool to be fenced in accordance with SANS 10-400 Part D.

drainage notes

Any damaged fittings to be replaced
All gully surrounds and manhole covers to be 75 mm above ground level.
Sewer connection to be exposed before commencing work
1 E's to all bends and junctions
Soil pipes to be 110 dia p.v.c pipes
Waste pipes to be 50 dia p.v.c pipes

SCHEDULE OF AREAS:

SITE AREA:	= 1129 m ²
EX. COVERAGE:	= 224 m ²
PROPOSED COVERAGE:	= 54.55 m ²
TOTAL COVERAGE:	= 278.55 m ²
EX. FAR:	= 224 m ²
PROPOSED FAR:	= 54.55 m ²
TOTAL FAR:	= 278.55 m ²
SUBMISSION PURPOSES:	= 54.55 m ²

RETAINING WALLS:
ALL WALLS RETAINING EARTH ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL STRUCTURAL ENGINEER'S DETAILS

WALLS:
TWO COURSES OF BRICKWORK ARE TO BE REINFORCED WITH BRICKFORCE WITH SOLID JOINTS IN CEMENT MORTAR IN ALL WALLS BELOW WINDOW SILL LEVEL. WINDOW HEAD LEVEL AND BELOW ROOF PLATE LEVEL.
GALVANISED WIRE TIES TO BE BUILT IN ALL WALLS AT 800 CENTRES HORIZONTALLY AND EVERY 6TH COURSE VERTICALLY.

FLOORS: (OTHER THAN SUSPENDED FLOORS)
100 mm CONCRETE SURFACE BED REINFORCED WITH 6 mm DIAMETER STEEL REINFORCING RODS AT 300 CENTRES IN BOTH DIRECTIONS OR EQUIVALENT B.R.C. MESH ON GUNPLAS U.S.B. GREEN WATERPROOFING LAID IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS ON CLEAN SAND BED. SUB FLOOR GROUND TO BE POISONED WITH PENTACHLOROPHENOL SOLUTION IN ACCORDANCE WITH SANS 10400 CODES OF PRACTICE

TEL : 083 381 3380
PROJECT:
DEVIATIONS TO APPROVED PLAN NO. 446 09 06 FOR
MRS. M. VILJOEN

SITE DESCRIPTION:
ERF 8891 DURBAN
216 SPHIWE ZUMA AVENUE UMBILO

RATE No 14073057

RICHARD A. NEPGEN & ASSOCIATES
DESIGNERS - CONSULTANTS - PLANNERS
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TEL: (031) 464-9989 CELL: 0828238064

SCALE: 1:100, 1:10
DRAWING No 2013/1267
DATE 22 AUGUST 2013

CHECKED R.A.N.
SHEET No. 1 of 2
DRAWN N.P.S.
TRACED