

HERITAGE STATEMENT

submitted in terms of Section 34 of the NHRA (1999) for

81 ROSE STREET, CAPE TOWN, ERF 1977

DRAFT FOR COMMENT



20 January 2020

Prepared by Rennie Scurr Adendorff Architects on behalf of Brian Green Investments cc



RENNIE|SCURR|ADENDORFF
HERITAGE

EXECUTIVE SUMMARY

The site, 81 Rose Street, erf 1977 Cape Town, is located on the east/city side of the block bounded Buitengracht, Wale, Rose Streets and Helliger Lane. It is a two storey, flat roofed dwelling with commercial ground floor premises opening on to Rose Street. It shares party walls with neighbours on three sides.

The structure dates to c1810. It lies in the City of Cape Town (CoCT) Bo Kaap Heritage Protection Overlay Zone (HPOZ), and within the SAHRA-proposed Grade I National Heritage Site. The site is over 60 years and protected in terms of Section 34 of the National Heritage Resources Act, 1999 (NHRA).

The owner wishes to make alterations to the building to upgrade the interior space. This envisages the reintroduction of a ground floor residential component while retaining the street-facing commercial space, and improving the first storey residence. Works require the demolition of two small lean-to courtyard structures, minor alterations to interior layout, and new openings on the front facade.

The site has undergone significant changes to its internal layout and front elevation, with the aesthetics marred by horizontal format metal-frame first floor windows. However, the historic layering is clearly legible in much of the fabric, and this layering contributes to a reading of the history and evolution of a typical 200 year old Bo-Kaap shop/dwelling.

The site has a social heritage component for its 90 year history of use as a barber shop. There is an additional socio-political layer of significance in that previous owners, not racially classified white, were able to continue residing at and working from the site despite the 1965 White Group Area proclamation.

The significance of the site extends beyond its intrinsic qualities to include the relationship with its adjoining neighbours: Rose Corner Cafe is a significant socio-cultural landmark and the two-storey corner shop/dwelling c1814 with 1897 alterations by architect John Parker.

Given the protections that apply to Bo-Kaap properties, this report finds the existing Grade III C appropriate and sufficient. The heritage significance of the site lies in its contribution to context, both in terms of fabric of the structure and its socio-cultural associations. The heritage design indicators, which address these points have been closely followed by the design proposal. It represents positive intervention that is sensitive to heritage significance, and should be supported.



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1.0 INTRODUCTION

This Heritage Statement has been prepared to accompany an application to make alterations to the internal layout, rear courtyard and front facade of an early 19th century structure at 81 Rose Street, erf 1977 Cape Town.

The purpose of this report in the first instance was to guide the client and their architect and designer with their proposal, and thereafter to accompany the Section 34 application.

It serves to identify the heritage significance of the building and the potential impacts to significance of any proposed alterations. This report includes an overview of the site and its historical context, a statement of significance, the heritage design indicators and the recommendations and conclusions drawn from an analysis of the proposal.

1.1 Statutory Context

The structure on erf 1977 is over 60 years of age and as such, subject to the National Heritage Resources Act 1999 (NHRA) Section 34, requiring a permit for works issued by the responsible authority, Heritage Western Cape (HWC).

The site has been graded III C in the City of Cape Town (CoCT) Environment & Heritage Resources Management Audit. The site falls within the CoCT Bo Kaap Heritage Protection Overlay Zone.

Comment is required from the following registered Conservation Bodies:

- City of Cape Town Environmental and Heritage Management Branch (CoCT E&HM)
- Bo-Kaap Civic and Rate Payers Association (BKCRA)
- Bo-Kaap Youth Movement
- The site lies within the boundaries of a proposed Grade 1 National Heritage Site so comment must be requested from the South African Heritage Resources Agency (SAHRA) Built Environment Unit.

The site, like its block and all the blocks in the zone bounded by Wale, Rose, Strand and Buitengracht Streets, is zoned Mixed Use 3. This allows for a blend of business, appropriate industrial and residential use, with a wide range of acceptable uses including retail and dwelling. The MU3 allows for development to 100% floor coverage and maximum height of 38m.

1.2 Study Methodology

The history of ownership and use of the structure has been investigated to understand the significance of (among other things) its age, authenticity and associations.

The research has included:

- Historic maps and surveys from the City of Cape Town's historical maps collection the National Archives in Cape Town
- Historic aerial photography from the NGI, Mowbray
- Historic photographic research in the Special Collections of the South African National Library and UCT Jagger Library, and the Archives
- Historic title deeds research at the Cape Town Deeds Office
- Research into records held at the Archives
- Site inspections and recordings
- Review of available literature—books, papers, studies and articles—on Bo-Kaap.

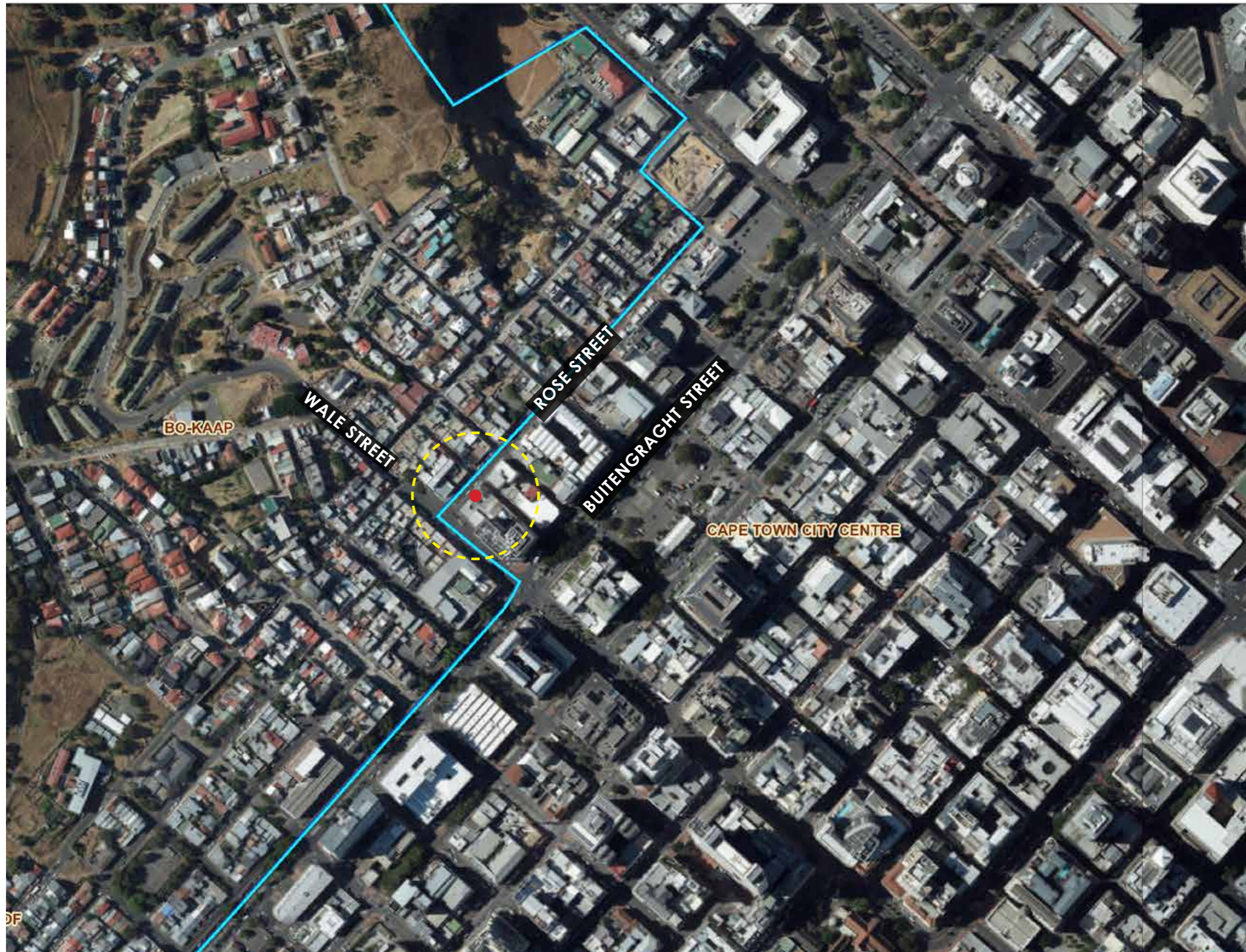
The team involved in the research and creation of this report is Mike Scurr (Architect and Professional Heritage Practitioner), and Wendy Wilson (Heritage Practitioner and Architectural Technologist).

1.3 Limitations

The pending proposal regarding the national heritage status of Bo-Kaap has limited a clear understanding of the statutory condition of the site and its immediate context. Beyond this, no limitations have been encountered in drawing up this report. Full access has been available to the building on site.

1.4 Statement of Independence

Neither of the heritage consultants involved in the preparation of this report has any legal ties to the owner of the property or to any of the professionals on the project. There is no financial gain tied to any decision concerning this application. Professional fees for the compilation of this report are paid by the applicant but are not linked to any desired outcome.



KEY

 Study Site

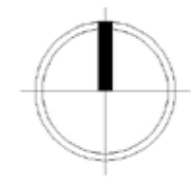


Figure 1. Locality Map: 81 Rose Street, Cape Town (CoCT)

2.0 SITE DESCRIPTION

Erf 1977 Cape Town is located on the east/city side of Rose Street, Bo-Kaap, in a block bounded by Buitengracht, Wale and Rose Streets, and Helliger Lane. Rose Street forms the current administrative boundary between the Cape Town City Centre and Bo-Kaap, as such, the site lies within Cape Town City Centre administrative area, although within Bo Kaap Ward 77.

Rose Street also forms the eastern boundary of the sector of Bo-Kaap that is a Grade II Provincial Heritage Site (PHS), in part, by virtue of its 1966 National Monument declaration. As such, the site faces on to the buildings of the PHS.

Historically, the Bo-Kaap is made up of several areas with unspecified or inconsistent boundaries: Schotcheskloof, Schoone Kloof, Stadszicht and the Malay Quarter. In December 2016 Bo-Kaap, became the official name of the wider area.

A heritage study of property in, or adjacent to, Bo-Kaap cannot ignore the contentious and politicised tensions related to the administrative boundaries, social heritage and the impacts of gentrification, and urban encroachment through development. The current boundary on Rose Street is contested by some residents of the area, believing it should more appropriately run along the western Buitengracht Street edge.

The site block, one of the first to evolve beyond the western boundary of the 18th century city, is located at a pivot point between the pressures of the growing city and the sensitive social and cultural condition of Bo-Kaap. The Buitengracht Street edge has undergone full development use, while the upper "half" of the block has retained its smaller scale and finer grain qualities. This serves to buffer the impacts of city expansion, with the Rose Street properties, facing on to the PHS as they do, something of a last barrier to the disintegration of the historic scale, fabric and character of lower Bo-Kaap.

The row of adjoining buildings (of a similar period) which includes the site has landmark quality for both architectural and social reasons. They are: the two storey shop/house on the Helliger Lane corner, the early structure altered in 1898 by architect John Parker for the Ohlssons Brewery Company as the Rose Street Inn, then for over 80 years a butchery; the site—a barber shop for the past 90 years—and Rose Corner Cafe on the Wale Street corner, a significant commercial site and social hub for over 100 years.

The structure on Erf 1977 is a two storey, flat-metal sheet roofed terrace building with a street edge front facade. The ground floor, with its small rear courtyard, is used for retail (81 Rose Street), while a separate entrance gives access to the first floor residential apartment (81A Rose Street). The building shares common boundary walls, to its north side with the two-storey retail/residential structure graded IIIB, and to its south with the single-storey commercial building graded IIIC. The rear shared wall, which encloses the courtyard, is dark blue/grey quartzitic slate stone and might be/incorporate a kraal wall dating to the late 1700s. The shared north wall is of a similar material, probably sourced from one of the Signal Hill quarries (Cole 2002). It is probable that the perimeter walls—all approximately 400mm deep—are similarly stone built.

The ground floor has a main front room accessed by a central door and a smaller rear room. A north side street-edge door opens to what was a separate passage and may have been the primary entrance. It continues to a rear door which opens to a concrete floored extension that opens to the rear courtyard.

The first floor, accessed by a separate door, passage and stairway on the south side, has two street facing bedrooms, a living room which extends the width of the site, and a rear north side extension accommodating a kitchen. This abuts a raised section of the rear, shared, courtyard wall. A south rear extension accommodates the bathroom which extends over the ground floor courtyard and is enclosed by the raised courtyard wall. It is "temporary" in nature, with part timber walls.

Both the ground and first floor have timber floors (some old, some replaced) and concrete in the extension areas and south passageway. Ceilings appear non original. Ground floor doors are timber with timber framed fanlights above; a large, non-original timber frame shop front window is beside the central door. Non-original symmetrically positioned, horizontal format steel framed first floor windows open on to Rose Street. Three rear courtyard-facing windows—each different to the next—are timber framed vertical sash.

There are two outbuildings in the courtyard, one (a W/C) is beneath the first floor bathroom.

The building, the core of which is c1801-1810, has a mixture of original, old (c1870/1880) and 20th century fabric and fittings; condition is fair to good.



KEY
 Study Site



Figure 2. Site map, erf 1977 (CoCT)

Figure 3. Zoning map: Mixed Use (CoCT)

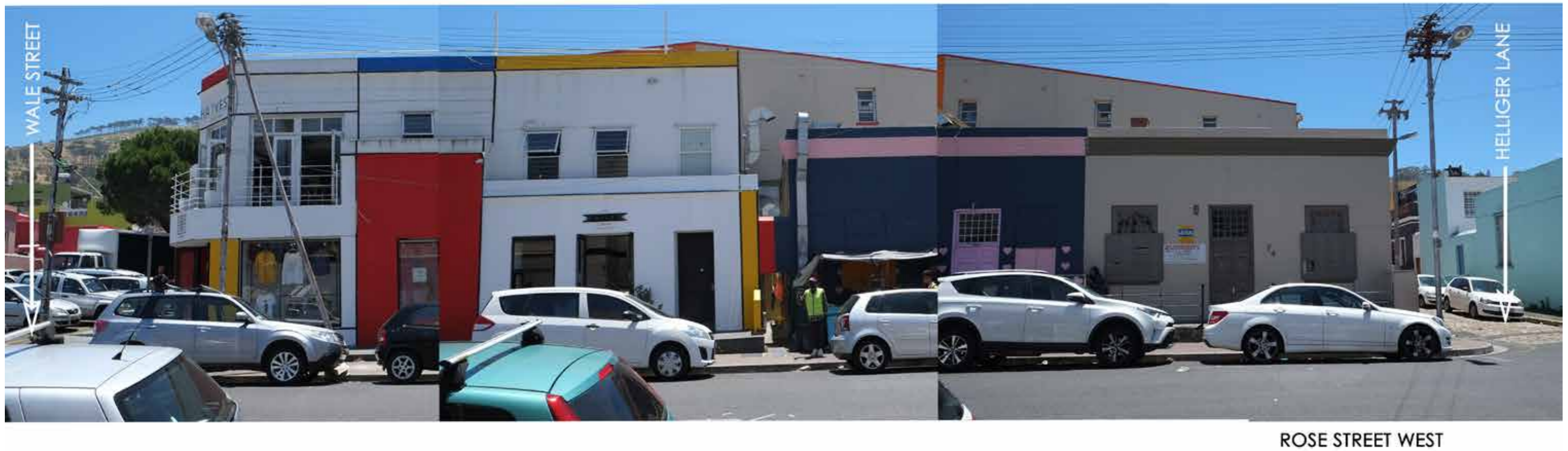
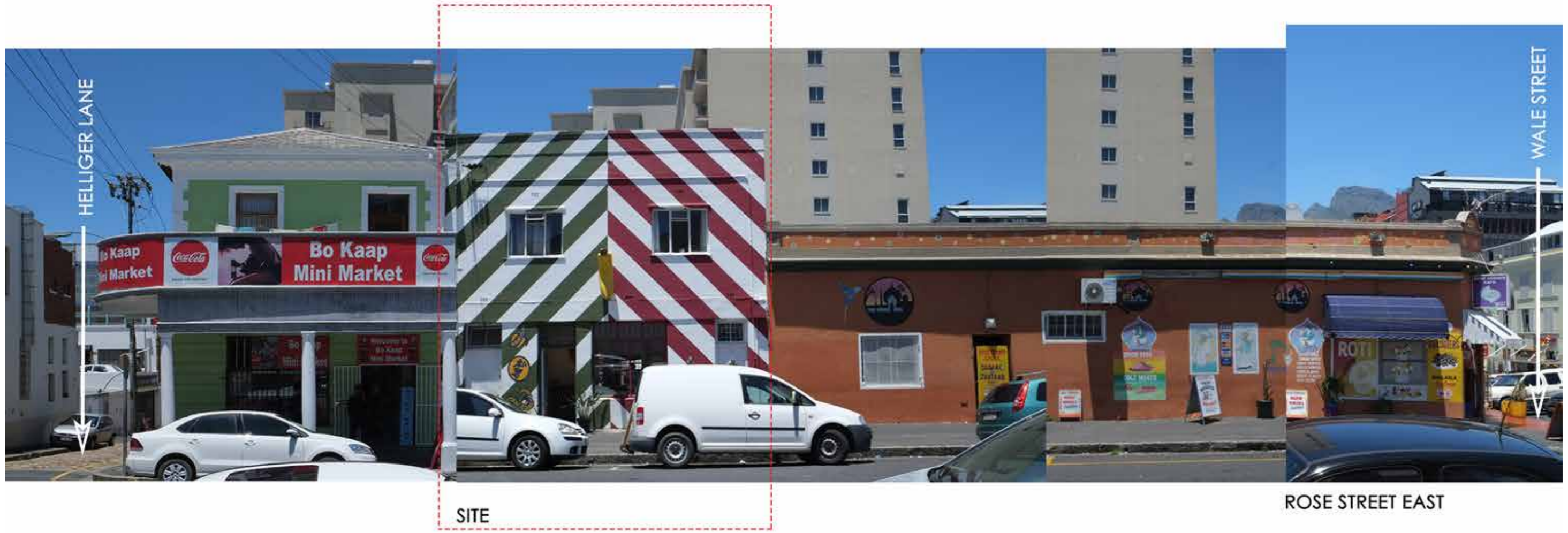


Figure 4. Streetscape Rose Street east and west



Figure 5. Ground floor: two north entries to front room and non-original window.



Figure 6. Ground floor window and separate entry to first storey



Figure 7. Ground floor front room view to Rose Street



Figure 8. Ground floor showing two entries with beam suggesting earlier partition wall



Figure 9. Ground floor front room shared north wall



Figure 10. Ground floor front room south wall



Figure 11. Ground floor rear room view to Rose Street

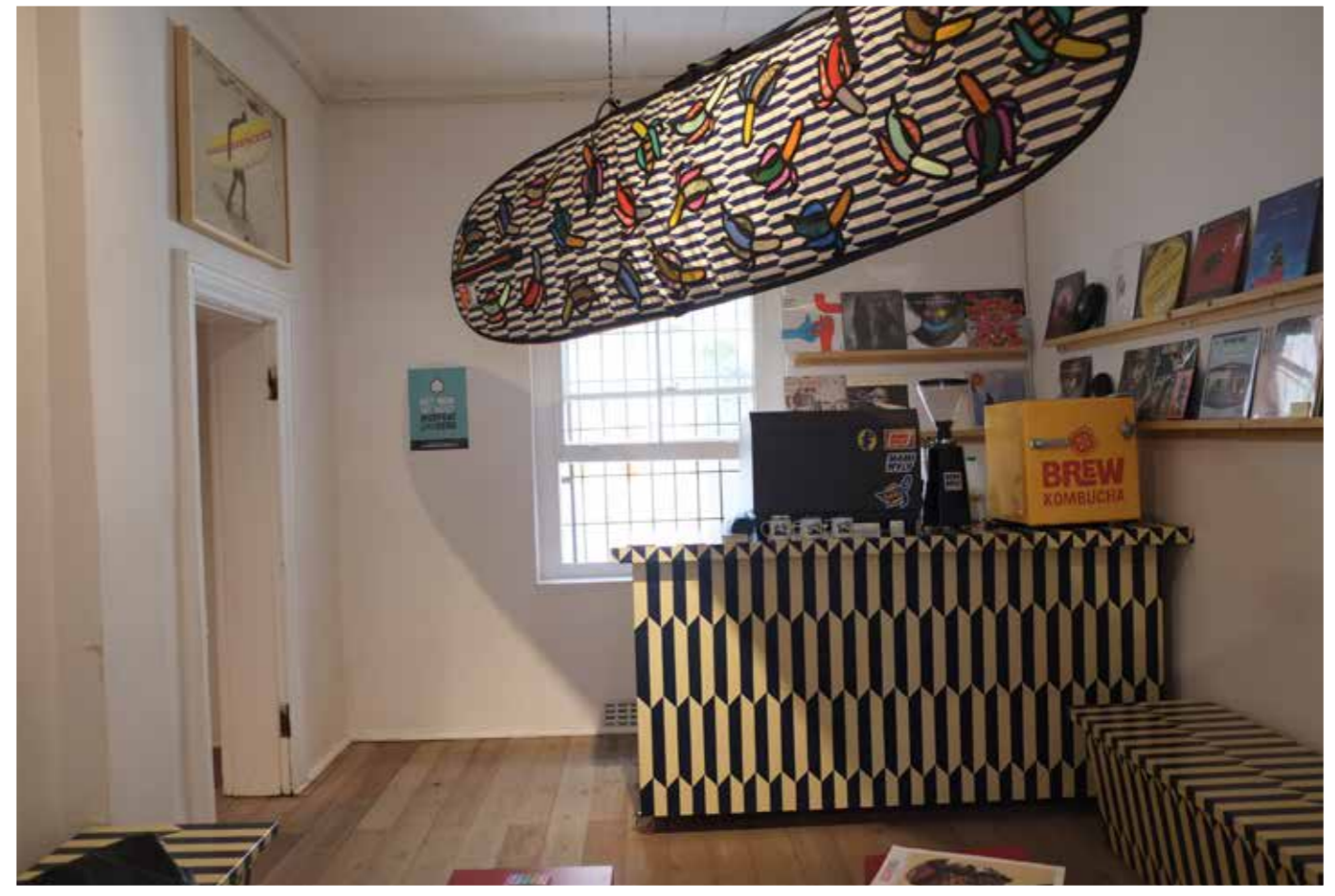


Figure 12. Ground floor rear room, view to courtyard



Figure 13. Ground floor, view to rear from north entry door, and opposite view



Figure 14. Ground floor north entry showing shared wall and ventilator/ceiling line



Figure 15. Ground floor, rear door

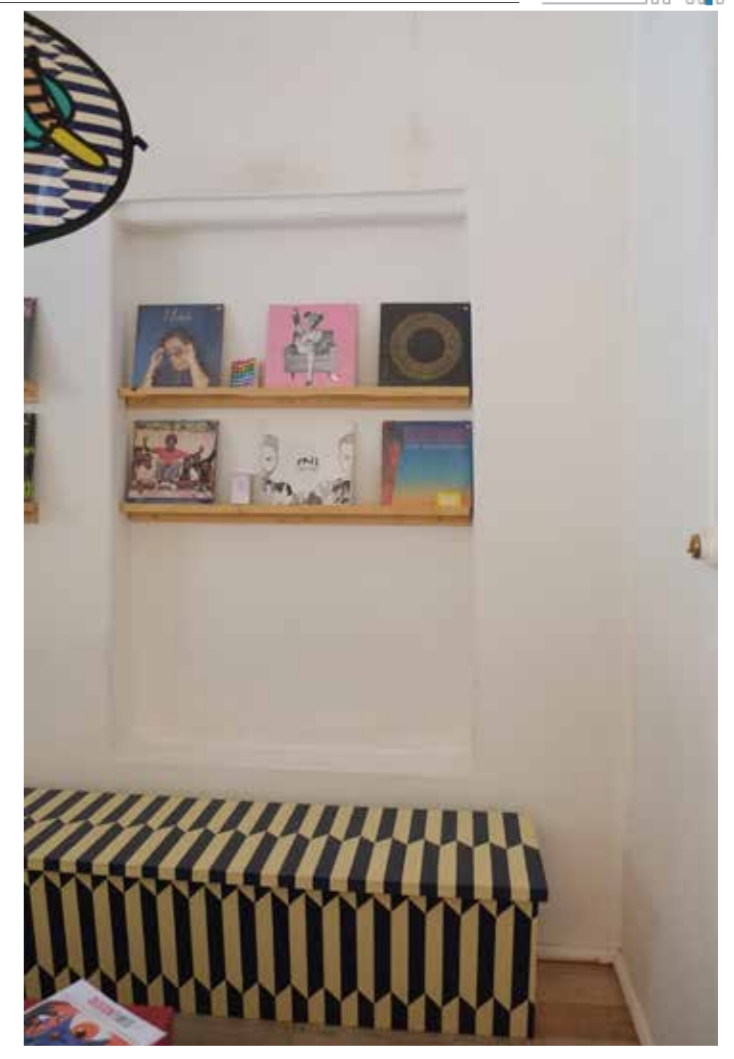


Figure 17. Ground floor rear room has sealed window opening to passageway



Figure 16. Ground floor, rear door showing layered openings

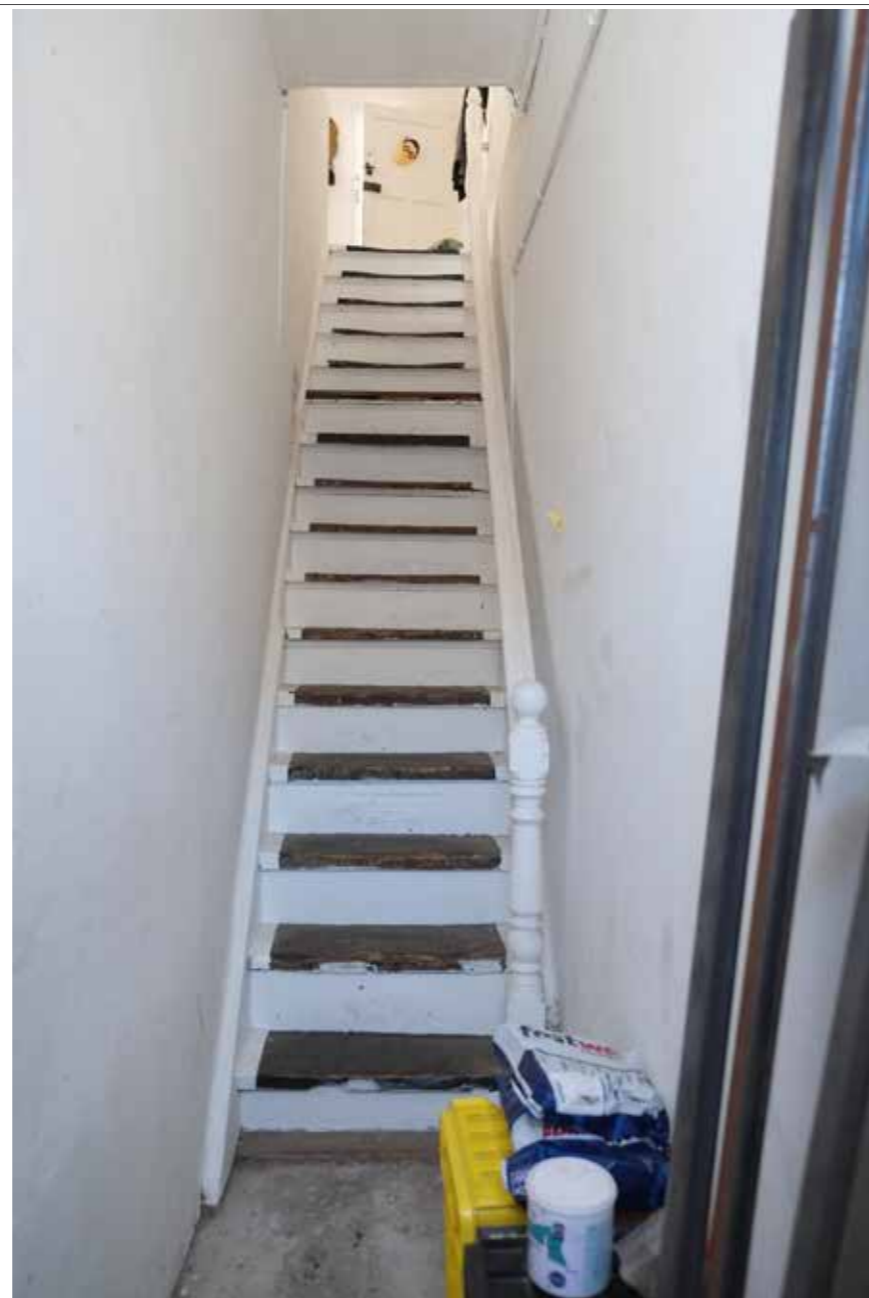
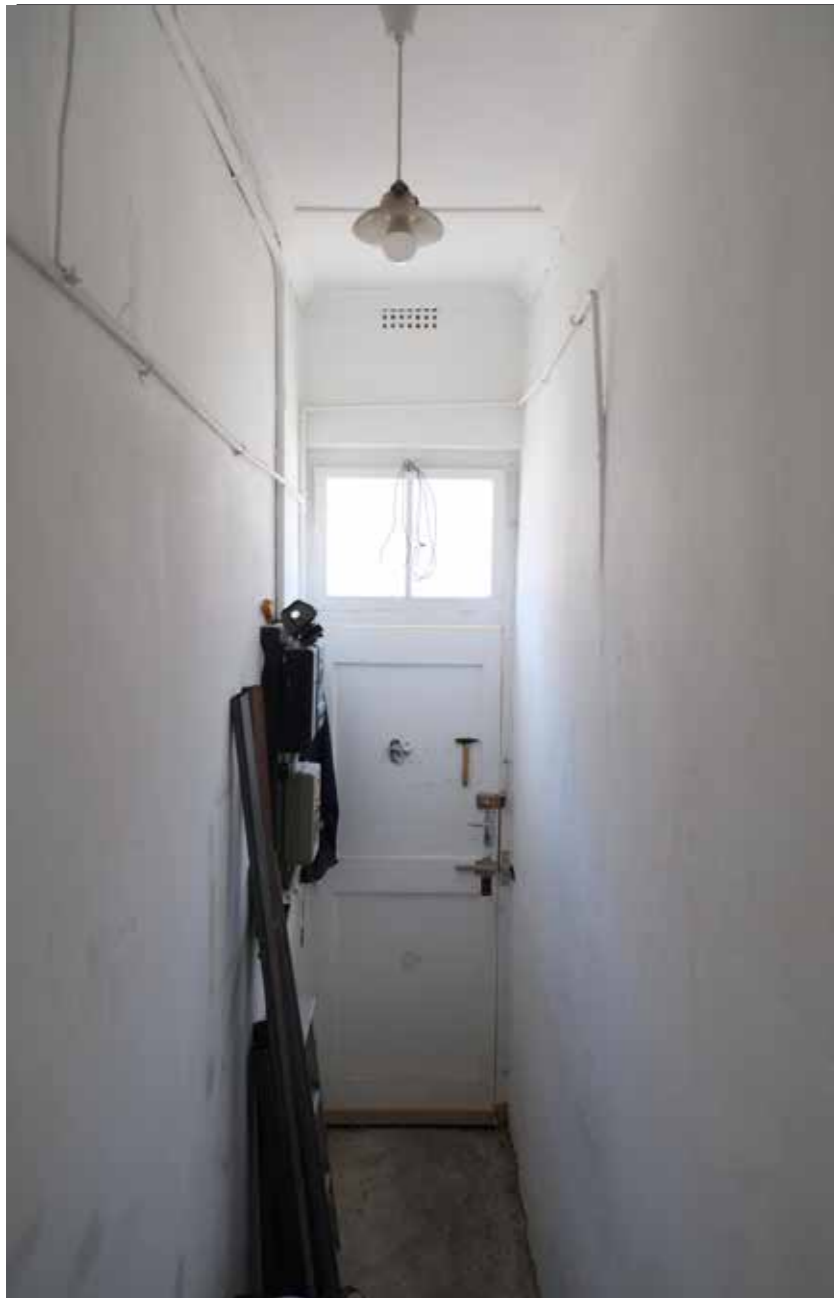


Figure 18. South entry to first storey

Figure 21. Stairway to first floor

Figure 19. Corner of sealed ground floor rear room window



Figure 22. First floor changes to layout (exterior wall removed, slab extended over passage (concrete surface), internal wall added over timber floor)

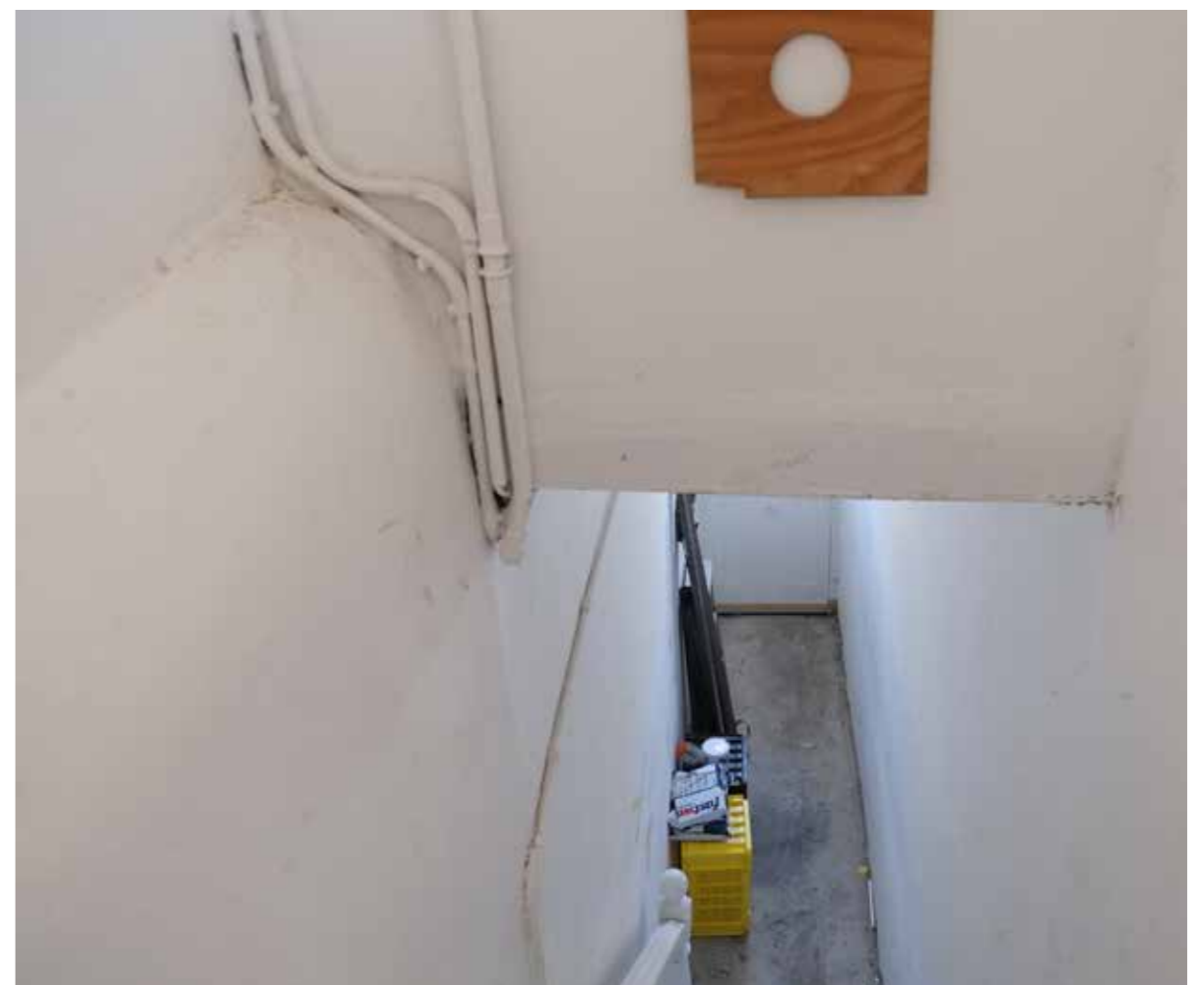


Figure 20. First floor slab extends over passageway; evidence of south wall raised to two storey ceiling height

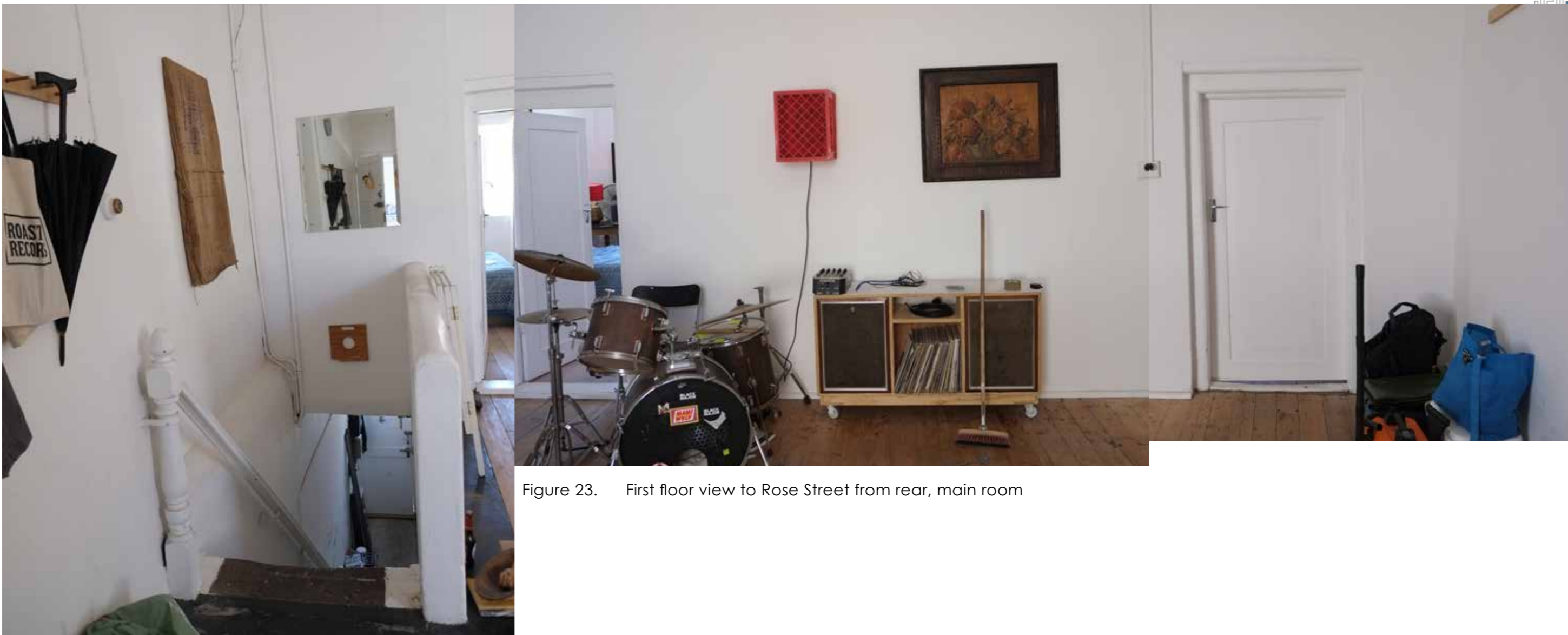


Figure 23. First floor view to Rose Street from rear, main room



Figure 24. First floor south room, view to Rose Street



Figure 25. First floor north room, view to Rose Street



Figure 26. First floor main rear room, shared north wall



Figure 28. First floor main rear room, shared south wall



Figure 27. First floor main rear room view to courtyard: access to north side kitchen extension and south side bathroom extension.

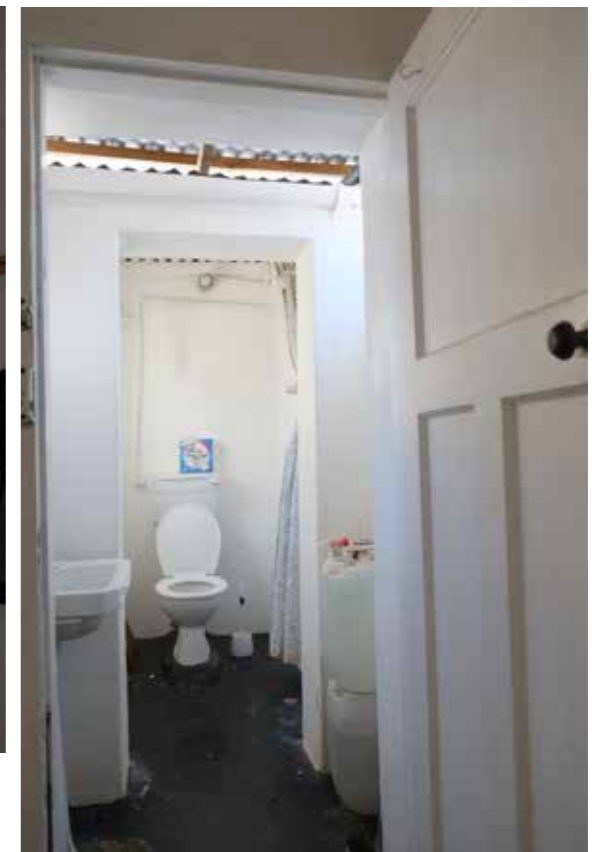


Figure 29. Bathroom



Figure 32. First floor kitchen, shared north wall

Figure 33. First floor kitchen window opening to courtyard

Figure 30. First floor kitchen extension, steps up to main room



Figure 31. First floor kitchen view of rear shared wall and courtyard

Figure 34. First floor kitchen view of courtyard outbuilding

Figure 35. First floor kitchen view to bathroom



Figure 36. First floor view of courtyard rear shared wall



Figure 37. Ground floor, passageway beneath stairs



Figure 38. Beneath the stairs and passageway looking to rear ground floor outbuilding (W/C) south



Figure 39. Ground floor view of rear shared courtyard wall



Figure 40. Courtyard and outbuilding



Figure 41. Ground floor rear window: arched top is an indicator of early stone construction (shallow arched stone lintel in place of rare timber). Wide vertical sash window in frame is almost flush with external wall suggesting is early (pre-c1815) Cape Dutch design



Figure 42. View of rear door from north extension to courtyard, with outbuilding (left). Window (just visible) rebated to internal wall shows the influence of British construction techniques suggesting that the north extension is a later addition

3.0 HISTORICAL OVERVIEW OF THE SITE AND ITS CONTEXT

Five years after the 1652 establishment of the Cape as refreshment station by the Dutch East India Company (VOC), labour needs of the young settlement were such that enslaved people and convict labourers were imported, most coming from Company settlements in South East Asia.

The population grew steadily (although slowly), totalling over 3100 by 1731, a make up of enslaved people (the majority), Company employees, Free Burghers and Free Blacks. This society lived either in Company accommodation or intermingled in town houses, backyard dwellings and in rooms beneath raised stoeps, as best fitted their social station (Worden et al 1998).

The establishment of the town had followed the standard pattern of Dutch urban planning of the time, with an urban grid that easily accommodated expansion. It was a rigorous process involving fixed block sizes, a system of subdivision with set building guidelines and, from as early as 1686, title deeds documenting erven boundaries and ownership accompanied grants and transfers (Van Oers 2000).

Topography, security and the need to retain a cordon sanitaire around the military base, the Castle of Good Hope, meant that the grid expanded west and south, with small farms established on the mountain slopes. An early land grant in the Bo-Kaap area to Alexander Coel in 1751 was for agricultural purposes, the Schotscheskloof farm (spellings vary). A flurry of growth in the 1760s led to the first speculative housing development. In 1763 Jan de Waal began building two blocks of small row-houses, specifically as rental properties ("huurhuisjes"), in an area named Waalendorp, below the farm. This initiative responded to the influx of lower-income European immigrants, and the housing needs of freed convicts and financially independent slaves (Worden et al 1998). The barrier formed by the walled Buitengracht canal was created around this time, c1771 (Picard 1968), and came to segregate the city from the distinct precinct that evolved on the slopes.

Shifting European political tides in the 1770s and 1780s made the Cape vulnerable to strategic takeover. The result was something of a boom time. Dutch allied troops—French and German—arrived bringing their wider support network of servants and family (Worden et al. 1998). The majority of development in Bo-Kaap, spawned by this need for worker class accommodation, took place from 1780 to 1840, a factor which contributed to the homogeneous quality of the architecture (Cook 1977).

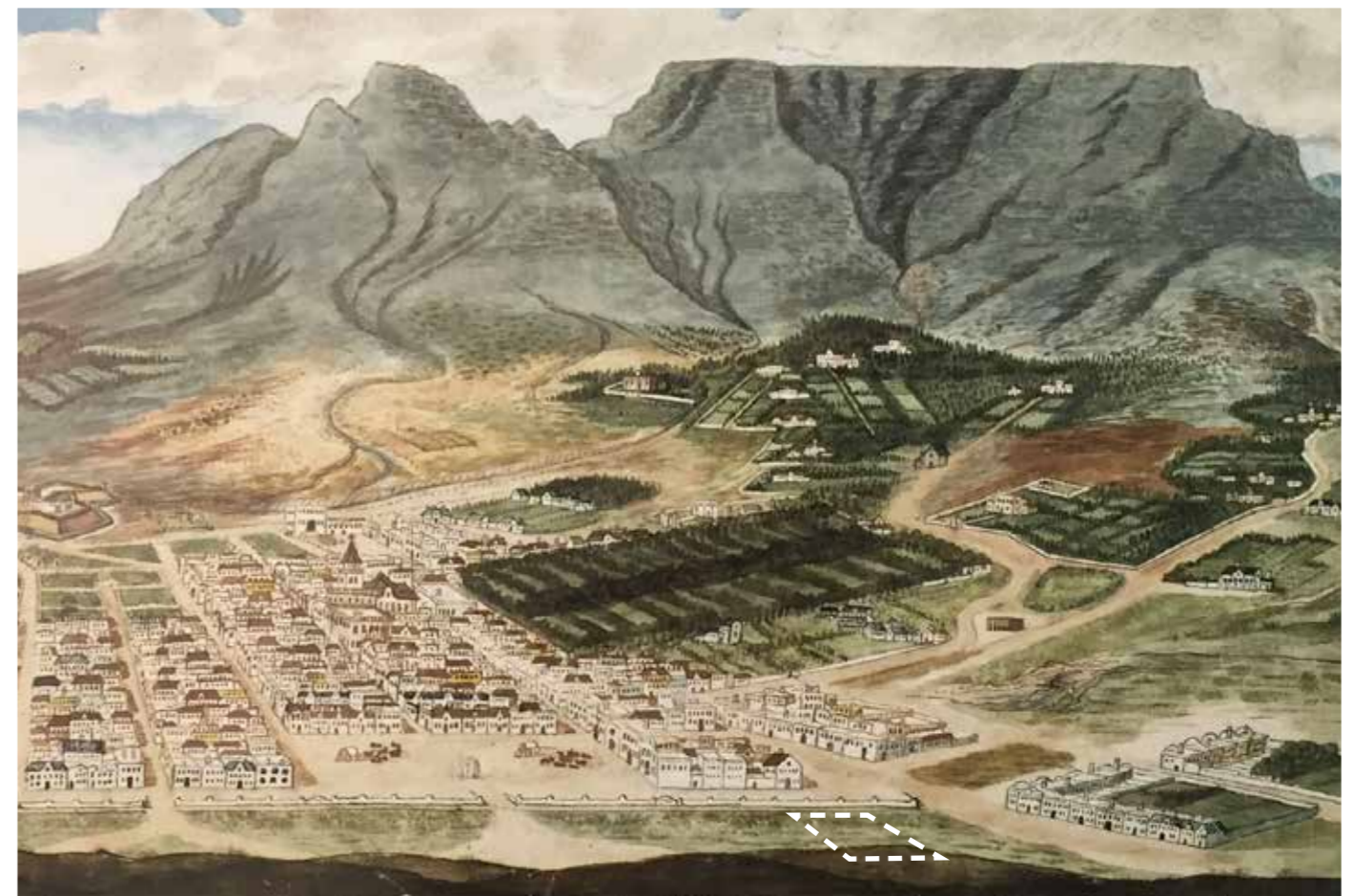


Figure 43. 1777 extract Schumacher "No 2 Gezicht van de Caabstad" with row-houses of Waalendorp lower right. Approximate location of site block marked (VOC Atlas, sheet 147)

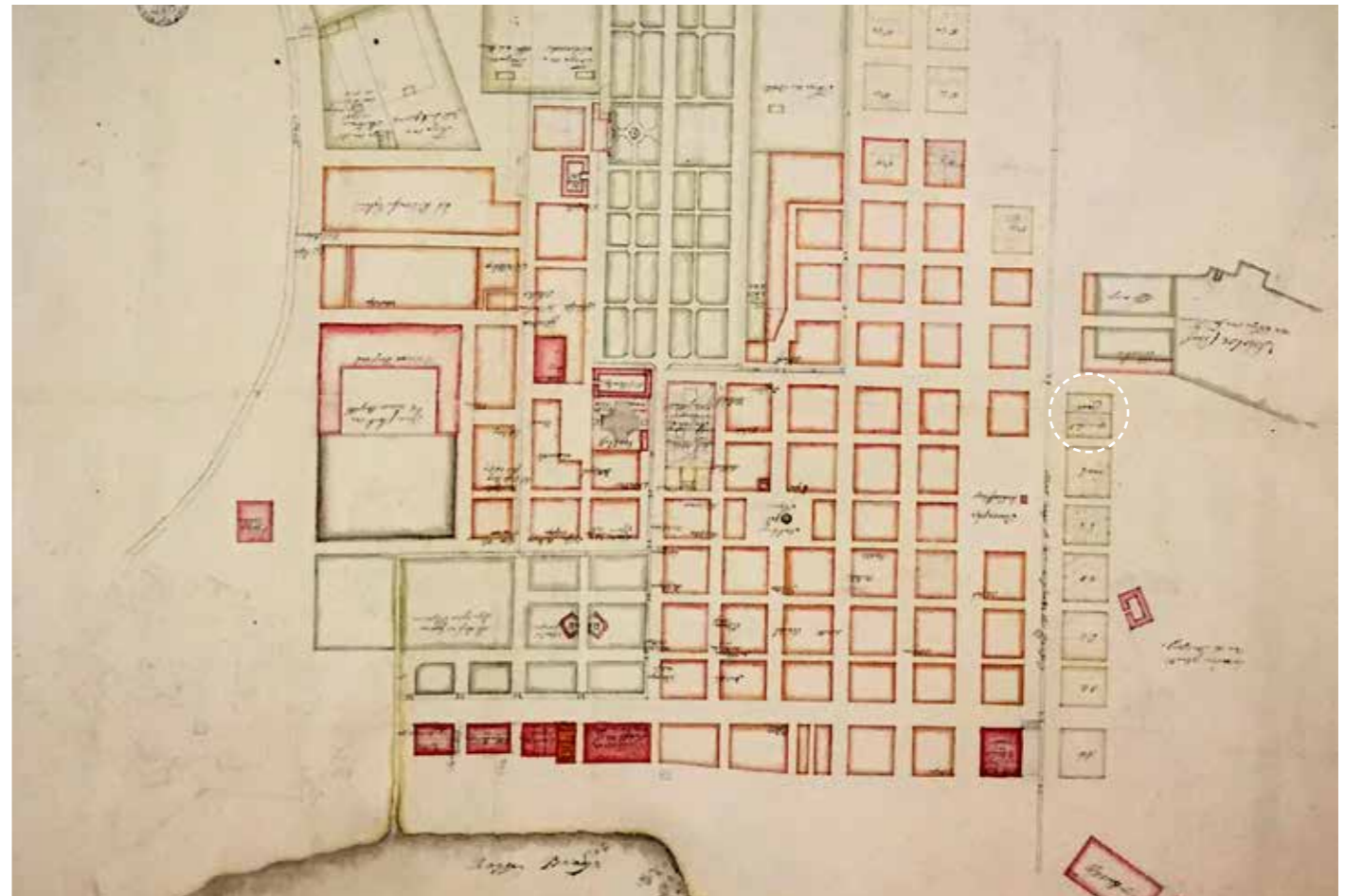


Figure 44. 1785 "onbeboude" plan of Cape Town shows first blocks beyond the Buitengracht marked with lane/block divisions, but undeveloped (Anon, VOC Atlas, sheet 144)

The block which includes the study site is bound by Buitengracht, Wale and Rose Streets and Helliger Lane. It was one of a row of new blocks laid out in the mid-1780s between Wale and Waterkant Streets beyond the Buitengracht. This row of blocks is described on a 1785 plan of Cape Town as “onbeboude”, probably meaning (at the time) uncultivated or vacant.

On 24 November 1786 the site’s block was transferred to Frans Helligers, a German, who is believed to have arrived at the Cape in 1763 and, presumably, the source of the name of Helliger Lane (also spelt Hilliger and Hillegers). A survey record of the site shows the block divided into three portions, with a central square portion “A” entirely surrounded by walls, and described as “craal of Hilligers”. In 1797, two portions of the block were sold, one, “B”, being the entire western tract on Rose Street, which includes the study site.

According to Townsend, the section of Helliger Lane between Buitengracht and Rose Streets was built before 1800—this would include the study site—with the Rose Street dwellings opposite built by 1814, and the row houses on Helligers extended property up the lane completed in the 1820s (Townsend 1977, 92). These built to satisfy the needs of another wave of expansion that followed British Colonial takeover and foreshadowed universal slave emancipation.

The social shake-up of the Cape after emancipation (1834/1838) led to changes to employment and living arrangements. Bo-Kaap—already a focus for Muslim worship with the Cape’s first Mosque building constructed 1809 in Bo-Kaap and burial grounds—was favoured by Muslims able to buy and rent houses. This led to the area being identified as a “Malay Quarter”.

Increasingly racialised politics and waves of slum clearance on public health grounds led to the 1934 Slums Clearance Act. This allowed the city to buy property for demolition in densely occupied areas such as Bo-Kaap. However, intervention by groups and individuals highlighted the historic value, and the value of the aesthetics and homogeneity of the area’s architecture. In 1943 a Malay Quarter preservation committee was established. This, along with the 1956 declaration of a Malay Group Area under the Group Areas Act (1950), stayed much of the demolition and social dissolution. Bo-Kaap was divided into zones reserved for people classed as White, Coloured and Cape Malay (Figure 51). The boundary lines of this complex subdivision show that the site block fell within the White Group area and as such, property owners and occupiers would have been subject to forced sale or removal unless an allowance was made.

In 1966 the houses on a sector of Rose Street restored in 1950 by the preservation

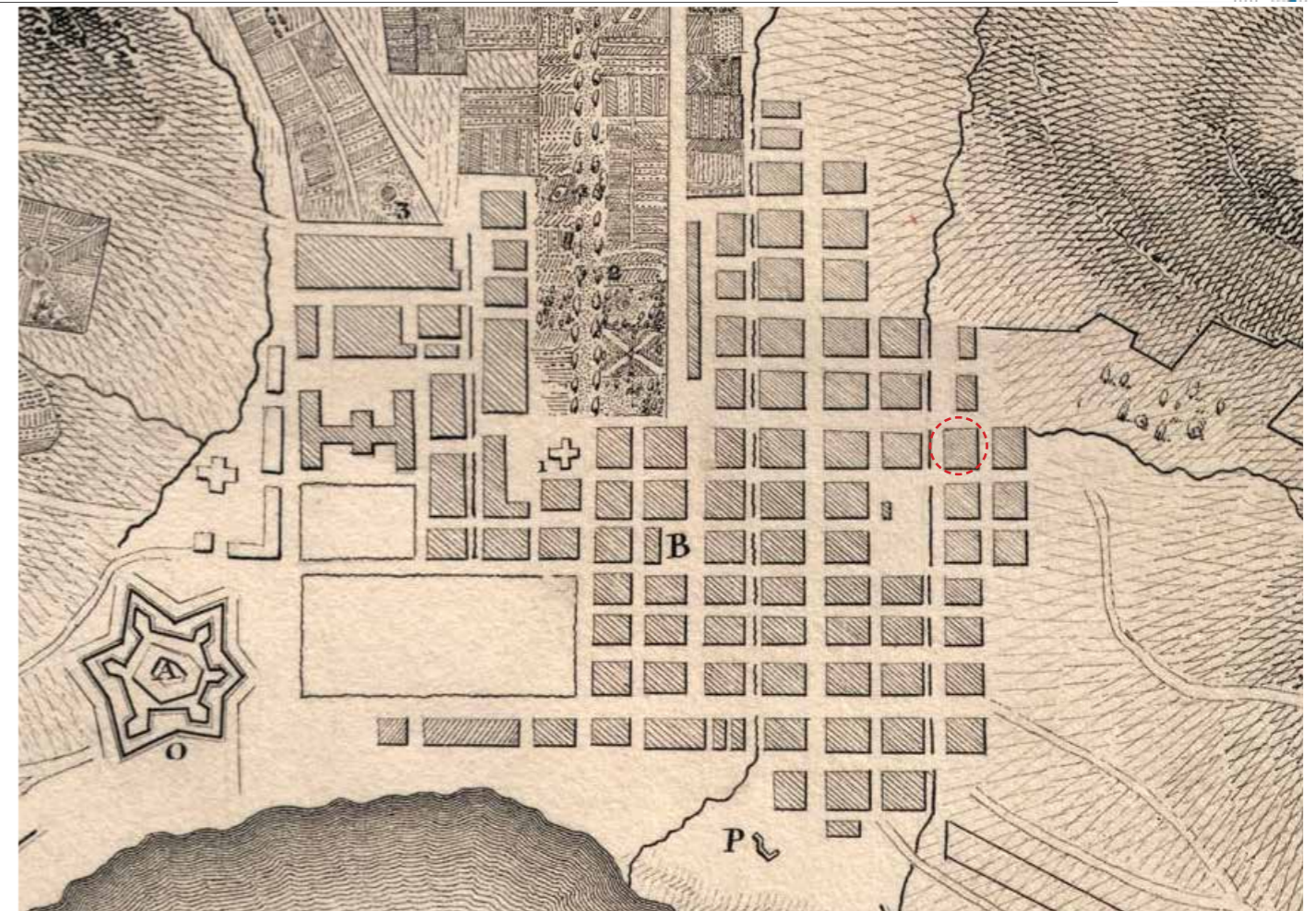


Figure 45. 1824 extract McDonald, Cape of Good Hope (UCT Digital Collections, 19898)

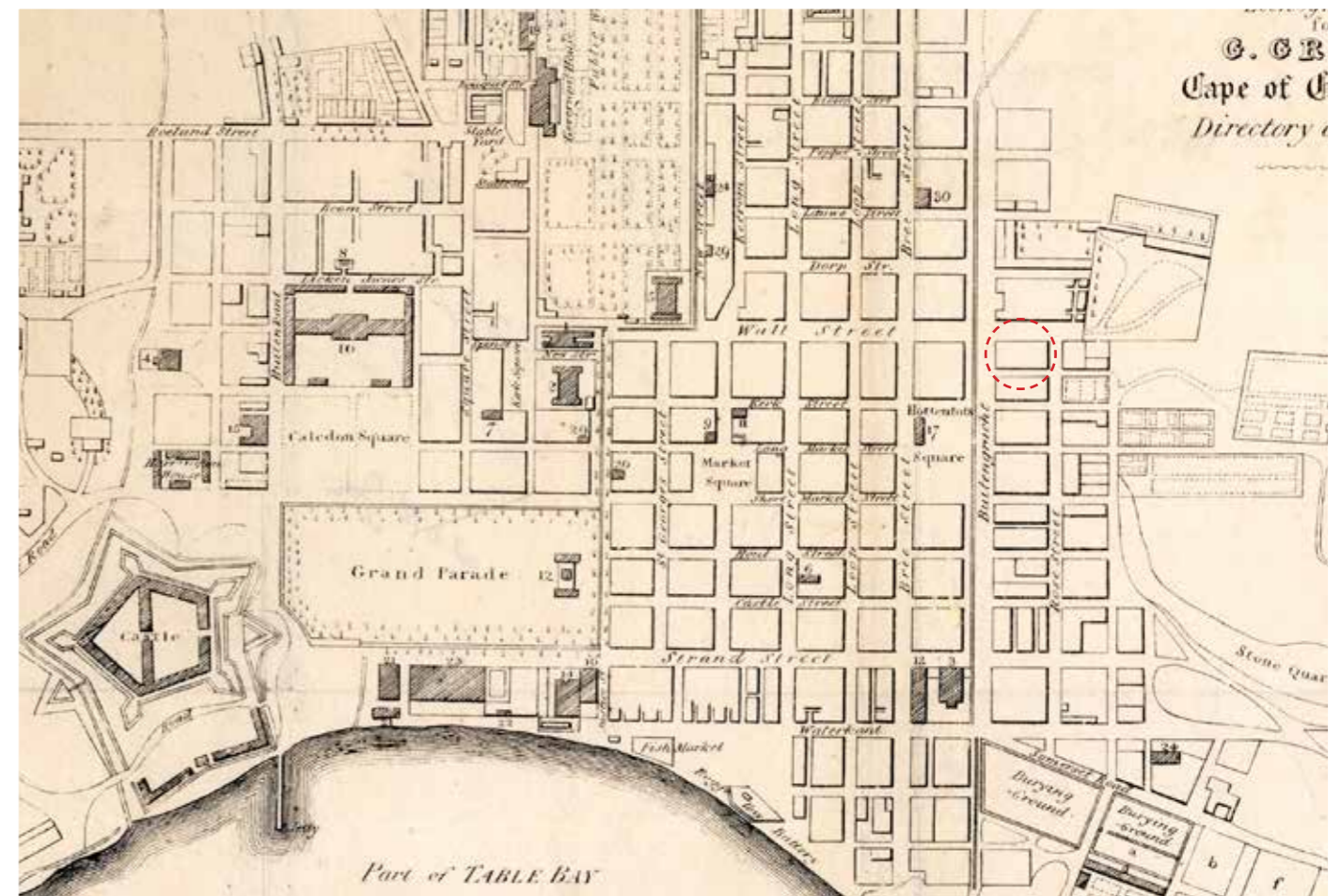


Figure 46. 1848 extract G Greig, Plan of Cape Town (UCT Digital Collections, 19929)

committee were declared National Monuments for reasons of historical value, architectural aesthetics and “character” derived from “social customs and way of life” (BKCRA 2015). In the 1970s a programme of rehabilitation, restoration and development was undertaken, again in recognition of the aesthetics, and in acknowledgement of the socio-cultural uniqueness of the “Malay Quarter”, with a further programme in the 1980s (Truluck 1991). Urban creep and a lack of blanket heritage control for the area has resulted in large scale new developments and insensitive alterations. The impact is most felt on the Rose Street boundary.

3.1 Site Ownership, Development and Use

The Helligers kraal wall, surveyed in 1786, lies along the line of the rear stone boundary wall of the property and is believed to incorporate/be this original wall. In 1797 portion B of the block, including the study site sold to AJ Bosman. An 1801 survey shows a wall on the south boundary of the study site, with an 1814 survey showing shared/party walls enclosing and defining the boundaries of the structure on erf 1977 as it is today. Title deeds accompanying an 1814 transfer describe a house and warehouse. This, an 1810 almanac record of Bosman dwelling in Rooze Street and the existing fabric, suggests that the core defining structure of the study site can be dated to somewhere between 1801 and 1810, certainly by 1814 (see Annexure C for a full list of Title Deed transfers.)

The 1824 McDonald plan shows the block as entirely developed. It was not until 1827 that the subdivision of the site as now described by erf 1977 transferred, with the deed describing a “house and premises” and the survey diagram recording a “plot of ground with house”.

In 1844 the property transferred within the extended family to JP Deneys, and according to the deeds, was transferred in 1857, on his death, to the estate of the late Abraham Gafiieldien (a sale having been agreed prior to the death of both men). “Mohomedan Priest” Abdol Wahup acting as testamentary executor on the behalf of the Gafiieldien estate. A sales receipt dated 1845 from Gafiieldien, enclosed with the transfer documents, suggests that he had been in effective possession of the property from that time.

In 1874 the site transferred to Achmat Mahed (also written Maay and Mijiet), who had arrived at the Cape from India and through the 1850s, ‘60s and ‘70s acquired numerous properties—“hire houses”, houses with land and business premises—in Bo-Kaap, District 6 (then Zonnebloem Estate) and the city centre. Under the terms of the will of Mahed and his wife Gavifva, his entire estate

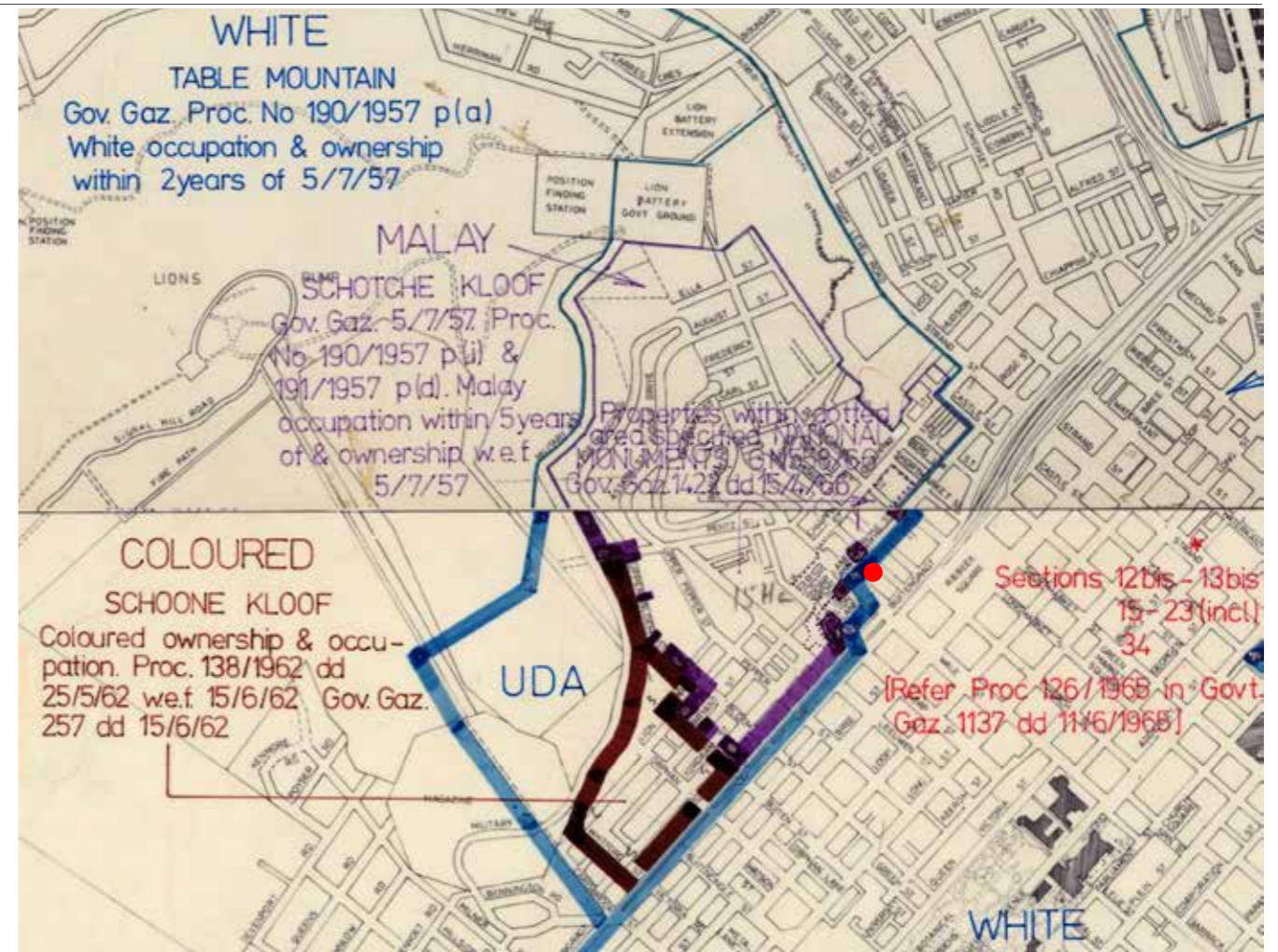


Figure 47. Group Areas: site marked with a red dot, situated in the “White area”. (Extract 1974, CoCT Historical Maps Collection)



Figure 48. Historic image note “wall”, believed to be the existing shared boundary wall (KAB M4/13)

passed to his grandson, also Achmat, in 1901. Cape almanacs of the time suggest that the study site had been and remained the main family dwelling until 1920 when—wedged as it was between the New Rose Inn on the corner with Helliger Lane and the commercial property on the Wale Street corner (alternately a draper, grocer and general dealer)—it was bought by that dealer, Abdulla Saïd, possibly to expand his commercial operations.

For a short period in the 1920s the site was in use as a general dealer until 1925 it changed use to a barber shop, rented by Chhiba Bhaga, for business and family dwelling. This use continued uninterrupted for 90 years until the most recent transfer in 2017.

Bhaga had emigrated to South Africa from India c1902 and initially worked as a general dealer. Although he acquired property in Rose Street (appropriated by the State under the Slums Act No 53, 1934) he appears not to have owned the site at any time. He died in 1950 leaving his son resident at the address. It is probable that there is a family connection to Gopal Chhiba, who bought the site in 1944 following the death of landlord Saïd. The Chhiba family operated the Oriental Hairdressing Saloon barber shop from the street-facing front room of the ground floor, with residential occupation on both ground and first floors. Anecdotally, the barber shop was a highly social location for the men of the area who would gather there. It passed through the generations of the Chhiba family until contemporary social shifts resulted in no further successor. The business and premises were sold after the retirement of the last generation barber.

Despite the forced movement of people resulting from the implementation of the Group Areas Act, and the area incorporating the entire site block being reserved for the White Group, the grouping of Muslim Indian home businesses/property owners, including the Chhiba family, were not forcibly removed. Instead, authorities appear to have preferred to allow the block to serve as a “buffer zone” with their presence described as “tolerated” for the industrial and social buffer it presented between the more homogeneous White and Malay group areas (BKCRA 1915). This was the case with several Indian Muslim-owned businesses on the fringes of designated White areas around Loader Street, in Tamboerskloof/Oranjezicht and Bo-Kaap.

3.2 Dating the Fabric of the Structure

Material availability—a shortage of timber for construction or brick-making, and easy access to stone, lime and whale oil—resulted in a Cape building

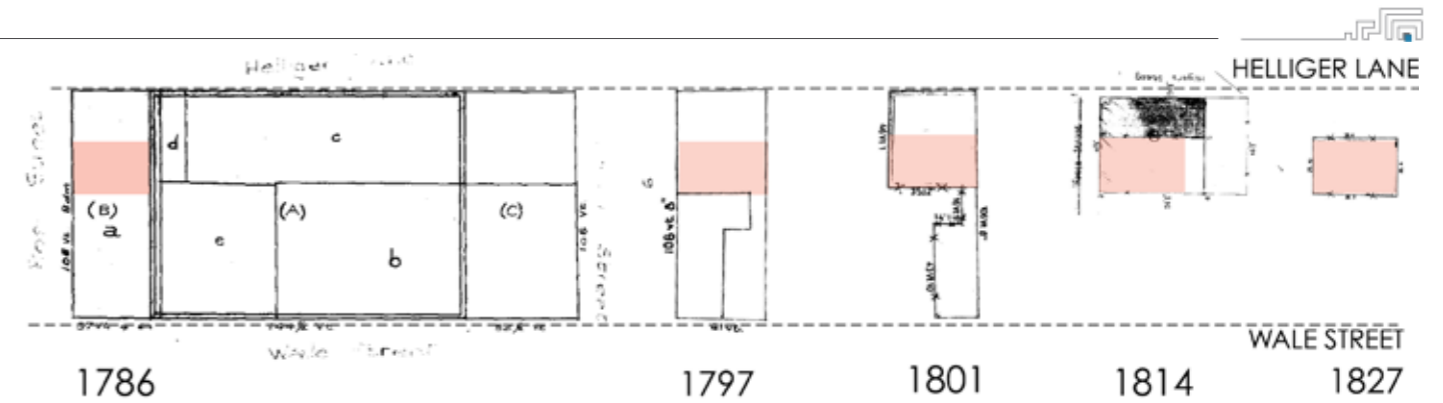


Figure 49. Evolution of subdivision. Site marked in red, “x” marks existing wall shared with neighbouring site.

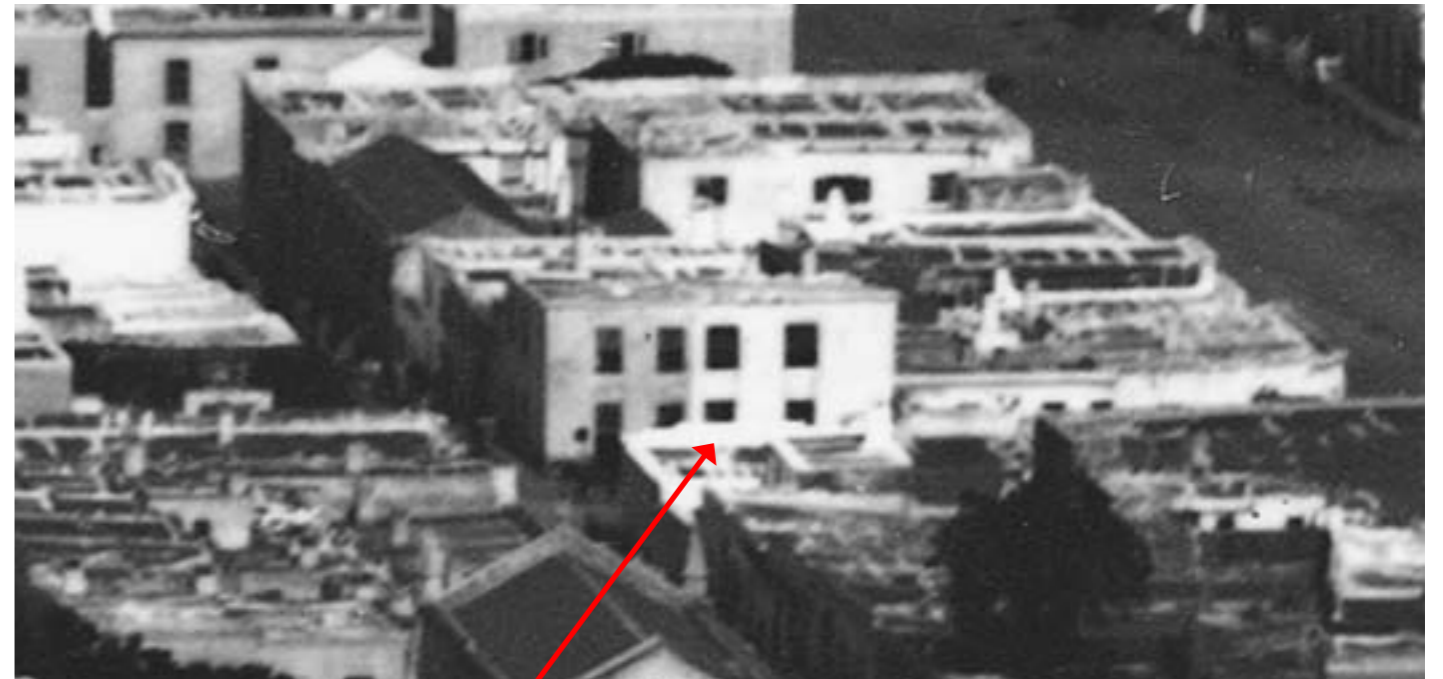


Figure 50. 1859 extract Millard panorama shows the structure as two-storey with raised front parapet (CoCT Historical Image Collection)



Figure 51. 1860 Snow survey shows site developed with structure of similar form to the existing one. A passageway, closed at the street front, appears to separate it from its south neighbour (CoCT Historical Map Collection)

typology. The Bo-Kaap early architecture is typified by simple, flat roofed structures built in terraced rows, often with narrow street frontage.

The site falls into a period of Bo-Kaap architecture described as Cape Dutch influenced (c1760 to c1815) (CoCT 2015). Like most houses of the period, 81 Rose Street has a flat roof sloping slightly to the rear, set behind a high parapet. The internal ground floor layout is much changed, but appears to have followed a typical pattern: narrow street frontage, a side passage that extends the length of the building to the rear courtyard, two to three rooms off the passage lit by openings front, side and rear. It is not unusual for a property to have a narrow side lane, possibly shared by the neighbouring property, giving access to the rear courtyards (Townsend 1977, Fransen 1980).

The first clear image of the structure is the Millard panorama c1859, which shows the site as a two-storey, flat roofed building, adjoining its two storey northern neighbour, the fundamental form already in place. The Rose Street elevation has two vertical format windows on the first floor, with ground floor openings aligned directly below them. The north entrance appears to be a doorway, which is consistent with fabric remnants of the building layout. The other ground floor opening is probably a window to the front room. The other ground floor opening is probably a window to the front room.

The Snow survey (c1860) shows the form and position of the structure as it occupies the site: constructed to the Rose Street building line, with a stoep, an open rear courtyard and a walled passage along the south side. There appears to be a small outbuilding in the rear south corner.

The 1884 Pocock panorama clearly shows the study site much as in the 1859 image, with a street edge wall connecting to the single storey structure that extends to the Wale Street corner.

The Thom survey (1898) shows the open stoep area flanked by a low wall on either side (any reading of a raised stoep has been lost as the road level was lifted when metalled). It appears that the front first storey slab extends over the south passage, which is otherwise open to the back courtyard and W/C. The fabric remnants of the structure suggest that a ground floor window opened to this covered external passage, which has since been incorporated into the structure. The rear north extension, which abuts the shared rear wall, is shown as in place.

The 1925 Goad survey differs from the earlier Thom, in that the courtyard is shown as entirely open, although the rear extension has enclosed the upper

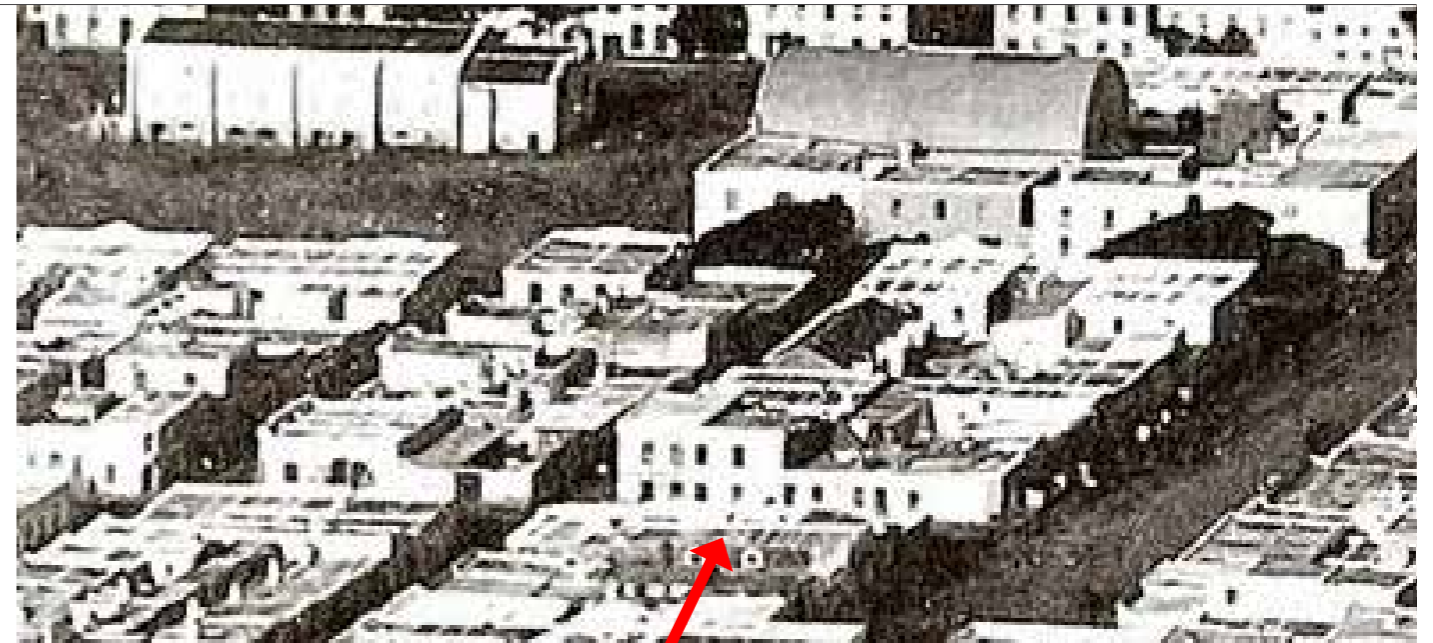


Figure 52. 1884: extract Pocock panorama shows site as 2-storey structure adjoining north neighbour and passage enclosed by south neighbour 's wall

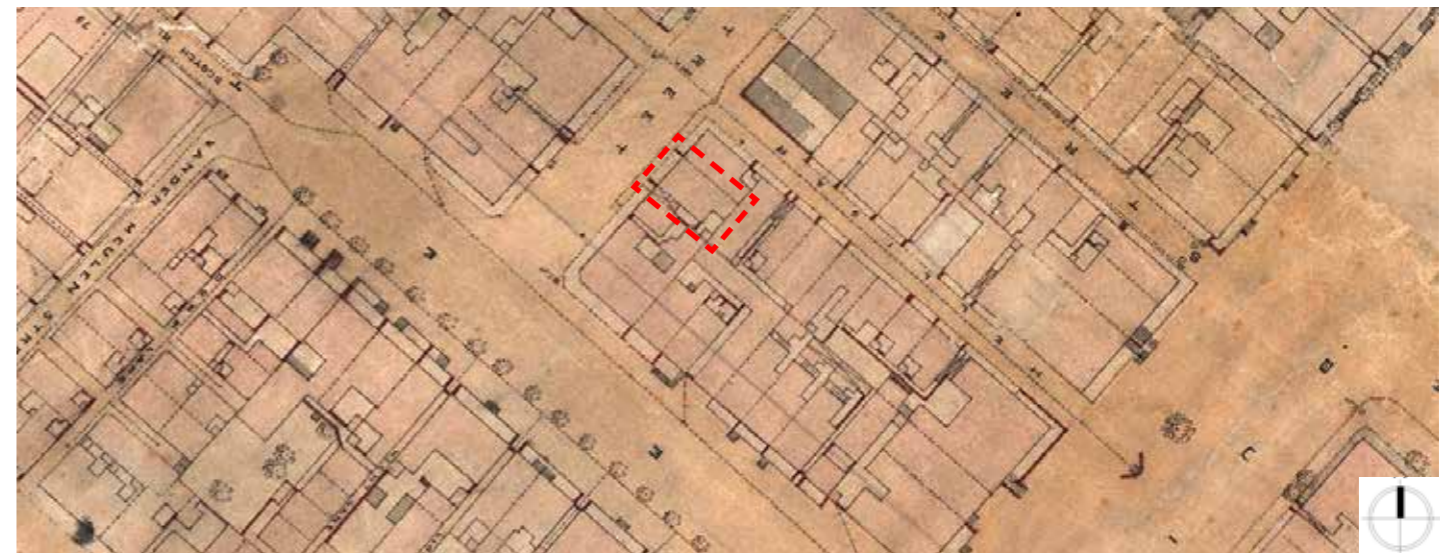


Figure 53. 1898 Thom survey shows structure with rear extension to boundary wall (CoCT EHMR)



Figure 54. 1925 Goad survey shows site as 2-storey masonry dwelling with metal roof and a rear party wall above 6' high. Open light-well south and unconstructed rear courtyard.

floor above the passage way, leaving only a light-well in the open passage.

The 480 Series survey (c1944) shows the light-well with two small outbuildings, while a 1945 aerial photograph suggests that the light well is newly enclosed by a shiny roof. The south side wall is raised to roof height, as is still evidenced in the building fabric. The outbuildings appear the same as the currently existing ones.

It has not been possible to confirm if the structure was built as two storeys or if the second was added pre c-1860. Two storey structures existed in the area c1810, although were rarer (CoCT 2015). Wall depth suggests that it may have been built as two storeys with external access to the first floor from the open passage. The 1983 study of the buildings of central Cape Town identifies the site as double storey c1860 (evidenced by the Millard panorama), with parapets and flat roof. It finds that it has old fabric, but that it has been extensively altered, with "various timber doors at ground level, steel casements on upper floor" (Rennie et al. 1983, 323).

The site is characterised by its historic layering, which is "unselfconscious" and contributes to a reading of the structure's evolution:

- The fundamental form is largely original, with mostly old accretions, out buildings and enclosures. The external wall fabric is probably all original solid stone with infill material.
- The internal layout is largely non-original and has possibly been changed multiple times.
- The front facade is much altered and may incorporate no original material besides the walls themselves.

Fabric elements and layers identified include:

- Rear stone courtyard wall possibly late 18th century, later raised
- Remnant openings such as the sealed window to the passage
- Original south passage/party wall later raised to enclose structure
- Evidence of an earlier 400mm first floor wall
- Rear ground floor doorway altered/reduced possibly multiple times
- Internal front room wall removed
- Evidence of a lowered ground floor ceiling (timber cut-outs to accommodate airbricks) possible older/original ceiling above
- First floor ceilings probably non-original, possibly concealing earlier ceiling
- First floor internal wall mounted on the suspended timber floor, with unmatched doors, all probably a later (but not recent) addition
- Windows and doors mismatched and date from early 1800s to 20th century



Figure 55. 1926: Aerial image, site circled red (NGI)



Figure 56. c1944 480 Series survey shows light-well opening, rear north extension and outbuilding (CoCT Historical Imagery)



Figure 57. 1945 aerial image light-well enclosed, roofing appears new. Rear outbuildings adjoining east party wall in place. Site circled in red (NGI)



Figure 58. Oriental Hairdressing Saloon (Wilson 2015); painted facade (Google streetview 2017)

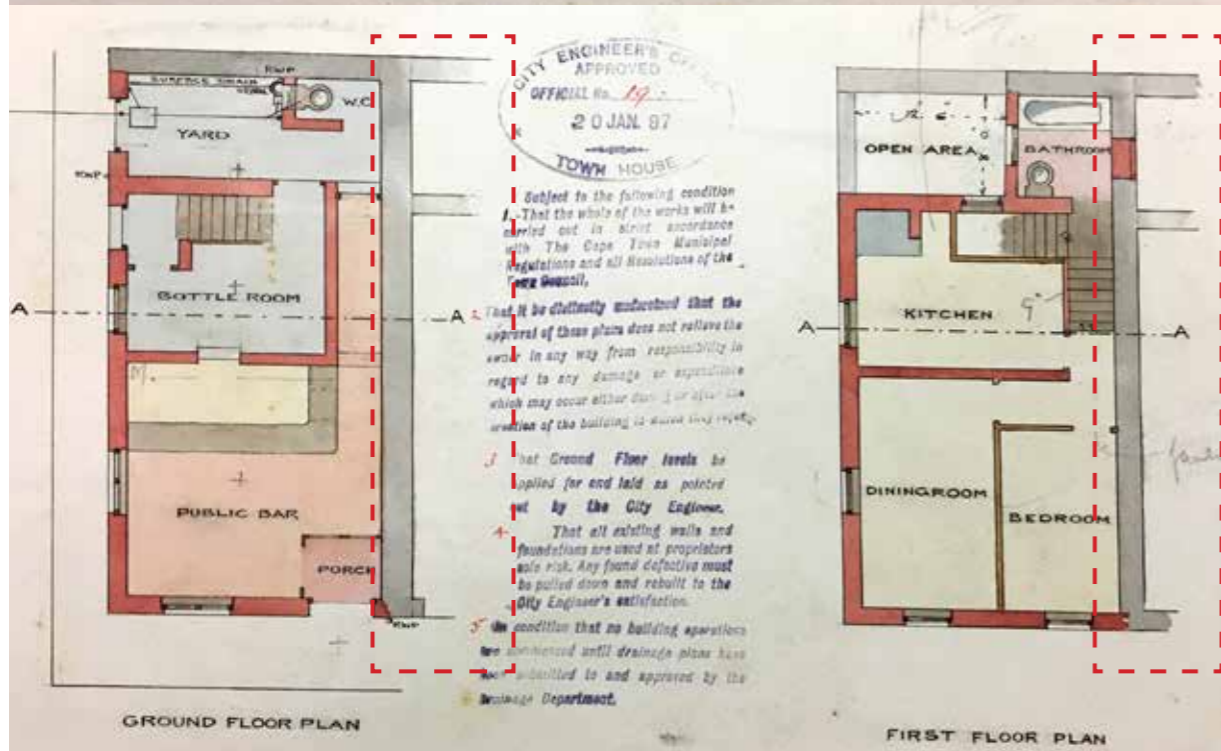
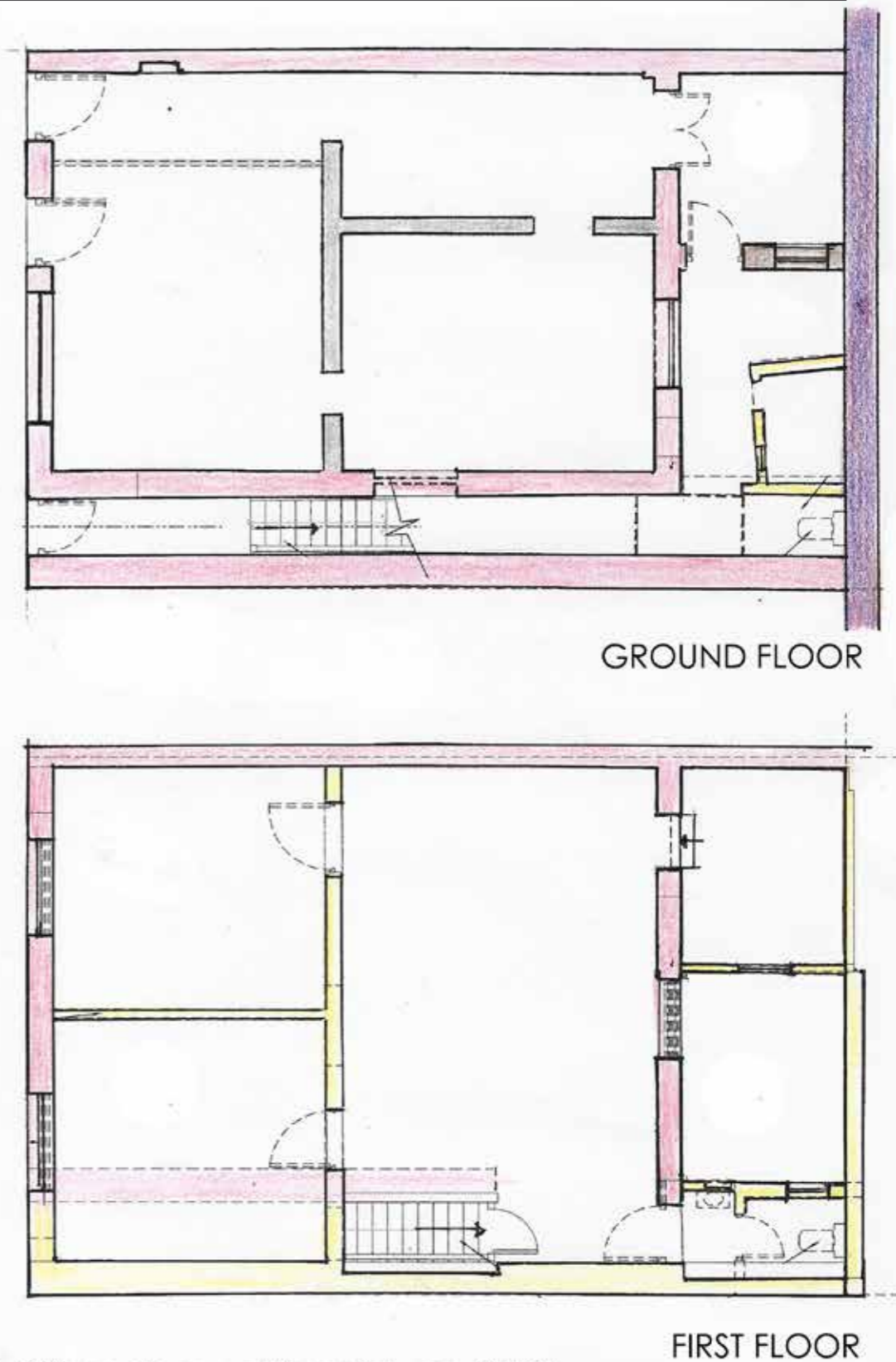
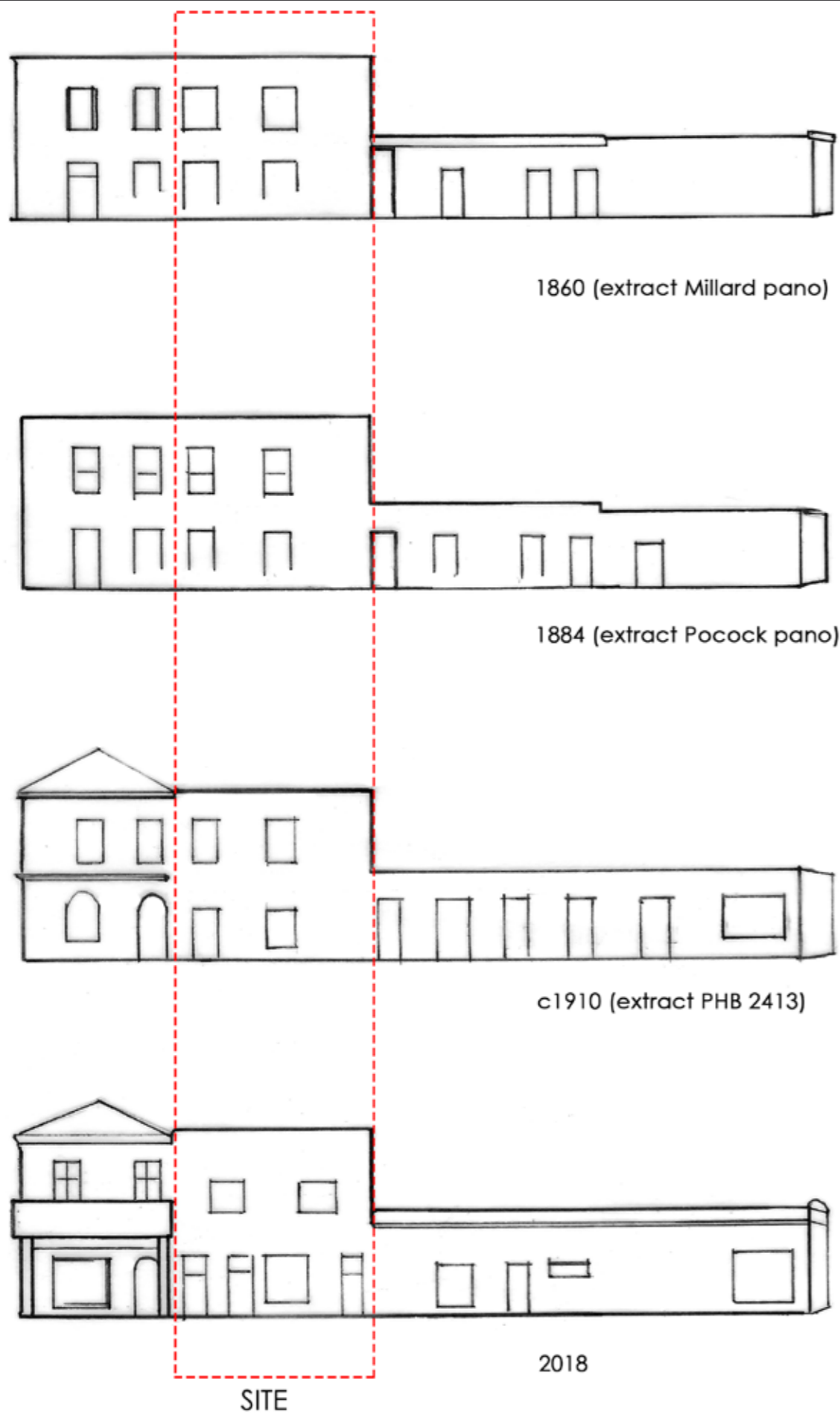








Figure 59. Extract 1897 Parker drawings for alterations to neighbouring New Rose Inn show shared wall and a portion of the front elevation of 81 Rose Street (UCT Special Collections BC729/26)



-  400mm stone wall (possibly pre-1800)
-  400mm stone walls (c1810, first floor may be later)
-  400mm wall, c-later 1800s
-  280mm internal plastered wall (c1810)
-  200 & 280mm walls (various alterations)
-  Demolished walls

SCALE 1:100 @ A3

Figure 60. Dating the fabric of the structure

Figure 61. Sketch trace from photographs of Rose Street elevation to identify the position of openings and changes to the facade of 81 Rose Street

4.0 HERITAGE SIGNIFICANCE

Heritage protections affecting Bo-Kaap have recently undergone a change.

In 2011 Bo-Kaap was identified as a potential Heritage Area by the CoCT. Procedures for declaration were initiated but then stalled. Following consolidated efforts by Bo Kaap residents, a public participation process was re-initiated, resulting in the April 2019 declaration of an HPOZ for the area. A stated objective is to ensure that “where there is development, it is sensitive to the area's architecture, community, and history” (Mayor's Office, 2018).

On 17 December 2018 the Minister of Arts and Culture, Nathi Mthethwa, announced that the process to have the Bo-Kaap declared a National Heritage Site would begin in early 2019, followed by the motivation process to have it declared a UNESCO World Heritage Site.

The structure at 81 Rose Street is well over 60 years of age, as such the general protections of NHRA S-34 apply and a permit to alter the site or demolish a structure must be issued by the responsible authority, Heritage Western Cape (HWC).

The site has been graded III C by CoCT Environment & Heritage Resources Management. It is in an HPOZ and a proposed National Heritage Site.

4.1 Heritage Resources Identified

The site has been examined and assessed and found to be significant under the following criteria:

- Socio-historical role in the evolution of Bo-Kaap and the Cape, a “witness,” positioned as it is on the dividing line between town and other
- Contextual contribution to the reading of the streetscape, and at a wider scale, to the form and fabric of the area
- Cultural, landmark quality for social role in collective, local memory: 90 years the barber shop has been occupied by the owner/operator extended family, and contributed until recently to the clearly defined and fairly homogeneous socio-cultural quality of the neighbourhood
- Association with slavery: the site was built during the period of slavery at the Cape at a time when the landowner was also a slave owner
- Symbolic and associational significance for the “buffer zone” role the block played following Group Areas declaration, positioned as it is on the boundary between the Malay and White Group areas, within what was a

White Group Area,

- Rarity, as a fairly early example of Bo-Kaap architecture, this structure, although in no way intact, has some rarity.

The site has retained its essential form from first construction, with its stone perimeter walls. Any additions are themselves well over 60 years old. Alterations and additions include:

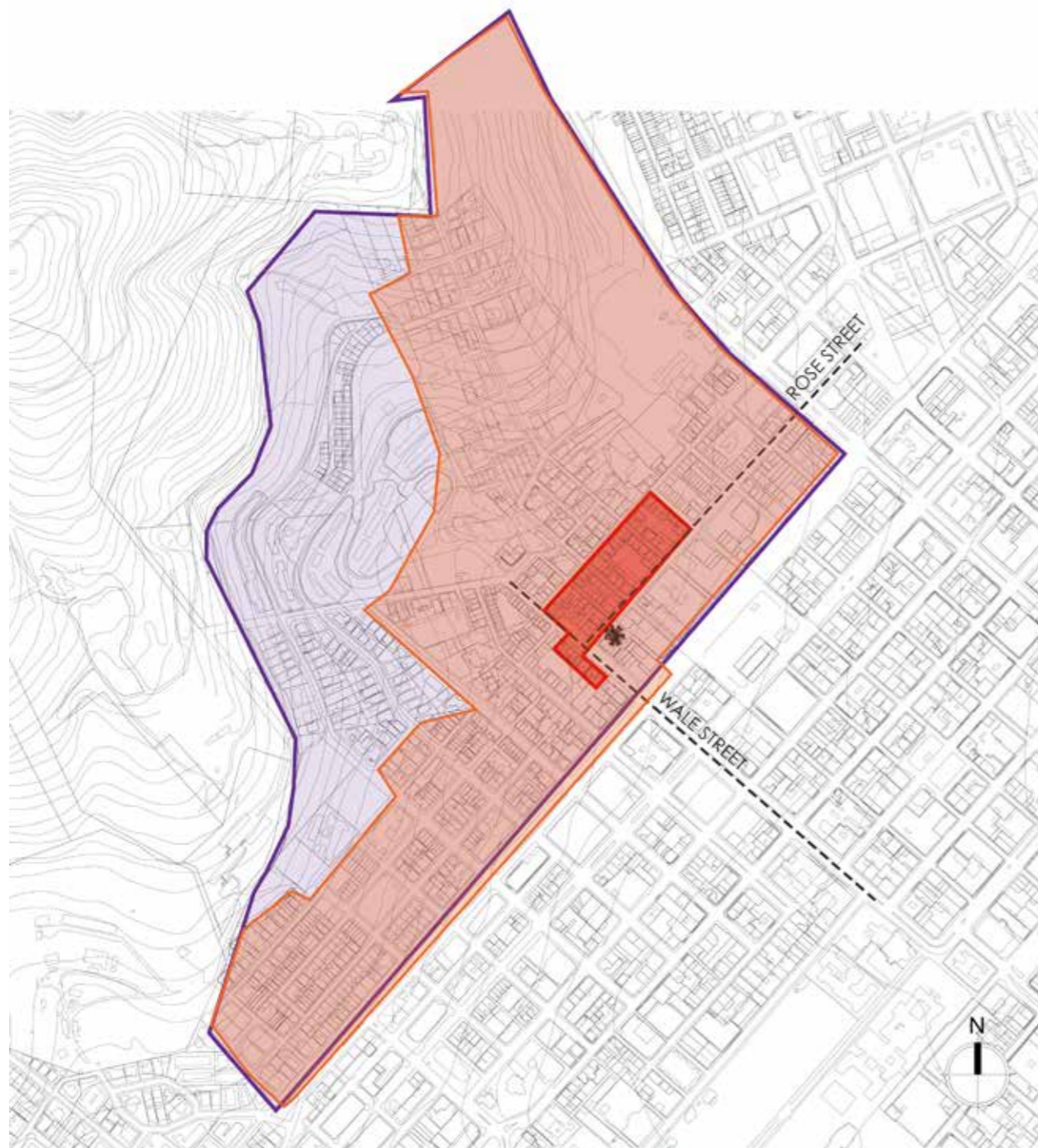
- small W/C outbuilding possibly pre-1860
- north extension not original, but pre-1900
- timber stairway added (possibly replacing earlier stair/ladder access)
- single storey outbuilding pre-1945
- south side bathroom extension pre-1945
- south side passageway enclosed c1945
- front facade openings non original
- internal layout altered at various times
- ground floor rear door altered at various times
- ground floor side window enclosed
- ground floor and first floor ceilings added, probably at different times

The site has undergone significant changes to the openings of the front elevation and the internal layout (although retaining its ground floor volume and some original fabric). The aesthetics have been marred by the alterations to the Rose Street facade, particularly the horizontal format metal-frame first floor windows.

However, the historic layering is clearly legible in much of the fabric, and this layering contributes to a reading of the history and evolution of a typical 200 year old Bo-Kaap shop/dwelling.

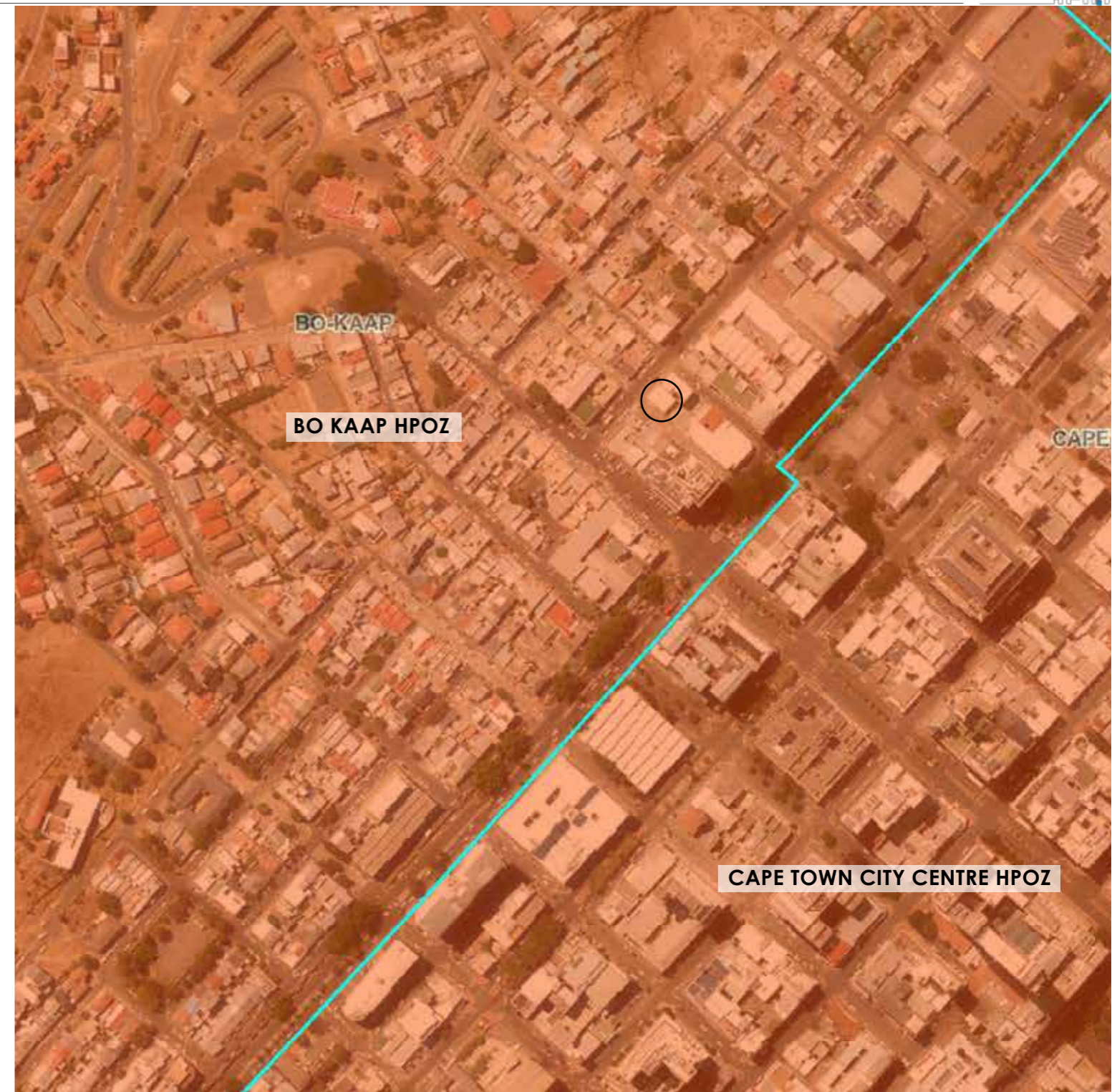
The site also has a social heritage component, both as an early Muslim-owned property in the Bo-Kaap, and for its long, consistent history of use—and the social role—as a barber shop. There is an additional socio-political layer of significance in that the owners, not racially classified white, were able to continue residing at and working from the site despite the 1965 White Group Area proclamation.

The significance of the site extends beyond its intrinsic qualities to include the undeniable relationship with its adjoining neighbours, contemporaries from the early/mid 1800s. Rose Corner Cafe is a significant socio-cultural landmark building, with a little-altered physical appearance. The two-storey



- Proposed Grade 1 National Heritage Site
- Bo Kaap Heritage Protection Overlay Zone
- PHS II (ex-National Monument)
- Site

Figure 62. Heritage Areas affecting site



- KEY**
- Study Site
 - Declared HPOZ

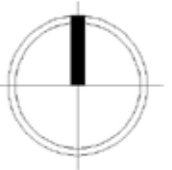


Figure 63. Heritage Overlay Map: study site in Heritage Overlay Zone (CoCT, 2019).

corner shop/dwelling has architectural interest for its late 1800s detailing, its connection to architect John Parker, and the long history of use as a butchery and then cafe serving the neighbourhood.

Like many places in Bo-Kaap, the site has faced the loss of generational continuity, which can be perceived as a threat to its social significance. This can be mitigated by contextually sensitive maintenance and use.

The loss of tradition in the form of the social hub quality of the barber shop cannot be artificially regained. However, the retention of a publicly accessible street-edge interface and a visual memory of this landmark in the neighbourhood may mitigate the loss of these living heritage qualities.

A 2015 BKCRA report on a neighbouring property quotes the 1966 National Monuments declaration of the buildings of Bo-Kaap, which identified the area as having “a special character derived from the customs and ways of life peculiar to the Malays that live there” (BKCRA 2015). While the language is clearly couched in its political era (and has been problematised), the acknowledgement of living/intangible heritage significance remains relevant. This is identified in the report which states: “In terms of the criteria for cultural significance and living heritage protected under the NHRA, development responses to the socio-economic and cultural practices in this unique area need to figure at least as strongly as aesthetic concerns” (BKCRA 2015).

4.2 Grading

Following HWC's guidelines, a Grade III C heritage resource is one which contributes to the environmental quality or cultural significance of a larger area and, while in itself may be of relatively low significance, is a resource which finds significance in the context of the streetscape and direct neighbourhood (HWC 2016). However, in the context of Bo Kaap, Grade III C sites are seen as “particularly significant” in that they create a coherent urban landscape context which supports those sites of greater heritage significance (CoCT 2015). HWC advises that a Grade III B site is one which is significant in the context of a townscape, neighbourhood, settlement or community, and that it should have intrinsic significance and be a rare or representative example of its kind (HWC 2016).

The study site is significant in the context of Rose Street and of Bo-Kaap, being an essential portion of a strip of adjoined buildings of similar period, which faces on to the PHS.

Despite the considerable changes to the front elevation and interior layout, which mar the intrinsic quality of the structure, its location and history contribute to significance. The position as a “back of city” buffer, and its long-held role as a social gathering point on the block contribute significance to its intangible, living heritage which adds greatly to its intrinsic quality. While these qualities are not evident in the fabric of the building, the current architectural heritage fragility of Bo-Kaap is such that ignoring these factors is detrimental to the wider environment.

In conclusion, this report finds the Grade III C is appropriate and sufficient for its tangible qualities. However, the heritage design indicators should address the value of the retention of the fabric layering, and acknowledge the intangible, social component, such that the site is able to meaningfully contribute to—and participate in—the townscape.



- KEY**
- Study Site
 - Gr.I (NHS)
 - Gr.II (PHS)
 - Gr.IIIA
 - Gr.III B
 - Gr.III C
 - Potential Gr.III
 - Not Conservation Worthy
 - Requires further information

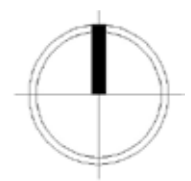


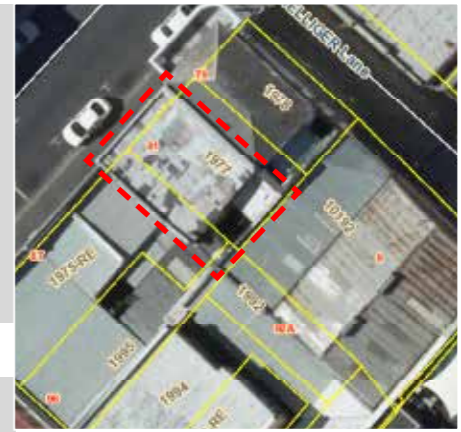
Figure 64. Heritage Grading Map: study site Grade III C (CoCT, 2018).

BUILDING NAME/S: 81 Rose Street

SITE 81 Rose Street, Cape Town ERF 1977
 ARCHITECT/S: - DATE c1810
 ORIGINAL USE: Dwelling CURRENT USE Shop & Dwelling

APPLICATION LEGISLATION

OLDER THAN 60 YEARS: X
 HERITAGE OVERLAY ZONE: X
 TITLE DEED RESTRICTIONS: - S.27 - S.34 X S.38.3



HERITAGE VALUES

RARITY:	M	ARCHITECTURAL:	L
REPRESENTIVITY:	M/H	SOCIO-HISTORICAL:	H
EXCELLENCE:	L	ENVIRONMENTAL/CONTEXTUAL:	H
INTEGRITY:	L/M	SCIENTIFIC/TECHNOLOGICAL:	L
AESTHETIC:	L/M	SLAVERY:	L
SYMBOLIC ASSOCIATIONAL:	M	CULTURAL:	M
AGE:	L	INTRINSIC:	M
	H	ARCHAEOLOGICAL:	L

HERITAGE ANALYSIS

SITE & STRUCTURE DESCRIPTION

The site is a two-storey, plastered masonry structure with flat metal sheet roof and raised front parapet. The perimeter walls are 400mm wide and presumed to be of grey-blue slate stone. The side walls north and south are party walls, shared with neighbouring properties. It has a rear north extension and a rear courtyard enclosed by a sparty wall. Internal walls are probably plastered clay brick, there are three early but undated timber sash windows. The first storey has an independent access stair.

MAJOR ALTERATION/S:

Second storey possibly non-original, added c1860. DATE/S:
 Alterations to doors, windows, floor timber.
 Various accretions to rear of building +/-pre-1945, specific dates unconfirmed.

PHYSICAL CONDITION:

Fabric in fair condition. Evidence of layering, with some original fabric (walls and lintels), some early additions, and recent additions: steel windows (first floor), timber shop front window (ground floor) and timber floors.

STATEMENT OF SIGNIFICANCE:

The site is significant for its age, and contextual situation on historic Rose Street in the distinctive cultural environment of the Bo Kaap. It has high socio-historic connections to slavery and Group Areas legislation. It occupies an important position in the urban grid, positioned as it is between the fine grain, low rise residential neighbourhood and the high rise city, acting as a transition (and even a brake) to development.

PROPOSED GRADING

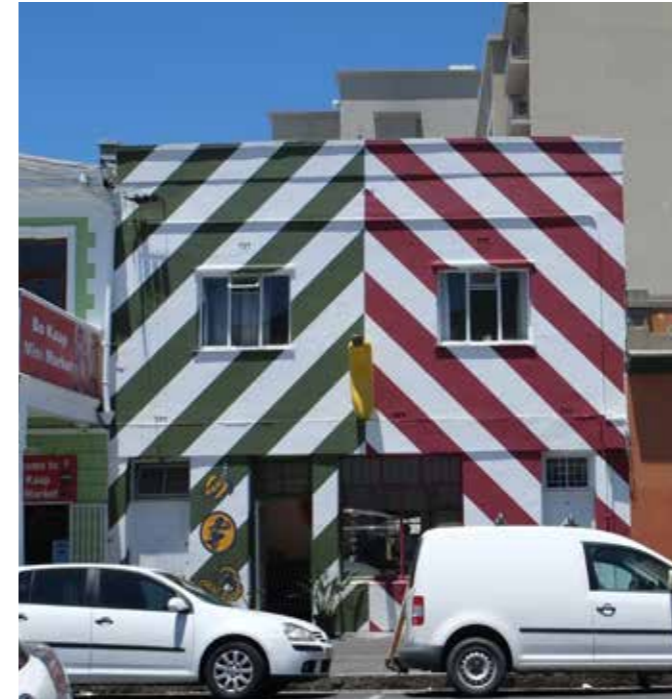
Grade III C, in an HPOZ and proposed National Heritage Site Grade I area.

OPPORTUNITIES & THREATS:

Urban expansion from Buitengracht Street is dissolving the fine grain, low-rise quality of the historic Bo Kaap fabric. Situated as it is, the site is both threatened by and vulnerable to negative impact. However, if protected and enhanced it has the capacity to buffer impact to Rose Street and contribute positively to the PHS it faces onto.

RECOMMENDATIONS & GUIDELINES:

Any alterations or changes to the structure should be sensitive to and not erase evidence of the historic layering. Any design intervention should also be sensitive to the wider context, to the scale and materiality of the traditional Bo Kaap architecture. Any intervention should also be sensitive to usage in its cultural environment.



5.0 PROPOSED HERITAGE INDICATORS AND GUIDELINES

The heritage management objectives for Bo Kaap have been identified as “conservation, minimal intervention and the enhancement of historical streetscape” (CoCT 2015). A heritage design indicator is a set of appropriate design parameters drawn in response to a site and its context.

Heritage design indicators and guidelines for 81 Rose Street are the following:

1. Relationship with and contribution to the street interface:

Alterations should not allow the building “stand out” from its adjoining neighbours. It should respond harmoniously, taking design cues from the scale, and horizontal and vertical lines of those neighbours.

2. Street/front elevation:

While the facade of the building is much altered from original, any new intervention should be sensitive to the old and original examples in proximity, both neighbouring and street facing.

- Scale and materiality should be carefully considered and appropriately pedestrian-scale
- Design and detailing should be subtle and “light”, (timber, light steel)
- “Faux” Bo-Kaap cottage design, artificial parapet detailing and other stylistic tropes are to be avoided
- Symmetry is not a design indicator and should not be forced on to the front elevation. Rather, the patterns of ad hoc evolution of openings along the entire street facade should be observed for cues.

3. Layering in the fabric:

- The visible and legible layering in the fabric of the building, such as the closed window to the passage, the rear opening to the north extension and the altered south wall should not be concealed or “made good”. These contribute to the history and reading of a Bo-Kaap heritage object.
- Each element should be carefully considered in any alteration plans, with a view to retention or enhancement.

4. Height:

- The height of the structure should not be altered.

5. Use and social memory:

The intangible aspect of social memory is most specifically addressed in the use and public accessibility of the site.

- The ground floor street frontage should be retained as publicly-accessible/commercial to maintain an active street interface in this significant section of Rose Street.
- It should ideally not be altered for use as private offices or any activity requiring significant or intrusive security interventions.
- The visual memory qualities as a landmark site in the neighbourhood could be acknowledged in some way, through identification and representation.
- Signage and paintwork should be appropriate in scale and colour to the immediate neighbouring environment and could reference the barber shop history.

6. Outbuildings and accretions:

- Courtyard outbuildings, WC and first floor south bathroom do not contribute to significance and can be demolished.
- Demolitions and fabric removal (such as ceilings) should be done with care and with the involvement of an architect with heritage experience in buildings of this period and typology to ensure that no valuable material is destroyed undocumented.
- Care should be taken to protect and preserve the stone rear boundary wall.

7. Material usage:

- Materials used in renovations and where new material adjoins the existing should be appropriate to the soft clay brick, blue slate stone and plaster material of the existing structure
- Security additions should be invisible/sensitive
- New materials should enhance the legibility of the historic layering by contributing an appropriate new layer.

6.0 PROPOSED ALTERATIONS

At present the site has commercial premises on the ground floor and a separate first floor flat accessed by the south entrance. The property owner would like to better utilise the space by reinstating two independent ground floor facilities—one residential, one commercial—and improving the spatial arrangement of the first floor flat.

The design has evolved to comply with the design indicators.

An earlier iteration looked to add a balcony to the Rose Street edge. This was not taken further as the City Council was not supportive of the proposal. The client prefers that for the doors remain outward-opening (as designed for the balcony proposal) for reasons of both weather-proofing and internal space. Appropriate methods for securing the door against wind will be applied.

The proposed changes are as follows:

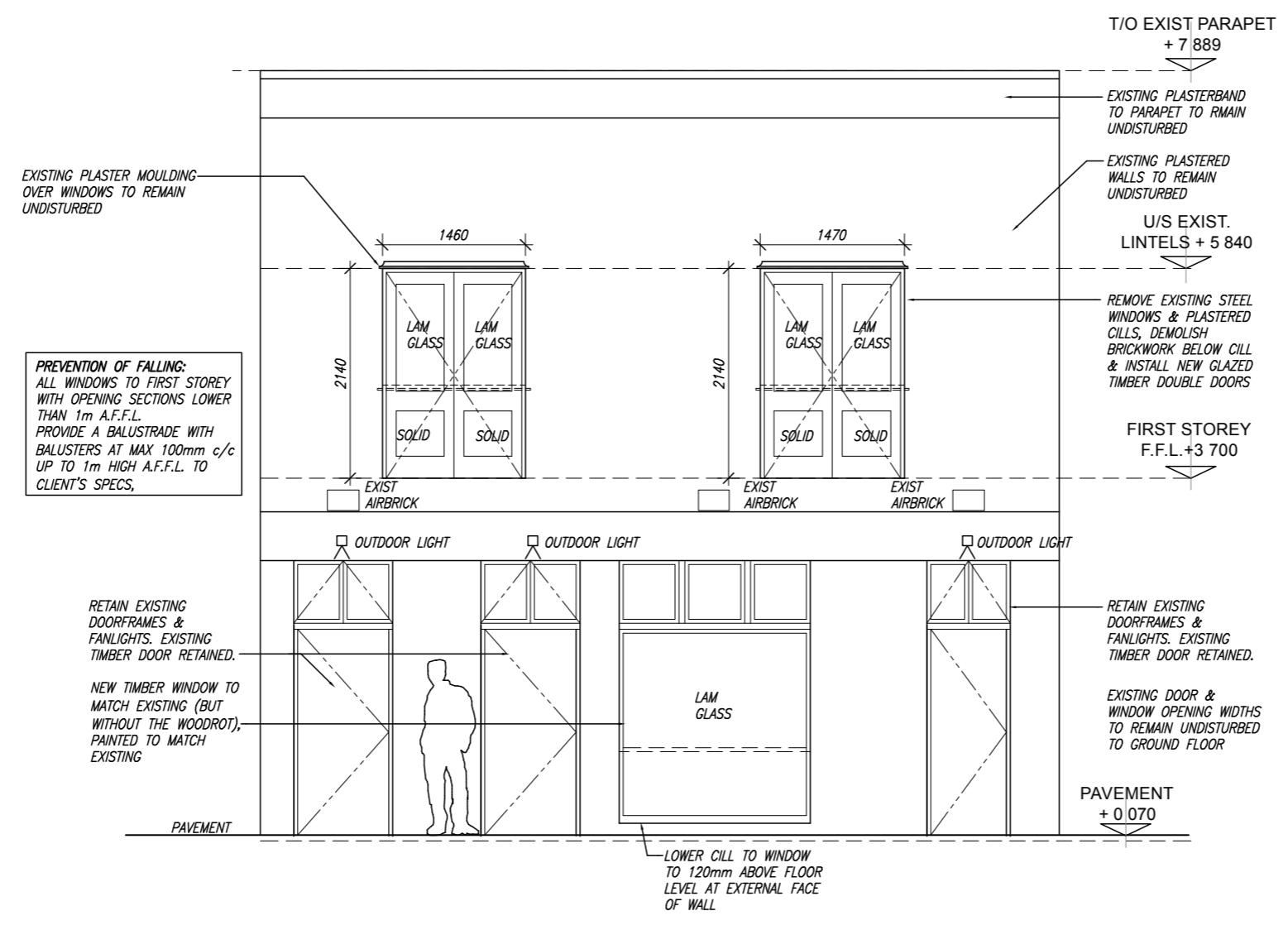
Ground Floor:

- Reintroduce residential facilities on the ground floor by reinstating a separation between street front shop and rear accommodation using the north side street door.
- Add kitchen facilities to the ground floor residence.
- Add W/C and kitchenette to the shop.
- Better utilise the courtyard space by demolishing lean-to outbuildings (W/C and storeroom).
- Introduce direct access to the courtyard from the main room (currently, access is through the bathroom).
- Adapt and better utilise the storage space beneath the south stairs.

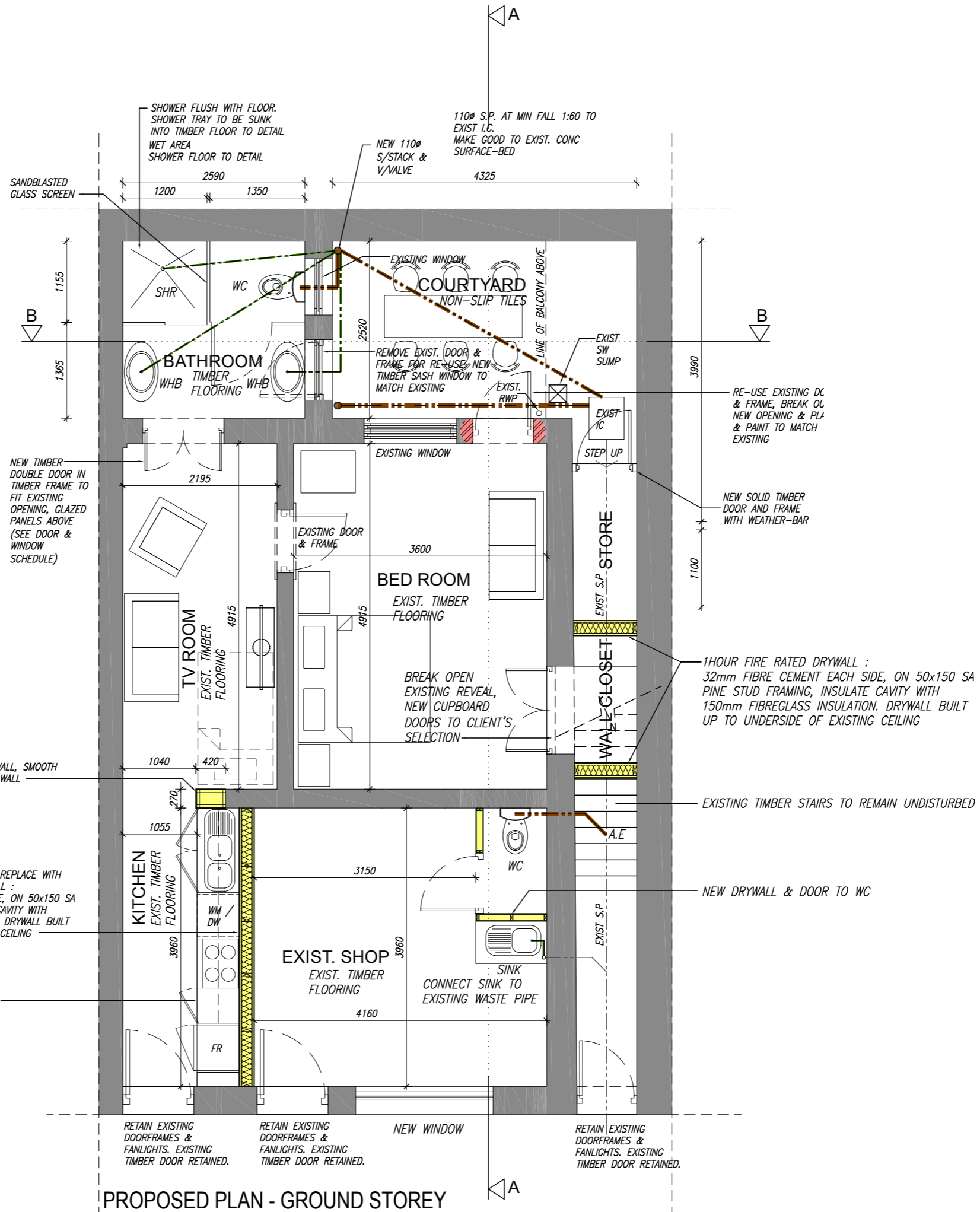
First Storey:

- Existing kitchen converted to bathroom facilities.
- New kitchen added to the large, open plan living/dining area.
- Existing timber/temporary bathroom structure demolished and replaced with an open balcony.
- Steel frame street-facing bedroom windows replaced with double doors and internal safety balustrade.

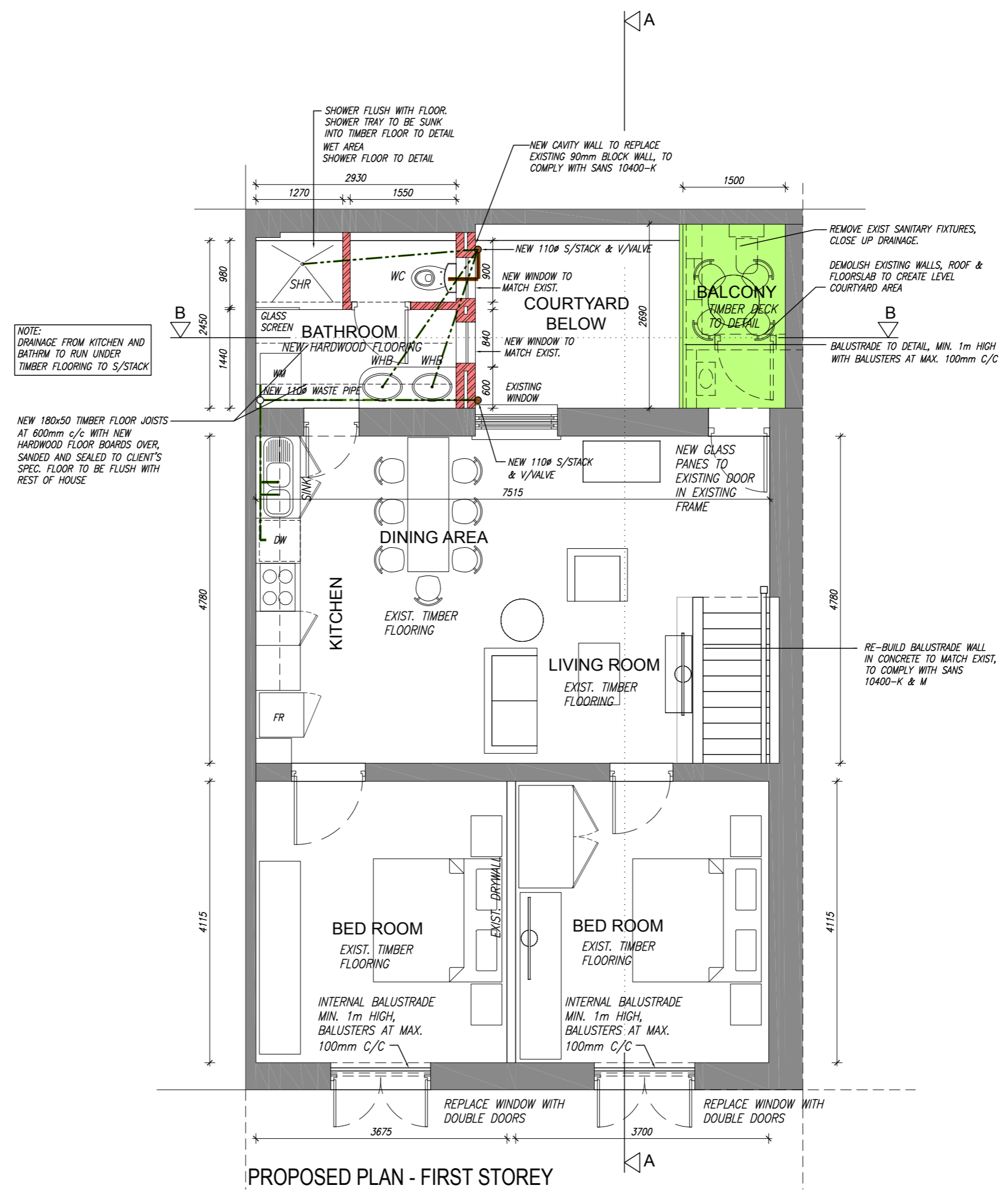
New materials include new corrugated roof sheeting, three new timber sash windows, and flooring and trim chosen to match existing. Wall repairs are to be plaster finished and painted.

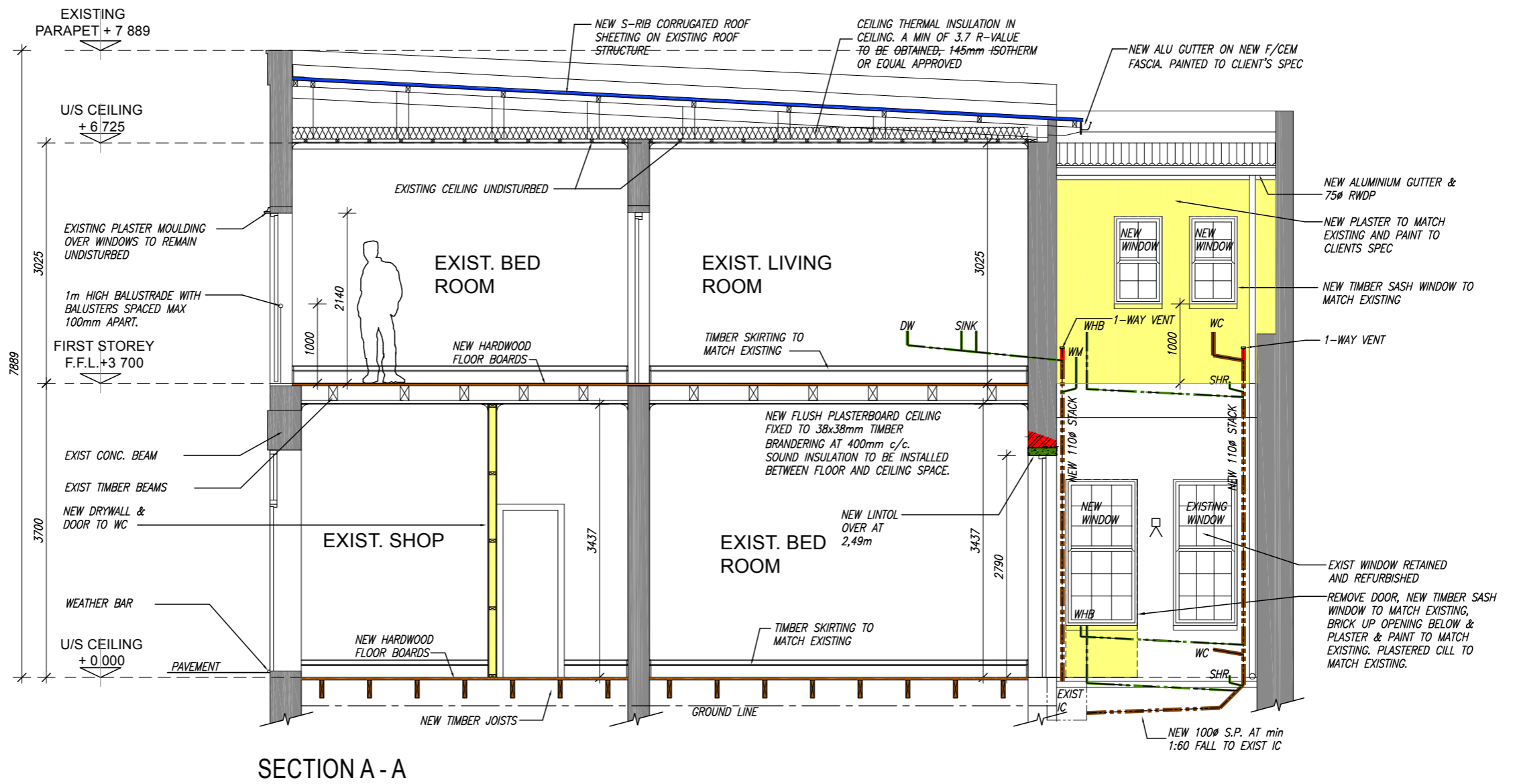


PROPOSED STREET ELEVATION



PROPOSED PLAN - GROUND STOREY





7.0 POTENTIAL HERITAGE IMPACT OF THE PROPOSED DEVELOPMENT

The development as proposed responds well to the heritage design indicators.

1 Contribution to street:

- Retains shop function and street interface.
- Replaces non-original, rotting timber shop window with one similar, but the external sill level is lowered, which will increase a sense of permeability.

2 Front elevation:

- The front/street facing doors with fanlights are retained undisturbed.
- The first storey steel windows are removed and replaced with opening outward timber double doors, with internal safety balustrade. This requires removal of brickwork from existing sill height to floor level. The existing plasterwork is retained. This alteration to the non original openings, while introducing another facade change, is not at odds with the historic evolution of the facade, and if handled carefully will not negatively impact the street appearance.

3. Layering:

- All existing internal doors and windows are retained, with one rear courtyard door repositioned.
- This, and the use of elements such as an earlier bricked-up opening to be re-utilised as a cupboard, work to retain the fabric layering that is so characteristic of the site.

4. Height:

- The structure's height and form remains unchanged.

5. Social memory:

- There is no specific response to social memory, however, the retention of commercial facilities contributes to the social role of the site.

6. Outbuildings:

- The demolition of courtyard outbuildings to create an open courtyard area does not impact the heritage significance of the building and will enhance usability of the space.
- The replacement of the upstairs timber bathroom with an open terrace is entirely appropriate.

7. Material:

- The reuse of existing joinery is appropriate
- The new roofing and other materials proposed are also appropriate

The proposal does not present a negative impact to the heritage of the historic structure. The subtle adaptations could be seen as a positive contribution to its longer term usefulness and well being.

7.1 Archaeology

Given the long term occupation of Bo Kaap generally, and the utilisation of this site in particular, it is possible that subsurface archaeological material may occur on the property. Any subsurface excavation, therefore, should be subject to archaeological monitoring, particularly in the vicinity of the stone-built rear wall which relates to the late C18th Helligers kraal.

Further to this, the fabric of the building clearly includes elements that predate the structure and/or relate to early phases of its construction and configuration. As such, information about the development and change of the building through time could be derived from archaeological investigation that would supplement and confirm the information obtained from analysis of historical plans, surveys and other documentary and photographic sources. Built fabric analysis would serve to confirm the presence, location and dimensions of older openings and partitions as well as identifying the phasing of construction of different elements and features within the property.

In this instance, where the proposal does not entail subsurface excavations, the recommendations from an archaeological perspective would not differ from those of an architectural one, namely that any attempts at reversion to a perceived earlier layout or spatial configuration should be tested beforehand through fabric analysis. Careful record should be made of all significant early fabric, and this fabric should be retained wherever possible.

8.0 RECOMMENDATIONS AND CONCLUSION

The proposed alterations have carefully considered the heritage design indicators of the site and are sympathetic to built elements of materiality, layering, scale and streetscape.

By keeping the ground floor shop usage, the site has the capacity to be used in a way that contributes to the living heritage and its social context as a significant site, an important street location in Bo Kaap. The design simplicity and the retention of modest sized internal spaces is appropriate to the wider area and sensitive to its threat of gentrification.

This is an appropriate proposal for the improvement and upgrade of a Bo Kaap shop/house, and we recommend that a permit be issued allowing the alterations to proceed.

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ANNEXURES

HERITAGE REPORT TO ACCOMPANY AN APPLICATION FOR ALTERATIONS

submitted in terms of Section 34 of the NHRA (1999) for

81 ROSE STREET, CAPE TOWN, ERF 1977

20 January 2020

Draft for Comment

Prepared by Rennie Scurr Adendorff Architects
on behalf of Brian Green Investments cc

1070

Parker & Khan Inc.
395 Imam Haron Road
Lansdowne
7780

Prepared by me

Deed registration		
	Amount	Office fee
Purchase price/Value	R 2,330,000.00	R 1270.00
Mortgage capital amount		
Reason for exemption	Exempt i.s.o	
	Cat.	section ... Act


CONVEYANCER
ZEENAT MOHAMED

00024511 / 2017

DEED OF TRANSFER

DATA / VERIFY
11 MAY 2017
MASIU TAMARA

BE IT HEREBY MADE KNOWN THAT

ZEENAT MOHAMED

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at CAPE TOWN on 22 August 2016 granted to her by

- HARILAL GOPAL CHHIBA**
Identity Number 461212 5101 08 7
and
TARA CHHAGAN CHHIBA
Identity Number 470916 0102 08 5
Married in community of property to each other
- RATILAL CHHIBA**
Identity Number 510907 5104 08 7
and
NIRU CHHIBA
Identity Number 530312 0199 08 1
Married in community of property to each other

DATA / CAPTURE
6 MAY 2017
LADNEY FATGEYAH

GhostConvey 15.8.12.4

And the appearer declared that her said principal had, on 2 July 2016, truly and legally sold by Private Treaty, and that she, the said Appearer, in her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**BRIAN GREEN INVESTMENTS CC
REGISTRATION NUMBER 2010/113912/23**

or its Successors in Title or assigns,

ERF 1977 CAPE TOWN
SITUATED IN CITY OF CAPE TOWN
DIVISION CAPE
PROVINCE OF WESTERN CAPE

IN EXTENT 101 (ONE HUNDRED AND ONE) SQUARE METRES

FIRST TRANSFERRED by Deed of Transfer No. T72/1827 dated the 3rd August 1827 with a diagram relating thereto; AND HELD by Deed of Transfer No. T50637/1994.

SUBJECT to the conditions referred to in Deed of Transfer No. T250/1901 dated the 14th January 1901.

WHEREFORE the said Appearer, renouncing all right and title which the said

1. **HARILAL GOPAL CHHIBA and TARA CHHAGAN CHHIBA**
Married as aforesaid
2. **RATILAL CHHIBA and NIRU CHHIBA**
Married as aforesaid

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

**BRIAN GREEN INVESTMENTS CC
REGISTRATION NUMBER 2010/113912/23**

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R2 330 000,00 (TWO MILLION THREE HUNDRED AND THIRTY THOUSAND RAND).

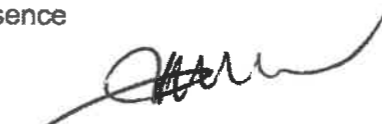
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on 04 MAY 2017



q.q.

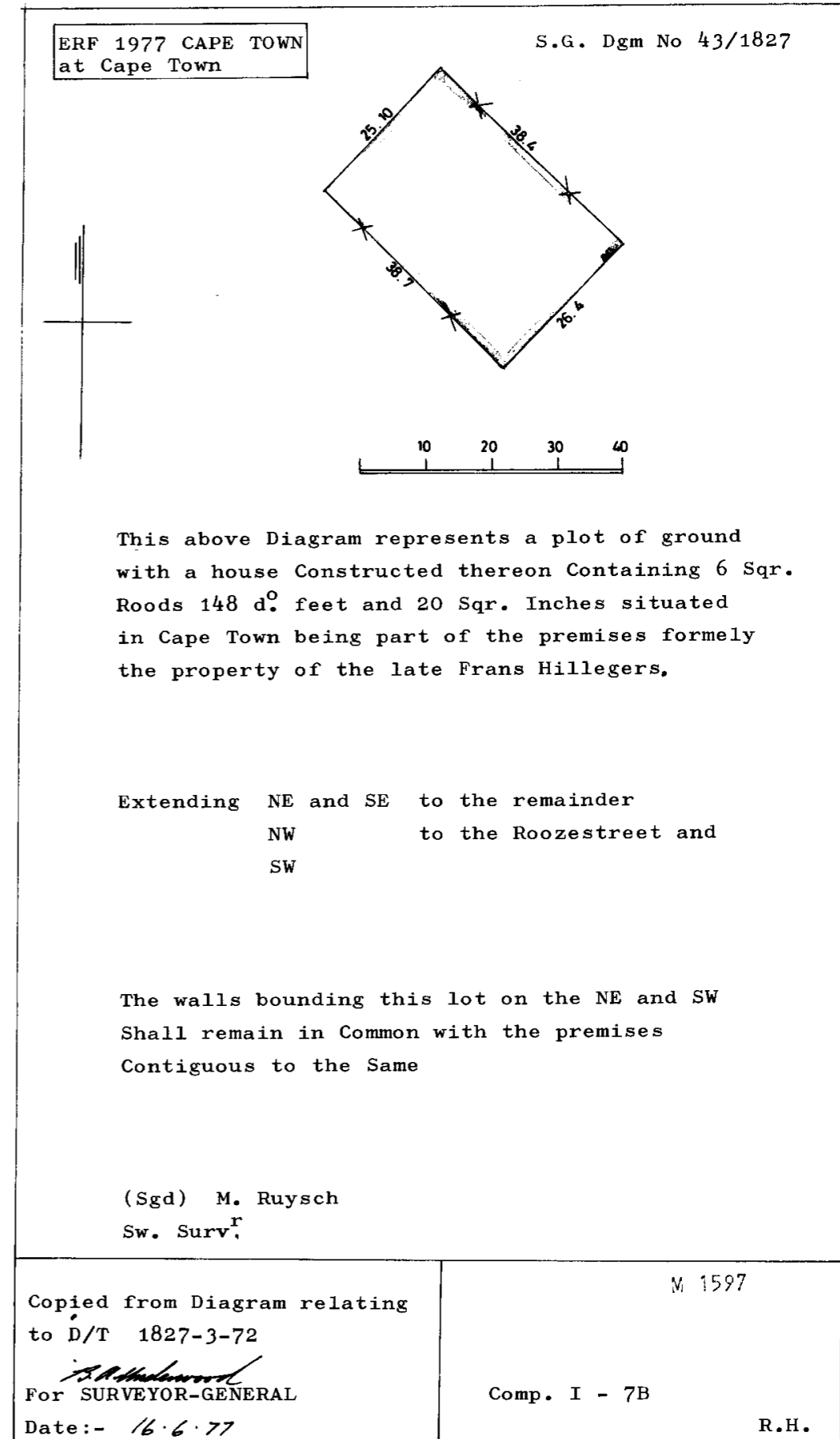
In my presence



REGISTRAR OF DEEDS

2M
AK
GhostConvey 15.8.12.4

GhostConvey 15.8.12.4



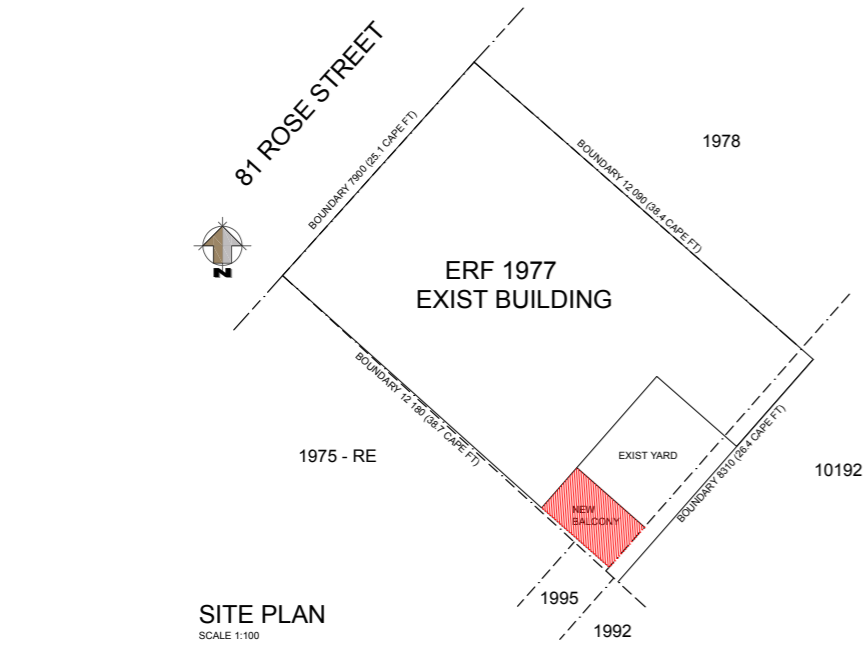
B
S

1977

Annexure C: List of Transfers

1786	(OCF 4.43)	Frans Helligers
1797	T133/1797-2-50	Abraham Bosman
1801	T358/1801-2-281	Schepenen Paulus Abraham Poupart (Attorney & Notary public and slave-owner; possibly let property to Bosman)
1814	T96/1814	Hendrik Willem de la Harpe
1827	T72/1827	Jan Willem Stuckeris (Merchant business on Strand Street, may have let property)
1844	T59/1844	Jacob Pieter Deneys (Brewery and butchery on Waterkant Street, probably let property to Gafieldien)
1857	T46/1857	Estate of the late Abraham Gafieldien (property transfer agreed by private sale 30/12/1845)
1875	T4941/1875	Achmat Mahed (also written Mite, Maay, Maai, Myiet, Mijiet) & Gavifva
1901	T250/1901 (paragraph 10)	Achmat Mahed, grandson
1920	T2567/1920	Ebrahim Abdool Sied/Abdulla Saïd (and widow Aysa Sied, née Magiet; let property to barber Bhaga Chhiba)
1944	T2393/1944	Gopal Chhiba
1994	T50637/1994	Ratilal Chhiba, Niru Chhiba, Harilal Gopal Chhiba, Tara Chhagan Chhiba
2017	T24511/2017	Brian Green Enterprises Ltd

Annexure D: Design Proposal Drawings



BUILDING NOTES:

ALL BUILDING WORK TO BE CARRIED OUT IN ACCORDANCE WITH SANS 10400 REGULATIONS.

ROOF CONSTRUCTION:

NEW PROFILED STEEL ROOF SHEETING ON EXISTING TRUSS. NEW GUTTERS, DOWNPIPES FIXED TO NEW FASCIA BOARDS, PAINTED TO CLIENT'S SELECTION.

CEILING CONSTRUCTION:

EXISTING CEILINGS TO BE RETAINED & RE-PAINTED. PROVIDE 145mm ISOOTHERM INSULATION OVER CEILING TO COMPLY WITH SANS 10400-XA CORNICES TO BE RETAINED, WHERE ALTERATIONS REQUIRE, NEW CORNICES TO MATCH EXISTING.

WALL CONSTRUCTION:

TOP 3 COURSES OF BRICKWORK BELOW WALLPLATES, FOUNDATION WALLS UP TO FLOOR LEVEL & WALLS ABOVE WINDOW LEVEL HEIGHT TO BE SOLID WITH MIN. 3 WIRE TIES PER SQ/M. PRE-STRESSED LINTELS OVER ALL NEW OPENINGS WITH MIN. 4 BRICK COURSES ABOVE, BRICKFORCE TO MIN. 4 COURSES HIGH. WEEP-HOLES AND DPC OVER ALL NEW LINTOLS, DPC TO BE INSTALLED BELOW ALL CILLS.

CAVITIES TO BE KEPT CLEAN AND UN-OBTSTRUCTED.

FOUNDATIONS TO WALLS ON BOUNDARY LINES TO BE OFFSET, NO PART OF CONSTRUCTION TO ENCRACH BOUNDARY LINES

WINDOW CONSTRUCTION:

NEW HARDWOOD TIMBER SLIDING SASH WINDOWS, INSTALLED, SANDED AND SEALED TO MANUFACTURERS SPECIFICATIONS. WEEP-HOLES WITH DPC OVER LINTOLS, DPC INSTALLED BELOW WINDOW CILLS

FLOOR CONSTRUCTION:

NEW MIN 22mm THK HARDWOOD TIMBER FLOOR-BOARDS TO CLIENT'S SELECTION, TO BE SANDED AND SEALED.

INTERNAL WALL FINISHES:

SMOOTH PLASTER WITH PVA PAINT FINISH TO CLIENT'S SELECTION, APPLIED TO MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS

SKIRTINGS:

ALL SKIRTINGS TO CLIENT'S SELECTION, PROFILE BY WEST CAPE MOULDINGS OR EQUAL APPROVED SUPPLIER, SANDED, SEALED & STAINED / PAINTED TO CLIENT'S REQUIREMENTS.

GLAZING:

ALL GLAZING TO COMPLY WITH SANS 10400 PART N, WINDOWS: 6mm CLEAR FLOAT GLASS, SINGLE GLAZED SAFETY GLAZING TO WINDOWS LESS THAN 500mm ABOVE F.F.L.

DRAINAGE SYSTEM:

ANY DRAINAGE PASSING UNDER THE BUILDING TO BE PROTECTED FROM TRANSMISSION OF LOADS AND TO BE LAID WITHOUT A CHANGE IN DIRECTION OR GRADIENT.

ALL DRAINAGE TO COMPLY WITH SANS10400 - P.

SANS 10400 XA REQUIREMENTS:

ROOFING & CEILING:

STEEL ROOF SHEETING AT 5° PITCH WITH FLAT 10mm PLASTERBOARD CEILING:
R-VALUE: 0.47
145mm THICK ISOOTHERM INSULATION:
R-VALUE: 3.37

TOTAL R-VALUE: 3.85 WHICH IS DEEMED TO SATISFY REGULATIONS

HOT WATER DEMAND:

ALL NEW HOT WATER REQUIREMENTS TO HAVE MIN. 50% HEATING ENERGY SUPPLIED BY SOLAR GEYSER EXISTING SOLAR GEYSER TO BE USED

GLAZING TO NEW WINDOWS:

TOTAL INTERNAL FLOOR AREA	142m ²
TOTAL GLAZED AREA ALLOWED (15% OF FLR AREA)	21m ²
TOTAL GLAZED AREA	20m ²
TOTAL GLAZED AREA ACHIEVED	14%

14% IS DEEMED SANS 10400 XA COMPLIANT

GENERAL NOTES:

- * All building work to comply with SANS 10400
- * No dimensions to be scaled or scanned from drawing
- * All dimensions to be checked on site
- * Where applicable the contractor is to check on site size of components to be manufactured prior to manufacture
- * Contractor is responsible for correct setting out of the buildings, all external and internal walls with particular reference to boundaries, building lines, etc.
- * Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before putting any work in hand
- * Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works
- * Any errors, discrepancies or omissions to be reported immediately
- * Contractor is to build in approved 4 ply D.P.C. weather or net these are shown on drawings, to all walls at each floor, beam or parapet level and to all windows, doors, grilles or other openings in external walls.
- * Any queries arising from all the above must be reported and clarified before any works is put in hand.
- * This drawing is not to be scaled, figured dimensions to be used at all times.

DRAINAGE NOTES:

- * All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements.
- * Provide I.E.'s to all bends and junctions with suitable markers at ground level and to be fully accessible at all times
- * Minimum 150 fall to all drain pipes.
- * Provide approved reseat traps to all waste fittings
- * Provide A.E.'s to foot of all soil stacks.
- * All soil pipes passing under buildings or footings to be protected against loads.

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AREA SCHEDULE:

PROPERTY ZONING - M13	
BUILDING CLASSIFICATION - F2 & H5	
ERF AREA	101m ²
EXISTING GROUND STOREY	94m ²
EXISTING 1ST STOREY	96m ²
TOTAL EXISTING AREA	190m ²
EXISTING COVERAGE	95%
PROP GRND STOREY	90m ²
PROP 1ST STOREY	90m ²
PROP BALCONY	5m ²
PROPOSED TOTAL AREA	185m ²
PROPOSED COVERAGE	94%

B. 26/04/2019	AMENDED TO CLIENT REQUIREMENTS	SM	
No.	Date	Description	Int.
REVISIONS:			

ARCHITECTONIQUE
ARCHITECTURE INTERIORS LANDSCAPE
PROJECT MANAGEMENT

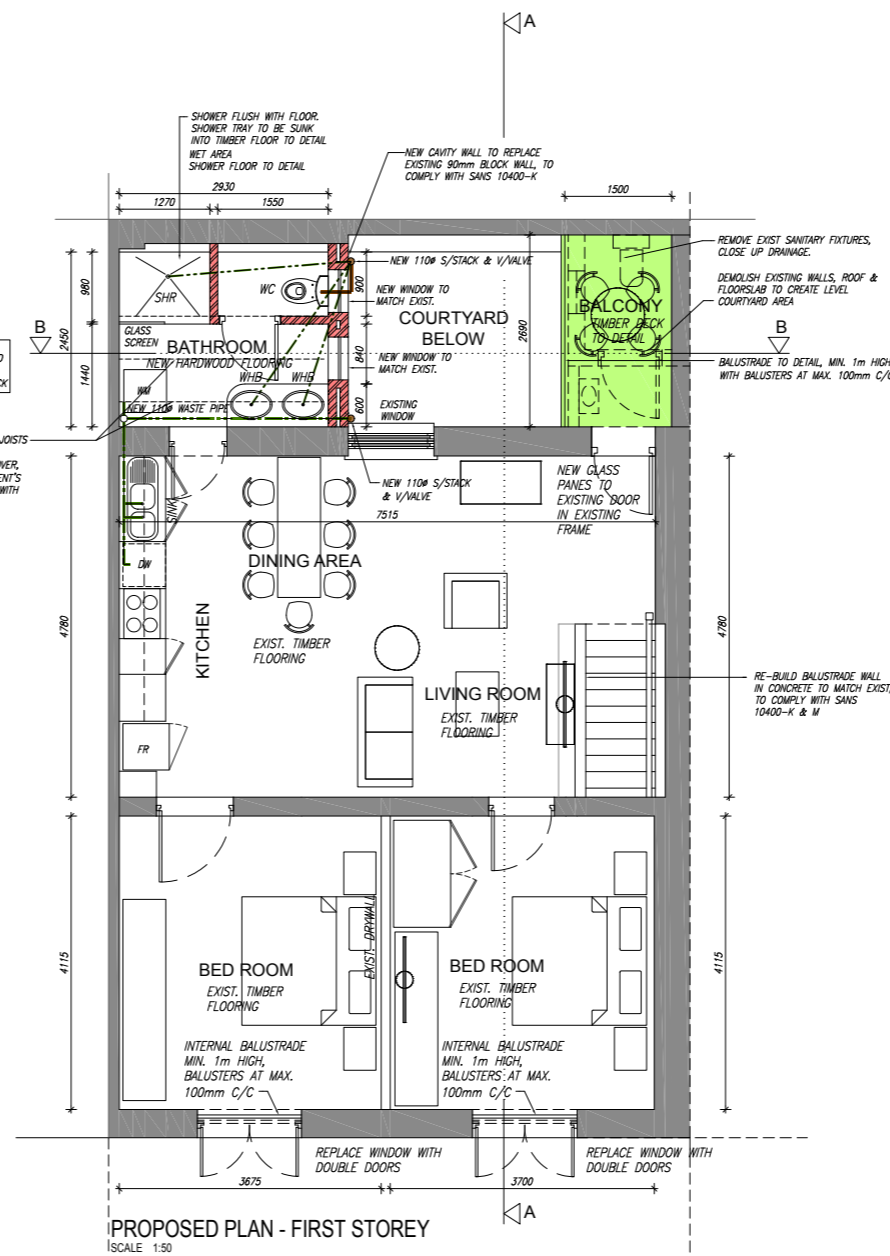
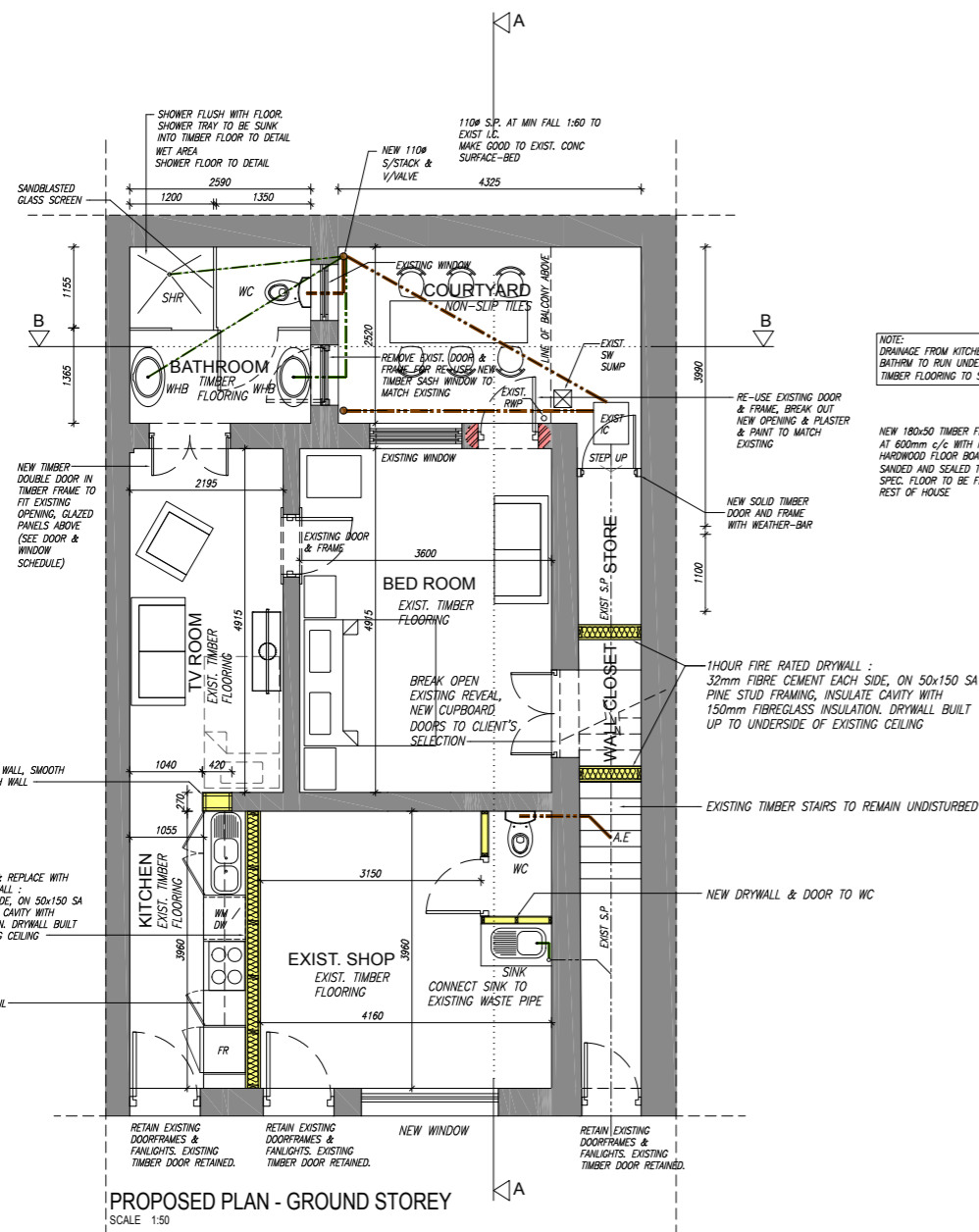
Reg. No. 2008/086311/23
33 VIN DOUX CRESCENT, DURMONTE
TEL: 021-979-3946
CELL: 084-676-7264
E-MAIL: stevemellet@gmail.com
claudia.richert@gmail.com
members - Steven R Mellet and Claudia Richert - partners

Client
BRIAN GREEN INVESTMENTS cc

Project Title
ALTERATIONS TO EXISTING DWELLING & SHOP, ERF 1977 CAPE TOWN AT 81 ROSE STREET, BO-KAAP

Drawing Title
SITE PLAN, GROUND & FIRST STOREY PLANS

Scale 1:100 / 1:50	Date 2019-04-26	SACAP Reg. No.
Designed SR. MELLET	Drawn SR. MELLET	Checked SR. MELLET
Job No. BGI-001	Drawing No. BGI-100	



GENERAL NOTES

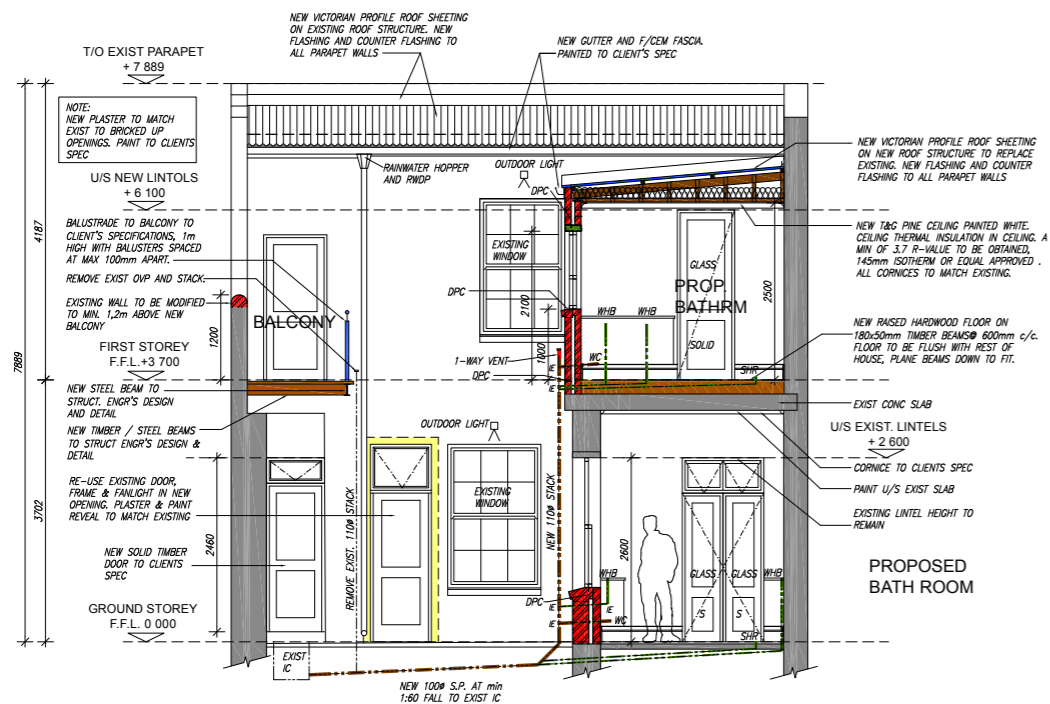
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- * Contractor to verify all levels, heights and dimensions on site and to check the same against the drawings before putting any work in hand
- * Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works
- * Any errors, discrepancies or omissions to be reported immediately
- * Contractor is to build in approved 4 ply D.P.C. weather or not these are shown on drawings, to all walls at each floor, beam or parapet level and to all windows, doors, grilles or other openings in external walls.
- * Any queries arising from all the above must be reported and clarified before any works is put in hand.
- * This drawing is not to be scaled, figured dimensions to be used at all times.

DRAINAGE NOTES

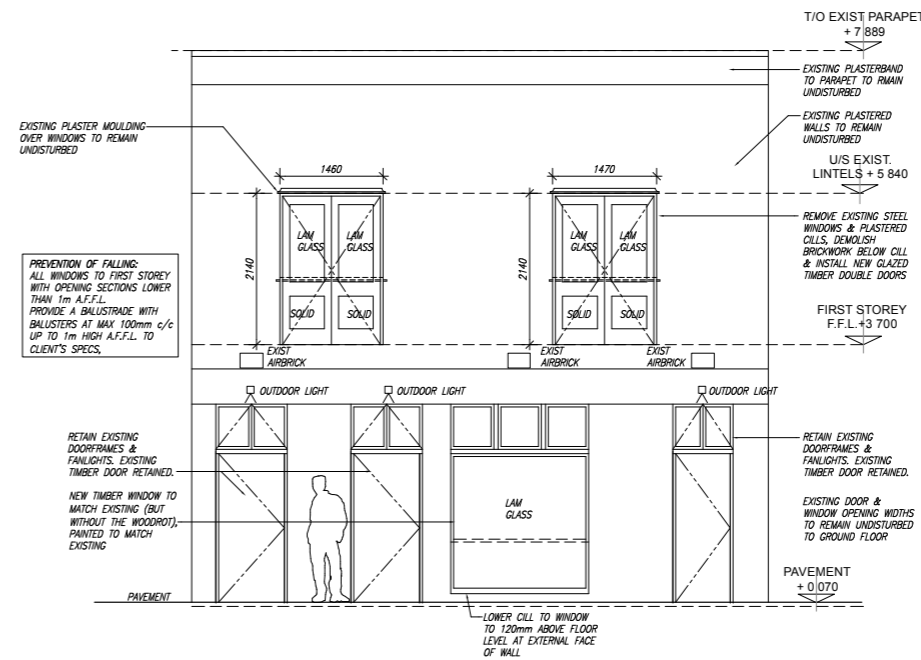
- * All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements
- * Provide I.E.'s to all bends and junctions with suitable markers at ground level and to be fully accessible at all times
- * Minimum 1:60 fall to all drain pipes
- * Provide approved reset traps to all waste fittings
- * Provide A.E.'s to foot of all soil stacks
- * All soil pipes passing under buildings or footings to be protected against loads.

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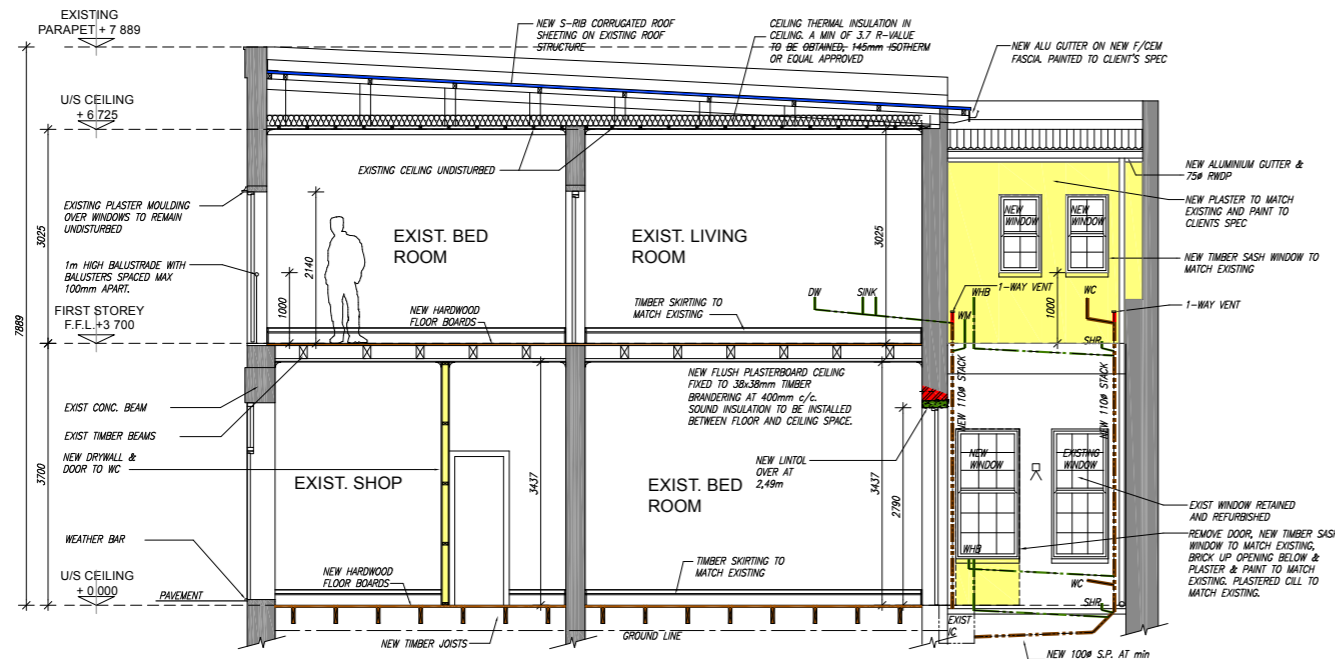
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SECTION B - B
SCALE 1:50
COURT YARD



PROPOSED STREET ELEVATION
SCALE 1:50



SECTION A - A
SCALE 1:50

No.	Date	Description	Int.
B. 26/04/2019		AMENDED TO CLIENT REQUIREMENTS	SM

ARCHITECTONIQUE
ARCHITECTURE INTERIORS LANDSCAPE
PROJECT MANAGEMENT

Reg. No. 2008/086311/23
33 VIN OUX CRESCENT, DURMONTE
TEL: 021-979-3946
CELL: 084-676-7264
E-MAIL: stevemellet@gmail.com
claudia.richert@gmail.com
members - Steven R Mellet and Claudia Richert - partners

Client
BRIAN GREEN INVESTMENTS cc

Project Title
**ALTERATIONS TO EXISTING DWELLING & SHOP,
ERF 1977 CAPE TOWN
AT 81 ROSE STREET, BO-KAAP**

Drawing Title
SECTIONS & ELEVATIONS

Scale	Date	SACAP Reg. No.
1:50	2019-04-26	
Designed SR. MELLET	Drawn SR. MELLET	Checked SR. MELLET
Job No. BGI-001	Drawing No. BGI-101	B