

Agency for Cultural Resource Management

Specialists in Archaeological Studies and Heritage Resource Management

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16 October, 2006

Mr Johan Keuler
Canzi Development Services
Consulting Housing Project Managers and Town Planners
12 Villa Rosa
Rosedale Estate
Goedemoed
Durbanville
7550

Dear Mr Keuler

PHASE 1 ARCHAEOLOGICAL IMPACT ASSESSMENT PORTION 37 OF FARM 168 FISANTEKRAAL WESTERN CAPE PROVINCE

1. Introduction and brief

Mr Johan Keuler¹, on behalf of Storage International Trust, requested that the Agency for Cultural Resource Management conduct a Phase 1 Archaeological Impact Assessment for a proposed development on Portion 37 of Farm 168 Fisantekraal, in the Western Cape Province.

The subject property is currently zoned Rural and will be rezoned to Sub-divisional Area, to make provision for 45 industrial erven, Private Open Space, and a road.

The extent of the proposed development (about 5.4 ha) falls within the requirements for an archaeological impact assessment as required by Section 38 of the South African Heritage Resources Act (No. 25 of 1999).

A Notification of Intent to Develop form has been completed by heritage consultant Mr Chris Snelling. The delegated provincial heritage authority, Heritage Western Cape (HWC), in a letter dated 10-08-2006 (Ref: HM/Kraaifontein/Farm 168), requested that an archaeological assessment be done and submitted to HWC for comment.

The site visit and archaeological assessment took place on the 6th October, 2006.

¹ Canzi Development Services is represented by Mr Johan Keuler. Fax: 975 4218

2. Terms of reference

The Terms of Reference for the Archaeological Impact Assessment are to:

- Identify and map heritage resources on the proposed site;
- Determine the importance of heritage resources on the proposed site;
- Determine and assess the potential impacts of the proposed development on the heritage resources, and
- Recommend mitigation measures to minimise impacts associated with the proposed development.

3. The site

A locality map is illustrated in Figure 1.

An aerial photograph of the site is illustrated in Figure 2.

The subject property (S° 33 47 422 E° 18 42 319, on map datum wgs 84)) is located approximately 4 km north east of Durbanville, on the south-eastern side of the Klipheuwel Road (R302), abutting Phases 1 and 2 of the Durbanville Industrial/Business Park and the Durbanville Memorial Park.

The proposed site is one of a number of small holdings in the Greater Fisantekraal Area that have been rezoned and developed for industrial activities. A large portion of the subject property is covered in thick winter grass, resulting in low archaeological visibility. A few large alien trees occur on the site. A small farm dam is located near the north eastern corner. The remainder of the property is in a severely disturbed and degraded state. Dumping of building material and rubble is evident, while earthworks and excavations also occur on the site (Figures 3-6). — farm water?

The surrounding land-use comprises rural farmland, commercial, light industrial and agricultural services.

4. Approach to the study

The property was subjected to a detailed foot survey.

5. Results of the study

No archaeological heritage remains were located during the baseline study.

6. Impact statement

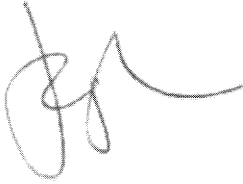
The impact of the proposed development on archaeological heritage remains is likely to be very low.

The probability of locating significant archaeological heritage remains during implementation of the project is likely to be improbable.

7. Conclusion

The archaeological impact assessment has shown that Portion 37 of Farm 168 Fisantekraal near Durbanville is suitable for development.

Yours sincerely

A handwritten signature in black ink, appearing to be 'JK' followed by a long horizontal stroke.

Jonathan Kaplan

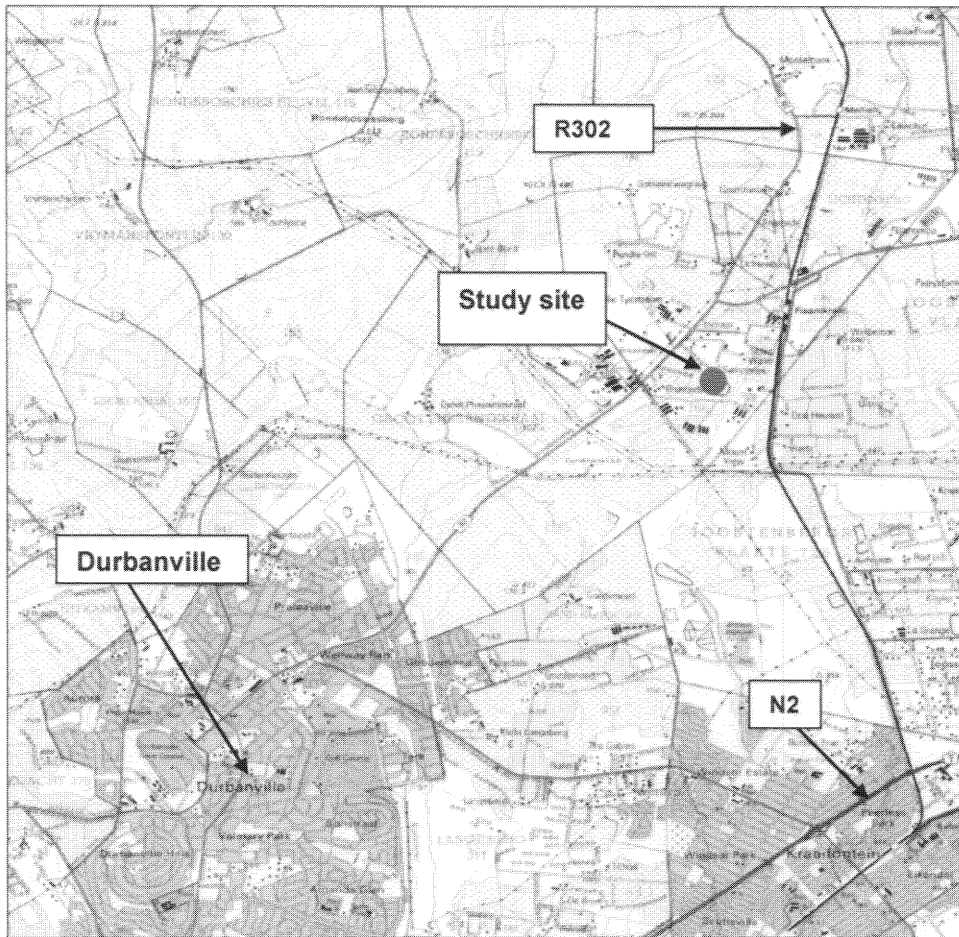


Figure 1. Locality Map (3318 BD Bellville)

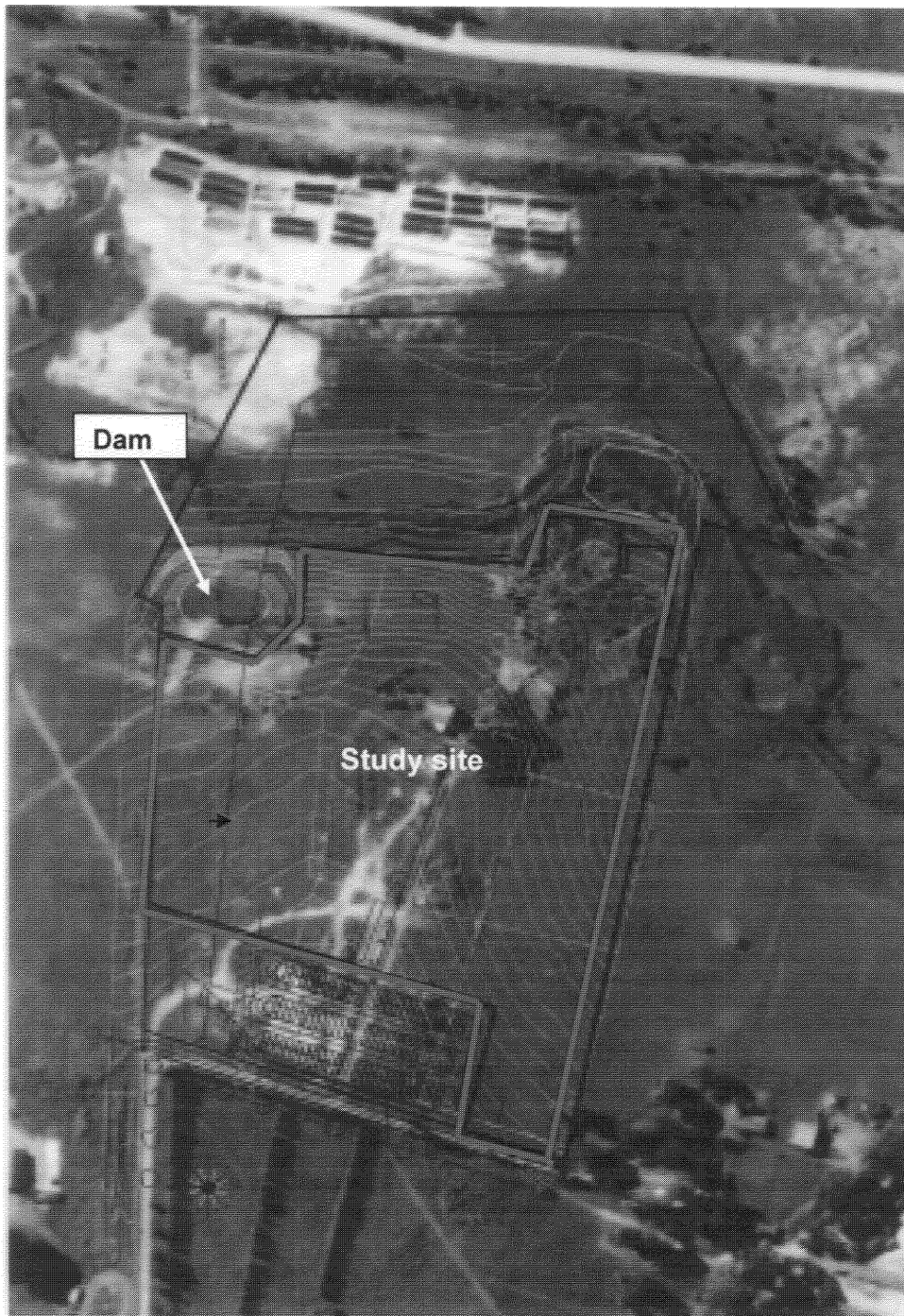


Figure 2. Aerial photograph of the proposed site



Figure 3. View of the site facing south

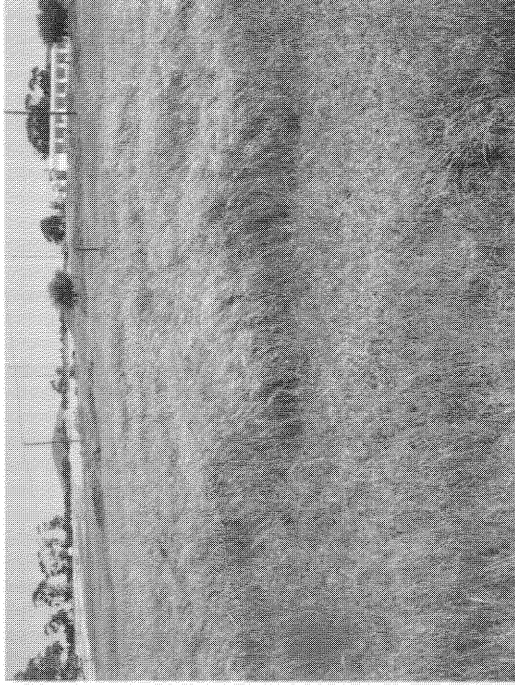


Figure 5. View of the site facing west



Figure 4. View of the site facing west

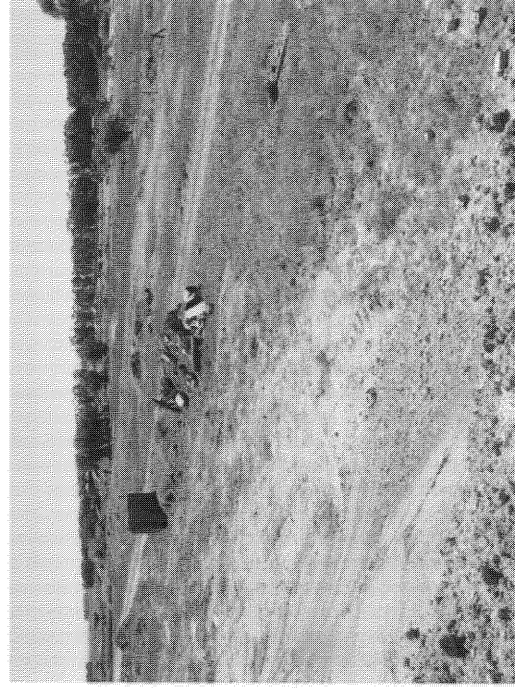


Figure 6. View of the site facing north