



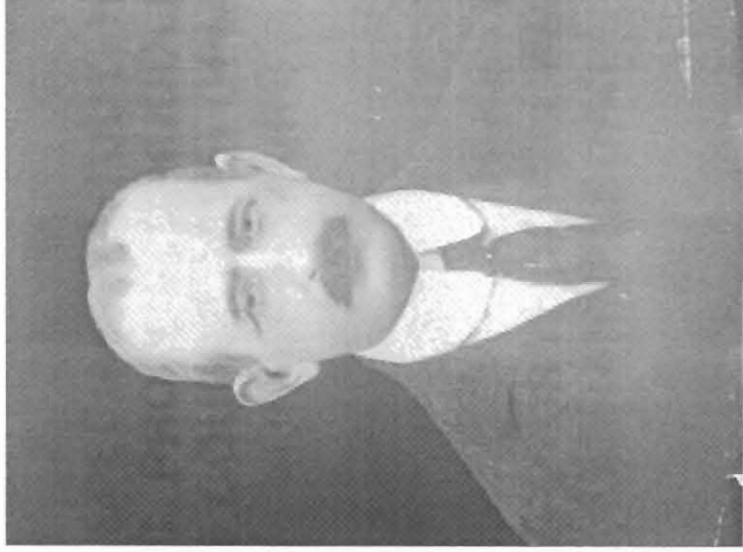
CULTMATRIX_{cc}

CK 97/46119/23

SARS 9184/041/64/9

PO Box 12013 Queenswood 0121 Pretoria South Africa
Fax +27 (0) 12 330-1021 Mobile +27 (0) 82 577-4741 E-Mail cultmat@iafrica.com

LEVEL 2 (SPECIALIST STUDY) HERITAGE REPORT: PROPOSED HUDDLE PARK GOLF COURSE DEVELOPMENT, JOHANNESBURG



Sir George Farrar, founder of Bedford Farm
On which Huddle Park is located
(National Archives photo)

SUBMITTED TO:
Reuben Heydenrych
Strategic Environmental Focus
PO Box 74785
Lynnwood Ridge 0040

DATE OF SUBMISSION: 22 AUGUST 2005

TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
PART 1: REPORT ON PROJECT EXECUTION	3
1.1 Background	3
1.1.1 <i>General</i>	3
1.1.2 <i>Terms of reference and approach</i>	3
1.1.3 <i>Definitions and assumptions</i>	4
1.1.4 <i>Limiting/Restricting factors</i>	4
1.2 Legal context	4
1.3 Development criteria in terms of Section 38(1)	4
1.4 Property ownership	5
1.5 Development Project Coordinator	5
1.6 Heritage impact assessment specialists	5
1.6.1 <i>Specialist</i>	5
1.6.2 <i>Method of investigation</i>	6
1.7 Property details	6
1.8 Development description	7
1.9 Legal requirements	7
1.10 Acknowledgements	8
PART 2: HERITAGE ASPECTS OF THE AFFECTED AREA	8
2.1 Cultural significance, issues and environmental concerns	8
2.2 General history of the affected environment	9
2.3 General description of site at present	9
PART 3: FINDINGS AND RECOMMENDATIONS	10
3.1 Identification and mapping of heritage resources	10
3.2 Assessment of significance of heritage resources	10
3.2.1 <i>General statement of significance</i>	10
3.2.2 <i>Significance assessment of individual heritage features</i>	11
3.3 Impact assessment	11
3.4 Social and economic benefits	11
3.5 Consultation with affected communities	11
3.6 Key mitigation and enhancement measures	11
3.7 Mitigation of adverse effects during construction	11
3.9 Need for further research	12
3.10 Final recommendations	12
PART 4: INFORMATION SOURCES USED IN THIS REPORT	13
PART 5: TERMINOLOGY USED IN THIS REPORT	14
PART 6: STANDARDISED SET OF CONVENTIONS USED TO ASSESS IMPACT OF PROJECTS ON INDIVIDUAL HERITAGE FEATURES	16
ANNEXURE 1: CHRONOLOGY OF HUDDLE PARK HISTORY	18
ANNEXURE 2: INDIVIDUAL HERITAGE FEATURES ASSESSMENT	21
Site 1: Clubhouse	22
Site 2: Pro shop complex	27
Site 3: Caddies' compound	30
Site 4: Ticket office	33
Site 5: Stores	34
Site 6: Electric substation	35
Site 7: Water furrow	36

Site 8: Stream and dams
Site 9: Planted vegetation

38
40

ANNEXURE 3: MAPS AND IMPACT TABLE

42

Figure 1: Location of Huddle Park on 1:50 000 map
Figure 2: Original survey diagram (1921) of Bedford Farm 10 (62 IR)
Figure 3: Original survey diagram (1921) of Bedford Farm 17 (68 IR)
Figure 4: Survey diagram (1935) in connection with site purchase
Figure 5: Location of individual heritage features
Figure 6: Summarised impact table



LEVEL 2 (SPECIALIST STUDY) HERITAGE REPORT: PROPOSED HUDDLE PARK GOLF COURSE DEVELOPMENT, JOHANNESBURG

SUBMITTED TO: Reuben Heydenrych, Strategic Environmental Focus
DATE OF SUBMISSION: 22 August 2005

EXECUTIVE SUMMARY

This report fulfils the requirements for the Level 2 (Specialist Study) phase of a Heritage Impact Assessment (HIA) as provided for in the National Heritage Resources Act (Act 25 of 1999). In this case, a

- HIA specialist study was conducted as follow-up to a Heritage Scoping Report, submitted by M Naudé of the National Cultural History Museum

It is envisaged that both reports will form the basis of a comprehensive Heritage Impact Assessment as required by SAHRA in terms of Section 38 of the *National Heritage Resources Act*.

The aim of this study is to further analyse heritage issues and how to manage them within the context of the proposed development. The objectives are to assess heritage significance (involving site inspections and basic desktop and archival research), to identify the need for further detailed research, to identify local heritage groups and experts (as part of the broader public participation process), to review the general compatibility of the development proposals with heritage policy and to assess the acceptability of the proposed development from a heritage perspective.

Based on what was found and its evaluation, it is recommended that the proposed development can continue in the area, on condition of acceptance of the following recommendations:

1. That the mitigation and management measures as set out in this report are applied for both the entire area and for each identified site prior to development taking place, namely:
 - Retention, preservation and re-use of significant buildings, structures, trees and other features, namely the **caddies' compound, the water furrow (or parts thereof), the vegetation (trees) and the stream with the dams;**
 - Mapping and recording of those features older than 60 years that can be demolished, namely the clubhouse and caddies shelter with additions;
 - Mapping and recording of those features younger than 60 years that can be demolished, namely the ticket office and electric substations;
 - Retaining the visual memory of the entire site by incorporating the structure, order and relationships of the heritage landscape in the new landscape design, namely the **position of the clubhouse, ticket office, 19th hole;**
 - Retaining the intangible (oral) memory of the site by appropriate naming of its new development components (streets, zones, precincts etc) and appropriate site interpretation (interpretive plaques, displays etc)

CULTMATRIX CC

2. If archaeological and historical sites and objects are exposed during construction work, it should immediately be reported to a museum, preferably one at which an archaeologist is available, so that an investigation and evaluation of the finds can be made.

In connection with the process and outcomes of the Specialist Study, we were also requested to identify the need for further research about the history of the site.

Finally, through our research we have established that the original name of the Huddle Park was *Bedford Park*. Since the name *Huddle Park* (we could not establish its origin) does not seem to have any important associations with the history of the site, we recommend that the proposed development be renamed *Bedford Farm*, which encompasses its origins that can be traced back to Sir George Farrar, one of Johannesburg's Randlords. There is already a small adjacent suburb known as Bedford Park.



R C DE JONG
Principal Member: Cultmatrix cc

PART 1: REPORT ON PROJECT EXECUTION

The structure of this report is based on:

- SOUTH AFRICAN HERITAGE RESOURCES AGENCY, Heritage Impact Assessment: Notification to SAHRA of intent to develop (form)
- DEPARTMENT OF ENVIRONMENTAL AFFAIRS AND DEVELOPMENT PLANNING, PROVINCIAL GOVERNMENT OF THE WESTERN CAPE, 2005, Guideline for involving heritage specialists in EIA processes (document)
- DEPARTMENT OF ENVIRONMENT AFFAIRS AND TOURISM, Integrated Environmental Management Guidelines
- Best-practice HIA reports submitted by Cultmatrix and other heritage consultants

1.1 Background

1.1.1 General

The broader study entails the required environmental scoping and impact assessment investigations for the redevelopment of a site in eastern Johannesburg, adjacent to Bedfordview, known as *Huddle Park*. At present this site is a golf course.

Johannesburg is an area with a relatively long history of human use and occupation, initiated by Stone and Iron Age communities and culminating in permanent colonial settlement in the 1880s. The site includes a range of heritage resources as defined in the *National Heritage Resources Act* (Act 25 of 1999):

- Places, buildings and structures equipment of cultural significance;
- Places to which oral traditions are attached or that are associated with living heritage (sport);
- Landscape and natural features of cultural significance;
- Sites related to the history of labour.

Huddle Park is one of the largest remaining open spaces in Johannesburg, covering an area of 235, 489 hectares, and is surrounded by Linksfield, Bedford Park, Senderwood, Sandringham and another golf course, the Royal Johannesburg Golf Club. The proposal envisages residential development, the creation of a private golf course, and retail and office components. Two-thirds of the site will be retained as open space. Huddle Park has, over the years, run into a state of disrepair, which prompted the City of Johannesburg to intervene "and inject some investment" to improve the state of the property. The Huddle Park development will see the existing golf course facilities upgraded, with developers also undertaking to upgrade the Pimville golf course in Soweto and build a new one in Midrand.

Strategic Environmental Focus (SEF) appointed Cultmatrix cc as an independent heritage consultant to conduct a survey to research and assess sites, objects and structures of cultural importance found within the boundaries of the area that is to be impacted by the development.

1.1.2 Terms of reference and approach

The investigation consisted of conducting a Level 2 (Specialist Study) of the site in accordance with the requirements of Section 38(3) of the National Heritage Resources Act (Act 25 of 1999). This study was recommended in the Naudé report.

The aim of the investigation is to analyse heritage issues in depth and how to manage them within the context of the proposed development.

The objectives of the investigation are:

- Analysing heritage issues;
- Assessing cultural significance of identified sites, places, buildings, structures, objects etc involving site inspections and establishing a broad chronology of the site through further research;

- Identifying the need for further research;
- Surveying and mapping of significance/sensitivity issues and opportunities/constraints issues;
- Reviewing of the general compatibility of the proposed development with heritage policy planning frameworks;
- Undertaking a preliminary assessment of the acceptability of the proposed development from a heritage perspective;
- Identifying the need for alternatives if necessary;
- Recommending mitigation measures to ameliorate any negative impacts on areas of archaeological, cultural or historical importance.

1.1.3 Definitions and assumptions

The following aspects have a direct bearing on the investigation and the resulting report:

- *Cultural (heritage) resources* are all non-physical and physical human-made occurrences, as well as natural occurrences that are associated with human activity. These include all sites, structures and artefacts of importance, either individually or in groups, in the history, architecture and archaeology of human (cultural) development.
- The *significance* of the sites and artefacts is determined by means of their historical, social, aesthetic, technological and scientific value in relation to their uniqueness, condition of preservation and research potential. It must be kept in mind that the various aspects are not mutually exclusive, and that the evaluation of any site is done with reference to any number of these.

1.1.4 Limiting/Restricting factors

The investigation has been influenced by the following factors related to time scales:

- Availability and reliability of baseline information about the affected area;
- Unpredictability of buried archaeological/palaeontological remains (absence of evidence does not mean evidence of absence);
- Difficulty in establishing nature and degree of significance of intangible heritage values;
- Degree of contentiousness of the project from a heritage perspective and the need for targeted consultation as part of the EIA process, in other words, public heritage consultation was not possible due to the confidential nature of the development and will only be done later as part of the broader mandatory public consultation process.

1.2 Legal context

This study constitutes a Level 2 (Heritage Specialist Study) report as part of the environmental impact assessment required for the development of Huddle Park. In terms of Section 38 (1) of the National Heritage Resources Act (Act 25 of 1999), a heritage impact assessment is required by the responsible heritage resources agency, which, in this case, is the SAHRA national office in Johannesburg.

The purpose of this report is to assess the significance of heritage resources on the site and to recommend mitigatory measures aimed at reducing any negative impacts on these heritage resources.

1.3 Development criteria in terms of Section 38(1) of the NHRA

1.3	Development criteria in terms of Section 38(1)	Yes/No details
1.3.1	Construction of road, wall, power line, pipeline, canal or other linear form of development or barrier exceeding 300m in length	Yes
1.3.2	Construction of bridge or similar structure exceeding 50m in length	No
1.3.3	Development exceeding 5000 sq m	Yes
1.3.4	Development involving three or more existing erven or subdivisions	No
1.3.5	Development involving three or more erven or divisions that have been consolidated within past five years	No

CULTMATRIX CC

1.3	Development criteria in terms of Section 38(1)	Yes/No details
1.3.6	Rezoning of site exceeding 10 000 sq m	No details
1.3.7	Any other development category, public open space, squares, parks, recreation grounds	Yes
1.3.8	Costs of which will exceed a sum set in terms of regulations set by SAHRA and the PHRA	No details

1.4 Property ownership

1.4	Property owners
1.4.1	Names
1.4.2	Name and contact address
1.4.3	Telephone number
1.4.4	Fax number
1.4.5	E-mail

1.5 Development Project Coordinator

1.5	Project Coordinator
1.5.1	Name and contact address
1.5.2	Telephone number
1.5.3	Fax
1.5.4	E-mail

1.6 Heritage impact assessment specialists and methods of investigation

1.6.1 Specialist

Specialist 1	
1	Name and contact address
2	Qualifications and field of expertise
3	Relevant experience in study area
4	Telephone number
5	Fax number
6	E-mail

Specialist 2	
1	Name and contact address
2	Qualifications and field of expertise
3	Relevant experience in study area
4	Telephone number
5	Fax number
6	E-mail

1.6.2 Method of investigation

Preliminary investigation

Survey of the literature

A survey of relevant literature was conducted with the aim of reviewing the previous research done and determining the potential of the area.

Archival research

Research was conducted in the National Archives to obtain basic information and explore other information sources

Internet research

Information on the history of the site and the proposed development was obtained in this manner.

Other sources

- Topographical maps
- Historic photographs
- Spatial development plans (provided by SIP Project Managers)
- Plans showing position of heritage resources in relationship to planned site development layout (provided by SIP Project Managers)
- Original building plans (City of Johannesburg)

Field surveys

The field surveys were aimed at viewing and assessing sites and structures identified in the Naudé report.

Documentation

Photos were taken of identified sites and structures.

Report

The findings and recommendations of the heritage scoping study are contained in this report.

1.7 Property details

1.7	Property details
1.7.1	Name and location of property Huddle Park Golf Course, eastern Johannesburg (Linkfield/Senderwood area)
1.7.2	Erf or farm numbers Remainder and Portion 66 of Bedford 68 IR
1.7.3	Magisterial district Johannesburg
1.7.4	Local authority City of Johannesburg
1.7.5	Current use Recreational (golf and golf academy)
1.7.6	Current zoning Recreational
1.7.7	Land use of surrounding properties Recreational (golf), residential
1.7.8	Extent of property 235,489 hectares

CULTMATRIX CC

1.8 Development description

1.8	Development description	
1.8.1	Nature of proposed development	Housing, private golf course, park, bird sanctuary, farmyard, retail and wellness centre, offices
1.8.2	Siting, orientation, height and footprint of new structures	Available from SIP
1.8.3	Location and treatment of access roads to site, internal roads, parking	See proposed site development plan
1.8.4	Intended extent of cut/fill on steep slopes	N/a
1.8.5	Intended demolition/alteration of existing structures	To be discussed in full HIA report
1.8.6	Intended removal/retention of existing vegetation	Retention of as many trees as possible on golf course is intended, excluding invasive species
1.8.7	Type and height of new signage	N/a
1.8.9	Nature and height of boundary treatments	N/a
1.8.10	Location of construction facilities	N/a
1.8.11	Traffic within, to and from site	N/a
1.8.12	Architectural treatment and use of materials	Developers intend designing new facilities in context/association with the history of the site ("heritage architecture")
1.8.13	Extent of proposed demolitions and new additions to existing structures	To be discussed in full HIA report
1.8.14	Phasing of project and nature and extent of future expansion	Available from SI
1.8.15	Project alternatives (proposed)	None
1.8.16	History of application	New application

1.9 Legal requirements

1.9	Legal requirements	
1.9.1	Is planning permission required for any departures or consent use in terms of zoning schemes? Has an application been submitted to the planning authority and has any comments or approval from the planning authority been obtained?	Yes
1.9.2	Is planning authority permission required for any subdivision or consolidation? Has an application been submitted to the planning authority and has any comment or approval from the planning authority been obtained?	Yes
1.9.3	Is the proposed development subject to EIA regulations and has an application been submitted to the provincial environmental agency?	Yes
1.9.4	Has any assessment of the impact of the proposed development on any heritage resources been undertaken in	In process

CULTMATRIX CC

1.9	Legal requirements	
	terms of EIA or planning processes?	
1.9.5	Title deed restrictions	N/a
1.9.6	Is affected area situated within or adjacent to a conservation area, special area, scenic route or any other area that has special environmental or heritage protection?	No
1.9.7	Does affected area have any special conservation status?	No
1.9.8	Are there any other restrictions on the property	N/a
1.9.9	Does the proposed development conform to local planning policies?	Yes
1.9.10	What interested and affected parties have been consulted?	Will be identified through normal public participation process as part of EIA
1.9.11	Is approval from any authority required?	Yes (City of Johannesburg, GDACE, SAHRA)
1.9.12	Has permission for similar development been refused by any authority in the past?	No

1.10 Acknowledgements

- Mr Charles Israelite (SIP Project Managers) for providing access, maps, oral history of site etc
- Mrs Cecile Venter (City of Johannesburg, Building Inspectorate) for finding original building plans and making copies free of charge

PART 2: HERITAGE ASPECTS OF THE AFFECTED AREA

2.1 Cultural significance, issues and environmental concerns of site and context

2.1	Cultural significance, issues, concerns	
2.1.1	Environmental and heritage context	See 2.2 below
2.1.2	Cultural significance of adjoining properties relating to property	<ul style="list-style-type: none"> • Royal Johannesburg Golf Club: one of oldest golf clubs in city with historic clubhouse • St Andrew's School for Girls: located at historic George Farrar homestead <i>Bedford Farm</i>
2.1.3	Archaeological remains	None were observed
2.1.4	Palaeontological remains	None
2.1.5	Structures older than 60 years	Nucleus of golf clubhouse, caddies' compound, water furrow, old farm dams, caddies' shelter, old pro shop
2.1.6	Graves or burial sites	None
2.1.7	Formally protected heritage sites (Grade 1, 2, 3)	None
2.1.8	Is affected area part of proclaimed special area, conservation area, heritage area, protected area	No
2.1.9	Places or objects of cultural significance, listed heritage resources	Yes: original clubhouse and caddies' compound, caddies' shelter, old pro shop, old signage
2.1.10	Places with oral traditions	Yes (entire golf course)

CULTMATRIX CC

2.1	Cultural significance, issues, concerns	
2.1.11	Part of historical settlement or townscape	Yes
2.1.12	Part of landscape of cultural significance	Yes (historic golf course with mature vegetation)
2.1.13	Geological sites of cultural importance	No
2.1.14	Places or objects related to history of slavery/labour	Yes: caddies' shelter and compound
2.1.15	History of property	See Annexure 1 (chronology)
2.1.16	Association with important person, event, groups, activities, public memory	Yes
2.1.17	Sea frontage or water source	Yes (small natural stream with manmade dams)
2.1.18	Rocky outcrops	No
2.1.19	Rock shelters	No
2.1.20	Part of coastal dune system	No
2.1.21	Geological features	No
2.1.22	Located on land reclaimed from sea	No
2.1.23	Situated adjacent to or within scenic route	No
2.1.24	Previously cultivated	Yes (farm water furrow)

2.2 General history of the affected environment

See Annexure 1 (chronology)

A historic sequence of events around and relevant to the site is a necessary prerequisite to provide a base for understanding the evolution of the artifact itself, within a historic matrix of events, people and places. This historic sequence of events is captured in the timeline provided below – due reference is given to source material included in all parts of the report.

2.3 General description of the affected environment

See the Naudé report.

PART 3: FINDINGS AND RECOMMENDATIONS

3.1 Identification and mapping of heritage resources

See:

- Naudé report
- Annexure 2

3.2 Assessment of significance of heritage resources

3.2.1 General statement of significance (Sections 3(3) and 5(7) of the NHRA)

KEY CRITERIUM	ELEMENTS	EVIDENCE	Rating
Importance in the community, or pattern of South Africa's history	None	None	Low
Possession of uncommon, rare or endangered aspects of South Africa's natural or cultural heritage	<ul style="list-style-type: none"> • Possibly the caddies' compound • One of largest historic golf courses in country 	<ul style="list-style-type: none"> • Comparison to other buildings (needs more research) • Three golf courses into one site 	Medium
Potential to yield information that will contribute to an understanding of South Africa's natural or cultural heritage	Entire site	Development offers opportunity to find more information about history of golf courses in terms of design and operation	Medium
Importance in demonstrating the principal characteristics of a particular class of South Africa's natural or cultural places or objects	Golf clubhouse and infrastructure for workers (caddies)	Comparison with other buildings (little is known about history and architecture of sport and recreation buildings in SA)	Medium
Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group	Golf clubhouse	Designed by municipal draughtsman	Low
Importance in demonstrating a high degree of creative or technical achievement at a particular period	None	None	Low
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons	White and (more recently) black golfing fraternity	Has been popular public golf course for decades	High
Strong or special	Association with Sir	Dams, water furrow,	Medium

CULTMATRIX CC

KEY CRITERIUM	ELEMENTS	EVIDENCE	Rating
association with the life and work of a person, group or organisation of importance in the history of South Africa	George Farrar who established Bedford Farm	name of adjacent Bedford Park and Bedfordview	
Site of significance relating to the history of slavery/labour in South Africa	Life and work of caddies	Compound and shelter	High
Economic significance	<ul style="list-style-type: none"> • Role in local recreation • Golf academy 	Popular golf course with training facility for caddies and black golfers	Medium

3.2.2 Significance assessment of individual heritage-related features and elements

See Annexure 2.

3.3 Impact assessment

Refer to Annexure 2 as well as the summarised impact table in Annexure 3.

3.4 Social and economic benefits

The new Huddle Park development will create jobs and will enhance the current area.

3.5 Consultation with affected communities

This is part of the mandatory public participation process undertaken by SEF. Further public participation/input will be required should the developer apply for demolition permits.

3.6 Key mitigation and enhancement measures

Refer to Annexure 2 and the summarised impact table (Annexure 3).

3.7 Mitigation of adverse effects during construction

The following project actions may impact negatively on archaeological sites and other sites of cultural importance. The actions are most likely to occur during the construction phase of the proposed project.

- Road making, construction activities and development of services may expose as yet unknown heritage resources;
- Occupation of the area would bring in curious visitors, who might destroy or remove objects from the identified sites;
- Removal of historic fabric during demolition.

We recommend that:

- Construction work is monitored by specialist archaeologists, cultural historians or conservation architects for the uncovering of any archaeological and historical sites, structures and objects through excavation and demolition activities;
- This recommendation must be included in construction tender documents.
- Identified sites should be properly documented and protected.

3.8 Key uncertainties and risks that may influence accuracy and confidence of impact assessment

The public participation results in connection with the assessment of the site's heritage have not yet been assessed when this report was compiled.

3.9 Need for further research about the history of the site

- Johannesburg Municipal Archives 1900-1926 (in National Archives)
- Johannesburg Municipal Archives 1926-1954 (in basement of municipal offices)
- History of St Andrews School for Girls, published in 2002 (centenary year)(available at school)
- Selected oral history interviews with former golfers and caddies
- Historic aerial photographs (since late 1930s)

3.10 Final recommendations

The aim of the investigation was to locate, identify, evaluate and document sites, objects and structures of cultural significance found within the boundaries of the area in which it is proposed to develop Rainbow Junction.

Based on what was found and its evaluation, it is recommended that the proposed development can continue in the area, on condition of acceptance of the following recommendations:

- That the mitigation measures as set out in Annexure 2 and Annexure 3 (summarised impact table) of this report, are applied for both the entire area and for each identified site prior to development taking place.
- If archaeological sites are exposed during construction work, these should immediately be reported to a museum, preferably one at which an archaeologist is available, so that an investigation and evaluation of the finds can be made.

PART 4: INFORMATION SOURCES USED IN THIS REPORT

4.1 Archives

National Archives, Pretoria: File TAB TPB Vol 770, ref TA 78/2927 (Huddle Park)

City of Johannesburg, Building Inspectorate: Original building plans

4.2 Literature

DE KOCK, WJ (ed), *Suid-Afrikaanse Biografiese Woordeboek*, 1968, Vol 1, Cape Town.

Johannesburg One Hundred Years, 1986. Johannesburg: Chris van Rensburg Publishers.

BARRY, M, & LAW, N, 1985, *Magnates and mansions. Johannesburg 1886-1914*. Johannesburg: Lowry Publishers.

Standard Encyclopedia of Southern Africa, Vol 2.

Standard Encyclopedia of Southern Africa, Vol 6.

Standard Encyclopedia of Southern Africa, Vol 9.

4.3 Title deeds information

Department of Land Affairs, Pretoria, Deeds Office: Bedford 68 IR title deeds book

4.6 Internet

www.linksfield.co.za

www.joburg.co.za

www.standrews.co.za

4.7 Unpublished reports

NAUDÉ, M, 2005, *Heritage scooping report for the proposed development on the Linksfield golf course.*

PART 5: TERMINOLOGY USED IN THIS REPORT

Cultural significance (Burra Charter)

Aesthetic, historic, scientific, social or spiritual importance, meaning or noteworthiness for past, present or future generations

Cultural significance is embodied in the place itself (intrinsic significance), its fabric, setting, use, associations, meanings, records, related places and related objects

Heritage resources/features (NHRA)

Any place or object of cultural significance, including:

- (a) places, buildings, structures and equipment of cultural significance;
- (b) places to which oral traditions are attached or which are associated with living heritage;
- (c) historical settlements and townscapes;
- (d) landscapes and natural features of cultural significance;
- (e) geological sites of scientific or cultural importance;
- (f) archaeological and palaeontological sites;
- (g) graves and burial grounds, including—
 - (i) ancestral graves;
 - (ii) royal graves and graves of traditional leaders;
 - (iii) graves of victims of conflict;
 - (iv) graves of individuals designated by the Minister by notice in the *Gazette*;
 - (v) historical graves and cemeteries; and
 - (vi) other human remains which are not covered in terms of the Human Tissue Act, 1983 (Act No. 65 of 1983);
- (h) sites of significance relating to the history of slavery in South Africa;
- (i) movable objects, including—

- (i) objects recovered from the soil or waters of South Africa, including archaeological and palaeontological objects and material, meteorites and rare geological specimens;
- (ii) objects to which oral traditions are attached or which are associated with living heritage;
- (iii) ethnographic art and objects;
- (iv) military objects;
- (v) objects of decorative or fine art;
- (vi) objects of scientific or technological interest; and
- (vii) books, records, documents, photographic positives and negatives, graphic, film or video material or sound recordings, excluding those that are public records as defined in section 1(xiv) of the National Archives of South Africa Act, 1996 (Act No. 43 of 1996).

Heritage significance (NHRA)

- (a) its importance in the community, or pattern of South Africa's history;
- (b) its possession of uncommon, rare or endangered aspects of South Africa's natural or cultural **heritage**;
- (c) its potential to yield information that will contribute to an understanding of South Africa's natural or cultural **heritage**;
- (d) its importance in demonstrating the principal characteristics of a particular class of South Africa's natural or cultural places or objects;
- (e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;
- (f) its importance in demonstrating a high degree of creative or technical achievement at a particular period;
- (g) its strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;

CULTMATRIX CC

(h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa; and
(i) sites of significance relating to the history of slavery in South Africa.

Historic period

Since the arrival of the white settlers - c. AD 1840 in this part of the country

Impact

A description of the effect of an aspect of the development on a specified component of the biophysical, social or economic environment within a defined time and space

Impact assessment

Issues that cannot be resolved during screening (Level 1) and scoping (Level 2) and thus require further investigation

Iron Age

Early Iron Age (EIA) AD 200 - AD 1000
Late Iron Age (LIA) AD 1000 - AD 1830

Issue

A question that asks what the impact of the proposed development will be on some element of the environment

Management actions

Actions that enhance benefits associated with a proposed development or avoid, mitigate, restore, rehabilitate or compensate for the negative impacts

PHRA – Provincial Heritage Resources Agency

SAHRA - South African Heritage Resources Agency

Stone Age

Early Stone Age (ESA) 2 000 000 - 150 000 Before Present
Middle Stone Age (MSA) 150 000 - 30 000 BP
Late Stone Age (LSA) 30 000 - until c. AD 200

Value

Worth, conservation utility, desirability to conserve etc in terms of physical condition, level of significance (importance), economy (feasibility), possible new uses and associations/comparisons with similar features elsewhere

PART 6: STANDARDIZED SET OF CONVENTIONS USED TO ASSESS THE IMPACT OF PROJECTS ON INDIVIDUAL HERITAGE FEATURES

Category of heritage significance of feature

One or more of the categories (a) to (i) in terms of Section 3(3) of the NHRA

From a heritage perspective there should be a distinction between significance embedded in the physical fabric, or in associations with events or persons, or in the experience of the place.

Conservation value of heritage feature (individual)

Worth, conservation utility, and desirability to conserve: low, medium, high

Nature of the impact

Impact of the activity (development) on a heritage resource with indications about its positive and/or negative effects. The statement of significance informs it. The nature of the impact may be historical, aesthetic, social, linguistic, architectural, intrinsic, associational, contextual (visual or non-visual) or a combination of the above.

Extent of the impact

- On a site scale (not beyond the development)
- On a local scale (suburb, town)
- On a metropolitan or regional scale
- On a national or international scale

Duration of the impact

- Short term
- Medium term
- Long term (impact will persist beyond operational life of activity)
- Permanent
- Reversibility
- Renew-ability of heritage resource

Intensity of impact

- Low where the impact affects the resource in such a way that its heritage value is not affected
- Medium where the affected resource is altered but its heritage value continues to exist in a modified way
- High where heritage value is altered to the extent that it will temporarily or permanently be damaged or destroyed

Degree of prediction:

- Definite: More than 90% sure of a particular fact. Substantial supportive data to verify assessment
- Probable: More than 70% sure of a particular fact, or of the likelihood of that impact occurring
- Possible: Only more than 40% sure of a particular fact, or of the likelihood of an impact occurring
- Unsure: Less than 40% sure of a particular fact, or the likelihood of an impact occurring

Impact significance

- Low where the impact will not have an influence on or require to be significantly accommodated in the project design
- Medium where the impact could have an influence, which will require modification of the project design or alternative mitigation
- High where it would have a "no-go" implication on the project regardless of any mitigation

The significance of impacts can be determined through a synthesis of the aspects in terms of the nature and degree of heritage significance and the nature duration, intensity, extent and degree of prediction of impacts.

CULTMATRIX CC

Recommended management action:

For each impact, the recommended practically attainable mitigation actions that would result in a measurable reduction of the impact must be identified. This is expressed according to the following:

1. **Avoidance:** Preserve feature at all costs and restore/rehabilitate/enhance it together with interpretation
2. **Mitigation:** Preserve feature if possible, otherwise salvage excavation and/or documentation/recording before demolition/alteration, followed by preserving its memory in design and scale of development
3. **None:** No further action required

Legal requirements:

Specific legislation and permit requirements that potentially could be infringed upon by the proposed project, if mitigation is necessary.

ANNEXURE 1
CHRONOLOGY OF HUDDLE PARK HISTORY

CHRONOLOGY OF HUDDLE PARK HISTORY

DATE	EVENT	INFORMATION SOURCE
17.6.1859	George Herbert Farrar born in England	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1879	George Farrar comes to SA (Cape Town)	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1886	George Farrar moves to Johannesburg where he starts selling mining equipment	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1890	First golf club established in Johannesburg	<i>Johannesburg One Hundred Years</i> , 1986, p 215
Sep 1892	Bedford Farm surveyed as Bedford No 10 (now 62 IR) for George Farrar named after the English town where he attended school. He establishes a model farm specializing in Friesian dairy cattle.	Surveyor General's office, Pretoria: Bedford 68 IR map book; BARRY, M, & LAW, N, 1985, <i>Magnates and mansions. Johannesburg 1886-1914</i> , pp 142-144
1893	George Farrar establishes ERPM (gold-mining company)	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1895	First professional golf tournament in Johannesburg	<i>Johannesburg One Hundred Years</i> , 1986, p 216
1896	George Farrar tried for high treason due to his involvement with the Jameson Raid, sentenced to death, sentence commuted to fine	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1902	George Farrar knighted for participation in Anglo-Boer War	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299 www.standrews.co.za
1902	St Andrews School for Girls established (now located at historic Bedford Farm homestead)	
1903	Lord Milner lays the foundation stone for Sir George Farrar's new farmstead on Bedford Farm, designed by Herbert Baker	BARRY, M, & LAW, N, 1985, <i>Magnates and mansions. Johannesburg 1886-1914</i> , pp 142-144
1904	Benoni established through Farrar's efforts	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1908	Sir George Farrar appointed as member of National Convention charged with unification of SA	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1908	Sir George Farrar becomes chairman of new ERPM group	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1910	Sir George Farrar becomes member of new Union Parliament	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
1911	Farrar resigns from Parliament to reorganize ERPM	DE KOCK, WJ (ed), <i>Suid-Afrikaanse Biografiese Woordeboek</i> , Vol 1, p 299
20.5.1915	Sir George Farrar killed in railway accident whilst serving in the Union Defence Force in Namibia. He is buried on Bedford Farm.	BARRY, M, & LAW, N, 1985, <i>Magnates and mansions. Johannesburg 1886-1914</i> , pp 142-144

CULTMATRIX CC

DATE	EVENT	INFORMATION SOURCE
1919	Geidenhuis Estate Small Holdings established	<i>Standard Encyclopedia of Southern Africa</i> , Vol 2, p 239
1920s	Linksfield suburb established, named after the links of the Royal Johannesburg Golf Course	<i>Standard Encyclopedia of Southern Africa</i> , Vol 6, p 648
July 1921	Bedford farm resurveyed for obtaining certificate of amended title in favour of Lady Mabel Farrar, Patrick Duncan, John Percy Farrar. Remainder becomes a new, separate farm, Bedford No 17 (now 68 IR)	Surveyor General's office, Pretoria: Bedford 68 IR map book
Nov 1921	Bedford No 17 (68 IR) surveyed and sold to TL Ellis	Surveyor General's office, Pretoria: Bedford 68 IR map book
1926	Geidenhuis Estate Small Holdings renamed Bedfordview (overlooking Bedford Farm)	<i>Standard Encyclopedia of Southern Africa</i> , Vol 2, p 239
1934	City Council of Johannesburg decides to purchase Bedford 68 IR and other land for municipal golf courses	File TAB TPB Vol 770, ref TA 78/2927, National Archives, Pretoria
1935	City Council of Johannesburg purchases Bedford 68 IR for £40 000 from TL Ellis for purposes of establishing a municipal golf course, known as Bedford Park	File TAB TPB Vol 770, ref TA 78/2927, National Archives, Pretoria
1935-1939	City Council of Johannesburg establishes one golf course	www.linksfield.co.za
July 1939	Plans for caddy shelter, caddy master's office, pro golf shop, designed by City Engineer's Dept, approved	Original building plan, City of Johannesburg
Feb 1940	Plans for golf club house and new caddies' compound, designed by City Engineer's Dept, approved	Original building plans, City of Johannesburg
1948	Senderwood suburb established, named after SN Sender who funded it	<i>Standard Encyclopedia of Southern Africa</i> , Vol 9, p 583
1950s	Second golf course established (White Course)	www.linksfield.co.za
1960s	Third golf course established. Old clubhouse extended with bar, lounges, restaurant, conference rooms, offices.	www.linksfield.co.za
1971	Huddle Park hosts two PGA championships	<i>Johannesburg One Hundred Years</i> , 1986, p 217
June 1977	Addition to caddy shelter and pro golf shop approved	Original building plan, City of Johannesburg
2001	City of Johannesburg leases Huddle Park to Linksfield Golf Development Co for a period of 15 years.	www.linksfield.co.za
2002	St Andrews School for Girls celebrates centenary	www.standrews.co.za ; <i>The Golden Spoon</i> (centenary publication)
Sep 2004	City of Johannesburg issues call for proposals for development of Huddle Park	www.joburg.co.za
2005	Huddle Park consists of three 18-hole golf courses, golf academy, driving range, putting greens, catering facilities, nature walks, coaching facilities, bar, lounge	www.linksfield.co.za

ANNEXURE 2

**ASSESSMENT OF INDIVIDUAL HERITAGE
FEATURES**

(Refer to locality maps in Annexure 3)

SITE/ITEM 1**Clubhouse with later alterations and additions****Location:**

Huddle Park Golf Club

Original name:

"Golf Club House for Bedford Park Golf Course", later "Huddle Park Golf Clubhouse".

Existing documentation:

The elevations and sections of the original Clubhouse are shown on Drawing 4, Contract 1633, by the City Engineers Department for the Director of Parks and Improvements, City of Johannesburg, dated July 1938, and approved 7 Sept 1939 (See Annexure 3 for the historic drawings). The service buildings are not shown. No drawings could be sourced of the later alterations and additions.

Description and discussion:**The original clubhouse:**

Building/s: An elegant, formally designed composite structure placed on a level surface of half cut and half fill, oriented towards the north-west, being basically a symmetrically designed, U-shaped structure with entrance portico at the south-east side (back) and veranda on the north-east (front). The whole was made up of a rectangular, centrally placed double story main section built of brickwork, with a plinth of dark face brick in stretcher bond, a plastered with top section and a hipped roof with slate shingle finish, with sheet metal gutters and rain water down pipes, and with two single story wings of the same construction and finish on the sides. Windows were rectangular, mostly horizontally proportioned except for the ablutions on the south-west side and on the inner facades of the side-wings, and made of standard steel window sections, showing escutcheon clearly belonging to the late 1930's. The main section had a small open portico of the same construction on the southeast elevation, with a timber framed door with horizontal glazing and top-light. The portico was entered by means of a raised floor with low flanking plinth walls. The structure was covered by a saddle roof with fascia, and with a small central louvered ventilator on the gable end. The portico was joined to the each side wing by a low passage with a flat concrete roof. The main façade on the north-west side had a long enclosed veranda constructed of face brick and with a flat concrete roof, with a central opening and on either side two regularly spaced, large, horizontally proportioned windows with brickwork in between – the sides of the veranda had similar windows. The veranda was accessed from the golf links by means of a small stair with flanking plinth walls, and from the main ground floor room by means of double leafed French door with horizontal glazing and top-light, which door was flanked with vertically proportioned, timber framed windows with top-lights, stretching from floor to ceiling. The roof of the enclosed veranda was open to the air, accessed from the main room on the 1st floor, had a transparent steel balustrade, and was used as an observation deck towards the 18th and 19th holes. The clubhouse had two very tall brick chimneys, one centrally positioned in the south-west wing, the other centrally positioned on the north-east side of the main double story section of the complex, providing a hearth for the main ground floor room.

The Clubhouse was accompanied by the pro shop facility being two rectangular buildings on the entrance or south-east (road) side (See Item 2 below).

Setting: The main building of the Clubhouse complex faces north-west towards the 19th hole - which has an elegant viscera or almond shape with sandstone surrounds and two symmetrical statue bases across the steps of the main building, and is surrounded by a variety of large trees - as well as towards the large trees behind the Caddies' compound. The back or entry side of the building and its service buildings face the car parking area, which has a variety of very large trees. The building is also visible from the main road. The courtyard of the Clubhouse, at the entrance portico, has a magnificent tree of great age that is a visible icon in a larger area of the Club. There are many remains of old stone edges to flower beds and retaining walls.

B Alterations and additions to the Clubhouse:

Alterations: Most of the alterations relate to the addition described below. However, during that phase of the work the original slate shingles of the Clubhouse were removed and replaced by Harvey tiles, and the interior of the ablutions were extensively renovated.

Additions: During the 1960s (?) a new L-shaped Conference wing and new façade or front section were added to the original Clubhouse. Firstly, the new front on the north-east elevation of the Clubhouse comprises of an additional room on top of the old viewing platform, as well as changes to the veranda, with a new façade to this double storey ensemble. The new façade is composed of a concrete frame construction with structural frames of irregular shape, composed in a repetitive rhythm in front of the old building, and with a mono-pitched roof slanting backwards from the façade, covered with Harvey tiles. The legs of the concrete frames form a colonnade in front. The frames are glazed in between, showing a large main window band over the colonnade, and a smaller band above. The new façade has resulted in the loss of the original façade of the original Clubhouse, with the exception of the wall with windows and access door between the central large room of the and original veranda on ground floor. The connection between the new addition and existing building is an extremely insensitive composition, and much damage to the original (eg roof and façade) resulted.

Secondly, the L-shaped Conference wing on the north-east side of the Clubhouse is a brick structure of a rectangular nature with a dark brown rock-face brick plinth in stretcher bond below the window bottoms and with plaster work above, the roof being a shallow pitched saddle roof with gable ends for each section of the L, covered with Harvey tiles. The corner at the meeting of the north-west and north-east facades has an extension that is turned by 45 degrees to the rest, causing the roofline and eaves to gain an extraordinarily lively form with upward and downward pointed portions. The walls of this corner are composed of both vertical window frames that are fully glazed, with metal plate in blue above and below the glazing, and vertical, plastered brick wall components. A coat of arms of the City of Johannesburg, as well as the letters "H P G C" appear vertically on the plastered brick surfaces on both sides of the corner. The north-western façade is composed panel of concrete breeze-blocks, as well as a lean to extension with horizontal strip window with vertical glazing members and steel bottom plate, and with a zigzag concrete beam above – the parts of the beam slant by approx 15 degrees, forming pointed flat arches. The north-eastern façade is more regular with a saddle roof covered by Harvey tiles, and with rectangular steel window frames. The inner facades of the L-wing also show a dark brown rock-face brick plinth in stretcher bond, but with soldier courses below the main horizontally proportioned steel framed windows. The L shaped building forms a small courtyard together with the service buildings, and in this a small concrete colonnade with pointed arches, and low rock-face flower boxes with tile copings in between, is built perpendicular to the inner face of the long section of the L shaped building. Another similar colonnade without flower boxes is used to forms a passage in the small inner courtyard of the addition. A small structure of steel columns and a low flat roof of sheet metal, which connects the Clubhouse with the Conference section, also bound this courtyard.

Note: In reference to comment made by Mr M Naude in the heritage scoping report, the present author would like to report that, in the absence of historical proof in the manner of plans and drawings, the opinion is held that the design of the additions was performed by architects of the City of Johannesburg, rather than an architect in private practice – the design is not deemed to be by H Stauch. The design is similar to a few from the 1950s where exuberant structure and form was used in the modern idiom, e.g. designs by Voutsas in Pretoria etc, but it is not deemed to be historically or architecturally significant or extra-ordinary.

Current heritage status: The original Clubhouse was designed in 1938 and approved in 1939, which makes it 66 years old. The building therefore enjoys **general** protection under the provision of the NHRA - Section 34(1) of the NHRA applies. The alterations and additions are of the 1960's (?). The original building is fairly unique, but its authenticity has been lost due to the manner in which the alterations and additions were performed.

Cultural significance:

Importance in the community or pattern of history

- Importance in terms of the history of golf as sport in the country, and in the city.
- Possession of uncommon, rare or endangered aspects of natural or cultural heritage

- Not applicable;

Potential to yield information that will contribute to an understanding of the natural or cultural heritage

- The target area is part of a larger recognisable cultural landscape of.

Importance in demonstrating the principal characteristics of a particular class of natural or cultural places or objects

- Not applicable;

CULTMATRIX CC

- Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group
- Not applicable;
- Importance in demonstrating a high degree of creative or technical achievement at a particular period
- Not applicable;
- Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons
- Importance for sections of the Johannesburg 'lower middle class' community that chose not to or could not join exclusive private sport/country clubs.
- Strong or special association with the life and work of a person, group or organisation of importance in history
- Not applicable.
- History of slavery
- Not applicable;

Conservation value: Low.

Impact assessment: See Impact Assessment Table.

Heritage assessment: The building has little remaining heritage integrity – due to the low heritage value and minor degree of cultural significance, there is no compelling reason to retain the structure, but mitigation of impact is required.

Legal requirements: Demolition infringes NHRA. Apply for a demolition permit from the PHRA-G with definition of the proposed mitigation and prepare the necessary documentation (description, drawings and photographs) of the *status quo*, especially those aspects not included on the historic plans.

Summary of mitigation measures: Write design guidelines for the newly proposed Huddle Park Estate that stipulate that a non-residential building or structure, of a public nature and of some stature, be situated on the location of the Country Club (in its original state), that this building or structure has a symmetrically composed plan, that it faces the existing '19th hole', and that the existing 19th hole be retained as a landscape element, while allowing congruent and compatible rehabilitation if required, that historic signs of the course be conserved, and that the historic golf links be retained/re-used (with the necessary upgrading due to the development of the science of golf). The historical trees should be retained. The new golf club's clubhouse should acknowledge its precedent in a way to be negotiated with stakeholders - a place must be prepared for historical plaques and memorabilia, or be returned to current club management/members if they so wish, for proper commemoration.

Impact significance

Demolition with mitigation: Low

Demolition without mitigation: Medium

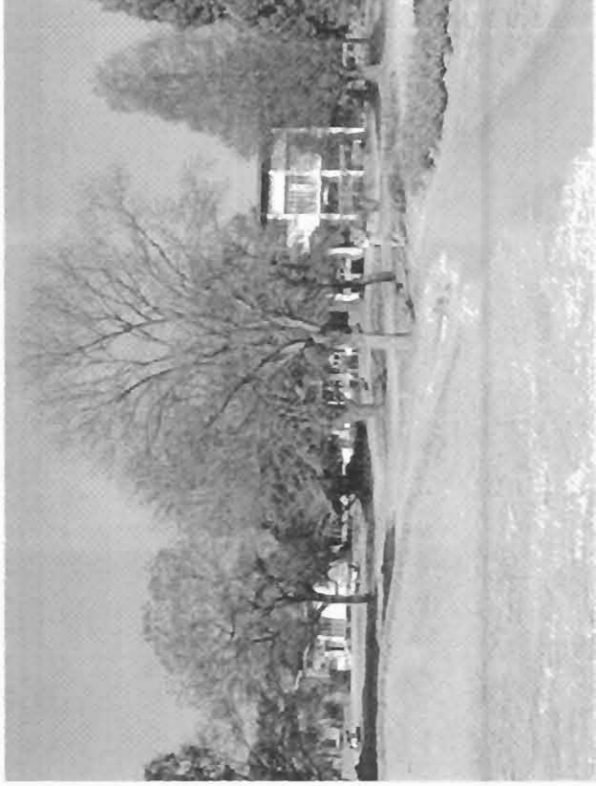
CULTMATRIX CC

Views of the Clubhouse



CULTMATRIX CC

Views of additions to Clubhouse



SITE/ITEM 2 **Pro shop complex with later alterations and additions**Location:

Huddle Park Golf Club

Original name

'Professional's shop, caddy master and caddies' shelter for Bedford Park Golf Course'

Existing documentation:

Drawing no 3, Contract 1633 by the City Engineer's Department, for the Director of Parks & Improvements, City of Johannesburg .

Description and discussion:**A The original building**

The pro shop complex consisted of two parallel rectangular structures of a similar architecture as the clubhouse, grouped around a central open yard, the buildings also displaying the formalism of the first in terms of symmetry on plan and elevation on an axis along the length of the layout. The larger of the two buildings situated on the north-west side, ie the caddy master's side, had a rock-face brick lower section (up to midway of the windows) with plastered cement upper section as the Clubhouse, with the long facades having symmetrically placed steel framed casement and top hung windows showing detail of the 1930's, and with two side stoeps formed by rock-face brick columns, the whole covered by a hipped slate shingle roof with slightly flattened and curved eaves. The stoeps gave access to the offices and workshop of the caddy master through a centrally placed timber framed door, with two steel framed casement windows on either side. The smaller structure situated on the south-east side, ie the Caddies' shelter side, had three walls of rock-face brick up to roof height, with the inner wall completely open to the court between the buildings except for a small ablation facility in the south-east corner with steel framed windows showing detail of the 1930's, and the whole covered by a hipped slate shingle roof with slightly flattened and curved eaves finish.

Setting:**B Alterations and additions**

The original buildings show various alterations. The larger building has received a rock-face brick lean-to structure on the north-west side, and the covered stoeps of the larger structure have been walled up – the current brick piers on the corners can now be understood as the columns of the original stoep on either side of the shelter. A rectangular, plastered brick structure with hipped roof was added in between the original two buildings of the Caddy centre, as well as on the south-west side of the original complex a larger rectangular, plastered brick structure with flat corrugated sheet metal roof behind parapet walls, with an additional extension with a corrugated galvanised sheet metal saddle roof with timber fasciae – their appearance gives the impression that they are old structures, but they are more recent than the original structures, have little design value, no cultural significance and no heritage conservation value.

Current heritage status: The original Pro shop and caddy centre was designed in 1938 and approved in 1939, which makes it 66 years old. The building therefore enjoys **general** protection under the provision of the NHRA - Section 34(1) of the NHRA applies. The inserted buildings are from after 1945, and are not protected.

Cultural significance:

Importance in the community or pattern of history

- Not applicable;
- Possession of uncommon, rare or endangered aspects of natural or cultural heritage
- Not applicable;

Potential to yield information that will contribute to an understanding of the natural or cultural heritage

- The target area is part of a larger recognisable cultural landscape of the golf park, but it is not an essential or central component required to understand the historic cultural landscape.

Importance in demonstrating the principal characteristics of a particular class of natural or cultural places or objects

- Not applicable;
- Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group
- Not applicable;

CULTMATRIX CC

Importance in demonstrating a high degree of creative or technical achievement at a particular period

- Not applicable;

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons

- Importance for sections of the Johannesburg 'lower middle class' community that chose not to or could not join exclusive private sport/country clubs.

Strong or special association with the life and work of a person, group or organisation of importance in history

- Not applicable.

History of slavery

- Not applicable;

Conservation value:

Low

Impact assessment:

See Impact Assessment Table

Heritage assessment:

The building has medium remaining heritage integrity – due to the medium heritage value and low cultural significance, there is no compelling reason to retain the structure and ensure retention of cultural significance in new development.

Legal requirements:

Demolition infringes NHRA. Apply for a demolition permit from the PHRA-G with definition of the proposed mitigation and prepare the necessary documentation (description, drawings and photographs) of the *status quo*, especially those aspects not included on the historic plans.

Summary of mitigation measures: Write design guidelines for the newly proposed Huddle Park Estate that stipulate that the position and function of this building be marked, and that its position be recognised in the urban design plan of the newly proposed estate, while allowing development.

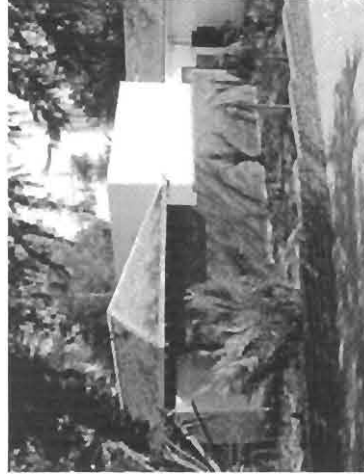
Impact significance

Demolition with mitigation: Low

Demolition without mitigation: Medium

CULTMATRIX CC

Views of the Pro shop and caddy centre:



ITEM 3 Historic 'Caddies' Compound' with later alterations and additions

Location: Huddle Park Golf Club

Original name: 'New Caddies Compound for Bedford Park Golf Course'

Existing documentation: The site plan, elevations and sections of the original Caddies' Compound are shown on Drawings 1 and 2, Contract 1687, by the City Engineers Department for the Director of Parks and Improvements, City of Johannesburg, dated November 1939, and approved 13 February 1940 (See Annexure 3 for the historic drawings). There is no drawing of the plan. The large hall is contemporary to, or just older than the Compound.

Description and discussion:

A Original Caddies' compound

The Caddies Compound is a large rectangular complex consisting of a long structure of stretcher bond face brick, with large regularly spaced steel framed windows (central-pivoting with a fixed pane section either side) on the outer façades and with a plastered continuous concrete lintel over the windows, covered by a hipped roof with slate shingles on the outer roof plane and corrugated sheet metal on the inner roof plane, with regularly placed brick chimneys on the roof ridge, the whole formed around a large open central courtyard, with a centrally placed face-brick gateway and gate on the north-western façade. The central court is surrounded by a colonnade of rectangular brick columns with flaring concrete bracket capitals and a lean-to veranda with corrugated sheet metal roof, and with timber framed doors and central pivoting steel framed windows on the inner façades. A small roofed wash-up area consisting of a rectangular concrete floor with steel columns and a corrugated sheet metal roof, over a bank of wash troughs fed by water supply pipes from above, is situated in the south west side of the courtyard. This element is fairly unique, and has historical (social and architectural) merit.

Setting: the Compound is situated within a large group of Blue Gum and Wattle trees, and in a large cutting in the natural slope, and further enclosed by a large berm (reaching up to the roof edge) on the south-east or long back side, which berm wraps round the short sides and becomes lower until natural ground level is reached. In front of the Compound, on the north-west side, is a road after which the land drops sharply towards the lower links. It is understood that the siting and landscaping was devised in such a manner to hide the Compound from view. The berm is an important historic landscape element which should be retained, although it can be rehabilitated, landscaped and even cut and opened in places to allow access to the Compound as part of a rehabilitation process, and to allow light and air to the building. The Pines are very old and may not last much longer. Due to the already large water demand of a golf course, one cannot expect that the Blue Gums be retained. It is therefore required that new trees be planted in this position.

B Alterations and additions

A large rectangular hall with a brick plinth and walls of mottled brown face-brick in Flemish bond, with a saddle roof of corrugated galvanised sheet metal behind a gable end with three vertical ventilator openings of slanted tile work on the centre of the gable on both sides of the hall, and a small structure with corrugated sheet metal on the back side of the hall, located in the north east side of the central courtyard of the compound, with a main entrance facing the central, axial line from the main entrance gate to the compound. The main entrance is a timber framed door with a large concrete lintel over, and with symmetrically placed vertically proportioned steel framed windows on both sides of the door. The detailing of the windows and brickwork is of the same period than the compound, or just after. The building has some architectural qualities in terms of its main façade detail, as well as due to its sympathetic placement.

A smaller rectangular hall of plastered concrete, with a garage roll-up door and small rectangular steel framed windows, and with a cement tiled saddle roof with fibre-cement fasciae, is located in the south west side of the central courtyard. This is a very recent structure, with no architectural merit. Rudimentary lean-to carports on steel columns are located on the north-west façade. This is a very recent structure, with no architectural merit.

Current heritage status: The original Clubhouse was designed in 1939 and approved in 1940, which makes it 65 years old. The building therefore enjoys **general** protection under the provision of the NHRA - Section 34(1) of the NHRA applies.

Cultural significance:

Importance in the community or pattern of history

- Importance in terms of the role and exploitation of Black labour in leisure time/sport history, and understanding the racial discriminations and divisions during the 1930's onward; Possession of uncommon, rare or endangered aspects of natural or cultural heritage

- The architectural typology known as 'Native Compound' was found in the mining and railway industries, and here a rare example in the municipal sport and recreational sector – the type has now become rare due to altered social values, labour practices and township development;

Potential to yield information that will contribute to an understanding of the natural or cultural heritage

- The target area is part of a larger recognisable cultural landscape that expresses the emergence and establishment of golf as a sport of the dominant, privileged cultural group;

Importance in demonstrating the principal characteristics of a particular class of natural or cultural places or objects

- The target area is a part of a larger system of municipal sports fields and recreational amenities that are disappearing;

Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group

- The building is not valued for aesthetic qualities of design, but rather for as example of institutional architecture, historic building construction details and architectural building components that are rare;

Importance in demonstrating a high degree of creative or technical achievement at a particular period

- Not applicable; however, it is indicative of the concretisation of the systemisation and institutionalisation of labour discrimination, as practised in our country, in the practise of architecture.

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons

- Importance for relatives of caddies who worked here, as well as labour unions and civil rights groups.

Strong or special association with the life and work of a person, group or organisation of importance in history

- Not applicable.

History of slavery

- Not applicable;

Conservation value:

High

Impact assessment:

See Impact Table

Heritage assessment:

The building has high remaining heritage integrity – due to the high heritage value and high cultural significance, there is compelling reason to retain the structure and ensure retention of cultural significance in new development.

Legal requirements:

Demolition infringes NHRA. Apply for listing as Grade I heritage resource at the PHRA-G, with definition of the proposed conservation strategy (re-use/rehabilitation and renovation) and prepare the necessary documentation (description, drawings and photographs) of the *status quo*, especially those aspects not included on the historic plans.

Summary of mitigation measures: Write design guidelines for the newly proposed Huddle Park Estate that stipulate that the building be retained, while allowing congruent and compatible rehabilitation to both building and landscape features. The historic function should be commemorated through the reconstruction of one caddies room, or through a small workers' museum, or through a commemorative plaque, or a combination of these. The integrated management plan should also include the aspect of redress as it pertains to the dignity of past inhabitants, as well as the living circumstances of current inhabitants.

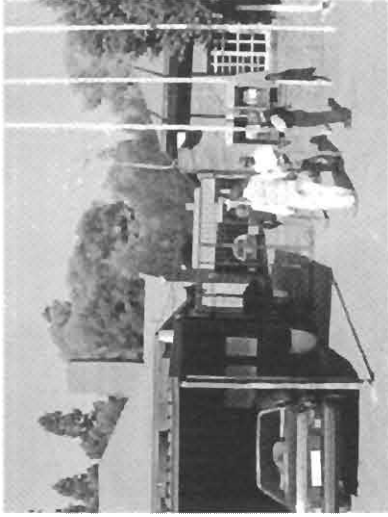
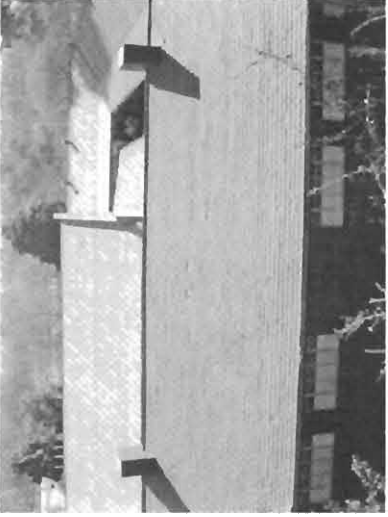
Impact significance

Demolition with mitigation: High

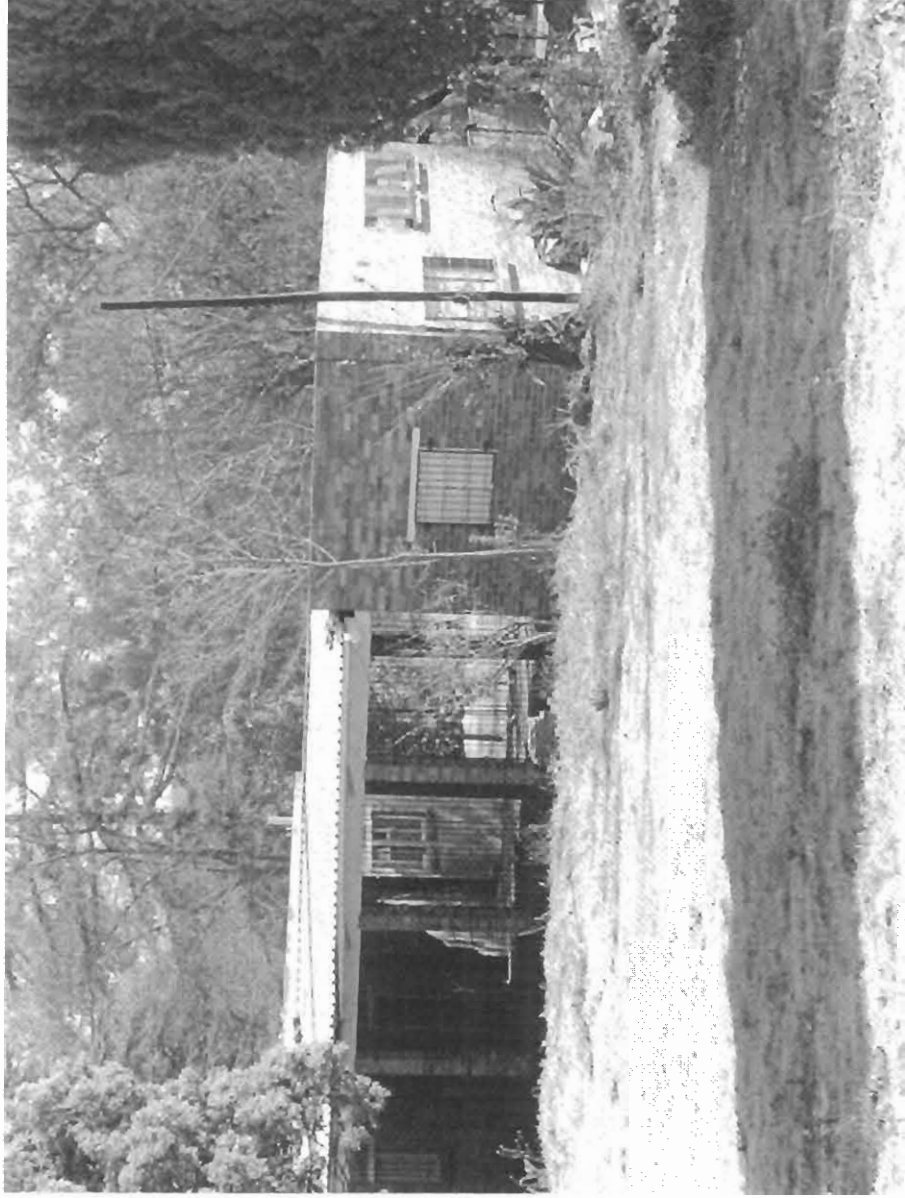
Demolition without mitigation: High

CULTMATRIX CC

Views of the Caddies Compound



ITEM 4 Ticket office

Description and assessment:

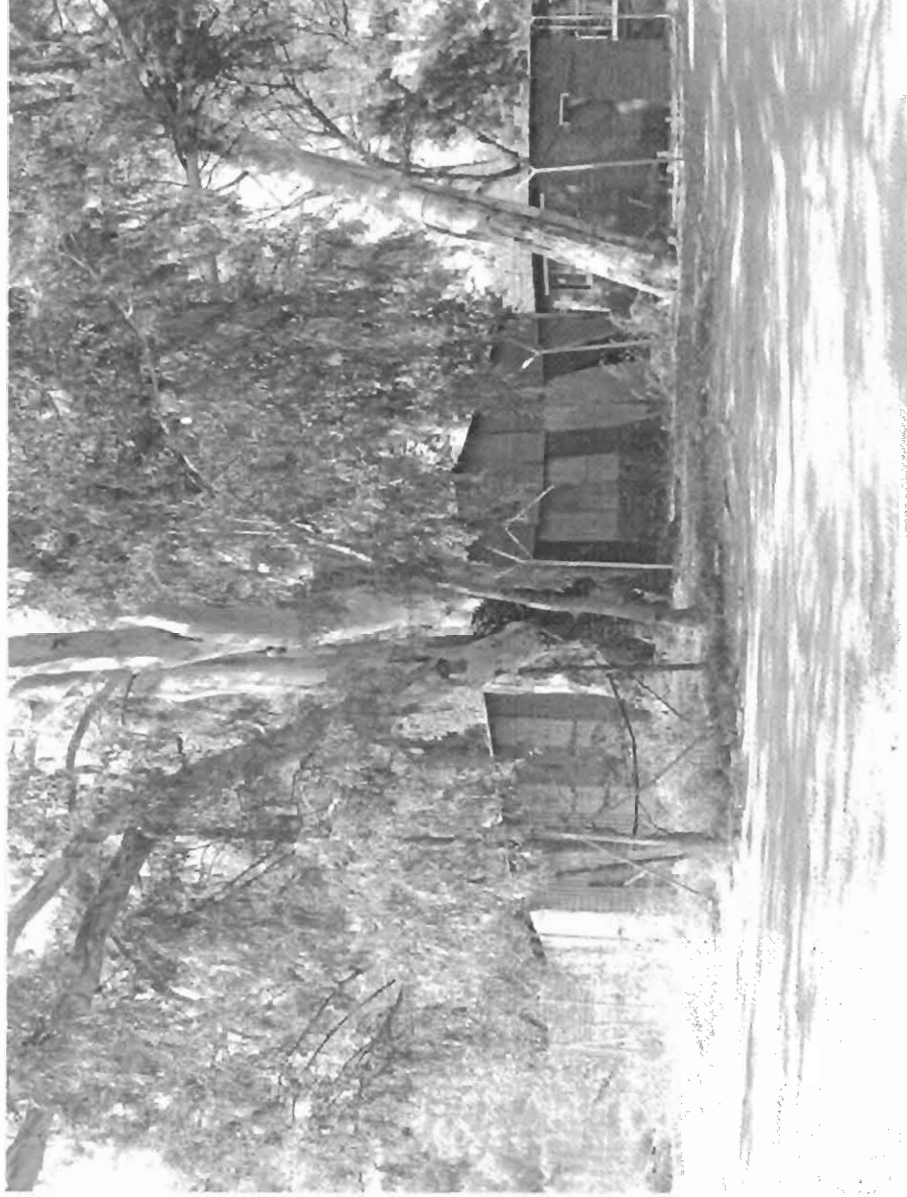
The Ticket Office consists of two rectangular structures of yellow/brown face brick in stretcher bond with a flat concrete roof with parapet walls, and with a connecting structure of brick colonnades covered with a shallow pitched IBR sheet metal roof. The windows are steel framed, are placed irregularly, and have thin concrete lintels above. No plan drawings of the building could be traced. From the details and the design composition, as well as the difference in design relative to the other golf park buildings, it is clear that the building was built after the others, and most probably in the late 1940's to 1950's. The building has some value due to its particular functional design.

An assortment of trees, as well as a lane of very old pines to the northwest surround the structure.

The structure is younger than 1945, is not architecturally significant, and displays no other of the criteria of cultural significance and has no other heritage function than to, in future, act as memory of the process of the game of golf as it was played on this links.

From the assessment, its demolition will be supported of so required. The building should be recorded in full before demolition. Apply mitigation in terms of planting new non-invasive trees and a marker signifying the location and appearance of the Ticket office.

ITEM 5 Stores

Description and assessment:

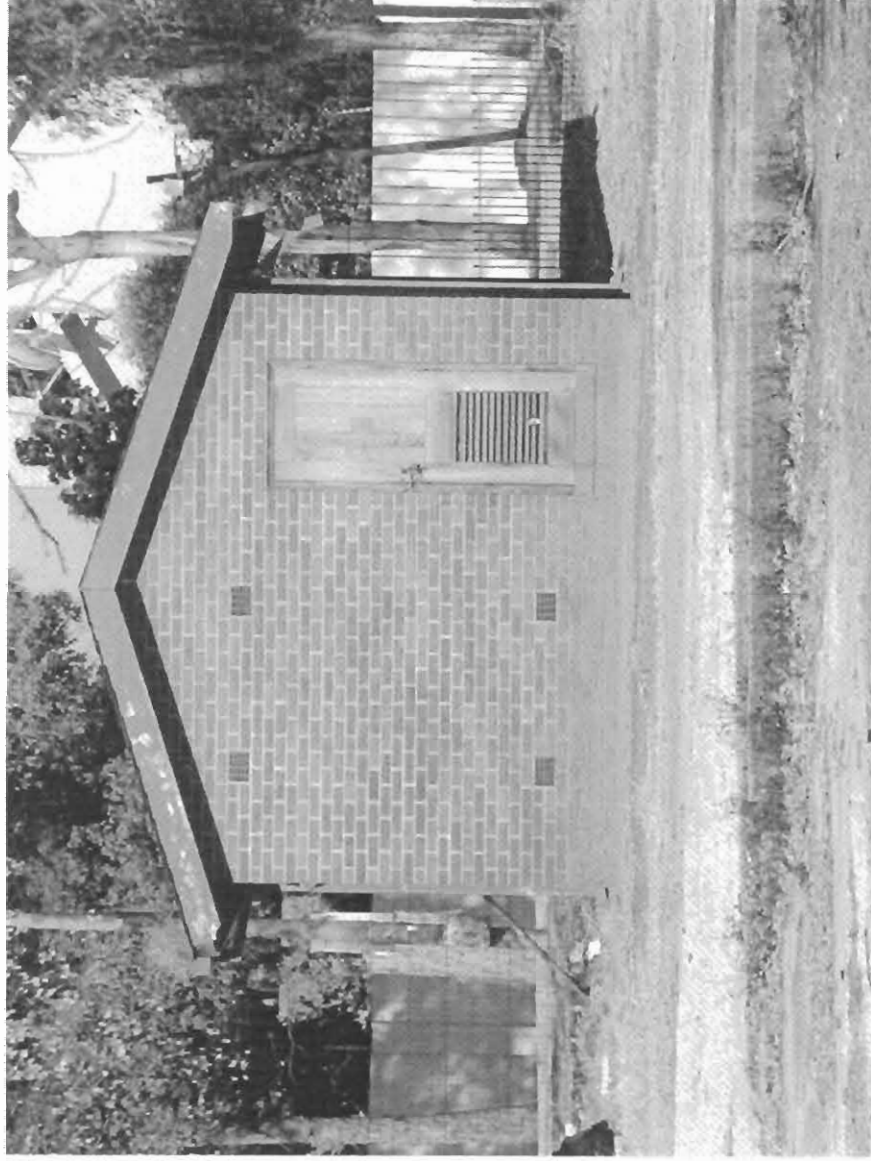
The stores consist of two structures: The first is a large rectangular corrugated sheet metal shed with lean-to extension of the same material. The building is in a very dilapidated state. The second is a large rectangular face brick structure with a shallow pitched corrugated sheet metal mono-pitch roof, with small steel framed windows with thin concrete lintels, and timber framed access doors. No plan drawings of these structures could be traced. The structures are most probably part of the original development, if the materials and window details are anything to go by – only the lean-to structure may be of a later date. One may safely say the structures are older than 1945, ie older than 60 years – The building therefore enjoys general protection under the provision of the NHRA - Section 34(1) of the NHRA applies. The buildings are not unique.

The structures are surrounded by very high Blue Gum trees of old age.

The structures exhibit none of the criteria for cultural significance, and they have no other heritage function than to, in future, act as memory of the maintenance function of the golf park.

From the assessment, their demolition will be supported of so required. The buildings should be recorded in full. Apply mitigation in terms of planting new non-invasive trees and a marker signifying the location and appearance of the stores.

ITEM 6 Electrical substation



Description and assessment:

The electrical substation is a small rectangular structure of rock-face brickwork in stretcher bond, with a saddle roof of concrete tiles with timber fasciae and galv sheet metal gutters and down pipes, and a framed and battened solid hardwood door, situated along the main road alongside the golf park.

The structure is younger than 1945, probably 1960/70's, and is therefore not classified as a heritage resource. Despite this, the structure does not explain anything significant regarding the cultural landscape in question, and has no cultural significance except in future to act as memory of urban infrastructure design – in this sense the building is not unique.

From the assessment its demolition will be supported of so required. No mitigation is proposed.

SITE/ITEM 7

Water furrow

Location: Huddle Park Golf Club

Existing documentation: Not shown on historic maps of the site

Description and discussion:

A water furrow runs across the development area, not carrying water at present. It is cladded with natural stone and is probably part of the historic Bedford Farm Estate.

Current heritage status: The water furrow is probably part of the historic Bedford Farm Estate and as a structure older than 60 years it therefore enjoys **general** protection under the provision of the NHRA.

Cultural significance:

Importance in the community or pattern of history

- Not applicable;
- Possession of uncommon, rare or endangered aspects of natural or cultural heritage
- Not applicable;

Potential to yield information that will contribute to an understanding of the natural or cultural heritage

- The furrow is part of a larger recognisable cultural landscape;

Importance in demonstrating the principal characteristics of a particular class of natural or cultural places or objects

- Not applicable;

Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group

- Not applicable;

Importance in demonstrating a high degree of creative or technical achievement at a particular period

- Not applicable;

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons

- Importance for its association with Bedford Farm;

Strong or special association with the life and work of a person, group or organisation of importance in history

- Not applicable.
- History of slavery
- Not applicable;

Conservation value:

Medium

Impact assessment:

See Impact Assessment Table.

Heritage assessment:

The furrow is an interesting and visible part of the cultural landscape of Huddle Park and should therefore be retained if possible.

Legal requirements: Demolition infringes NHRA.

Summary of mitigation measures: Retain and restore to working order the entire furrow (preferred option) or parts thereof.

Impact significance

Retention or partial destruction (mitigation): Low
Demolition without mitigation: Medium



SITE/ITEM 8 Stream and dams

Location: Huddle Park Golf Club

Existing documentation: Both the stream and the large western dam appear on historic maps of the development site.

Description and discussion:

The stream is a natural feature and the large dam in the western corner of the property was part of the Bedford Farm Estate.

Current heritage status: The dam is older than 60 years and hence enjoys **general** protection under the provision of the NHRA.

Cultural significance:

Importance in the community or pattern of history

- Not applicable

Possession of uncommon, rare or endangered aspects of natural or cultural heritage

- The stream is a natural feature in an urban landscape

Potential to yield information that will contribute to an understanding of the natural or cultural heritage

- Not applicable

Importance in demonstrating the principal characteristics of a particular class of natural or cultural places or objects

- Not applicable;

Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group

- Not applicable;

Importance in demonstrating a high degree of creative or technical achievement at a particular period

- Not applicable;

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons

- Not applicable

Strong or special association with the life and work of a person, group or organisation of importance in history

- Associated with Bedford Farm (George Farrar)

History of slavery

- Not applicable;

Conservation value:

High

Impact assessment:

See Impact Assessment Table.

Heritage assessment:

Important and visible part of the Huddle Park cultural landscape

Legal requirements:

Demolition of dam infringes upon NHRA. Destruction of stream infringes upon environmental legislation.

Summary of mitigation measures:

Retain

Impact significance

Mitigation (retain and use): Low

Demolition without mitigation: High

CULTMATRIX CC



SITE/ITEM 9 **Planted vegetation (trees)**

Location: Huddle Park Golf Club

Existing documentation: All planted and natural trees were documented by Mark Young (landscape architect)

Description and discussion:

Current heritage status: The trees, many of which are exotics, were planted during the development of the Huddle Park golf course and are therefore part of the cultural landscape. In terms of the Forest Act, some of them would qualify to be listed in the National Register of Protected Trees.

Cultural significance:

Importance in the community or pattern of history

- Not applicable
- Possession of uncommon, rare or endangered aspects of natural or cultural heritage

- Not applicable;

Potential to yield information that will contribute to an understanding of the natural or cultural heritage

- The target area is part of a larger recognisable cultural landscape of.

Importance in demonstrating the principal characteristics of a particular class of natural or cultural places or objects

- Typical of older type of golf course with planted exotics;

Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group

- Not applicable;

Importance in demonstrating a high degree of creative or technical achievement at a particular period

- Not applicable;

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons

- Importance for sections of the Johannesburg 'lower middle class' community that chose not to or could not join exclusive private sport/country clubs.

Strong or special association with the life and work of a person, group or organisation of importance in history

- Not applicable.
- History of slavery
- Not applicable;

Conservation value:

-high

Impact assessment:

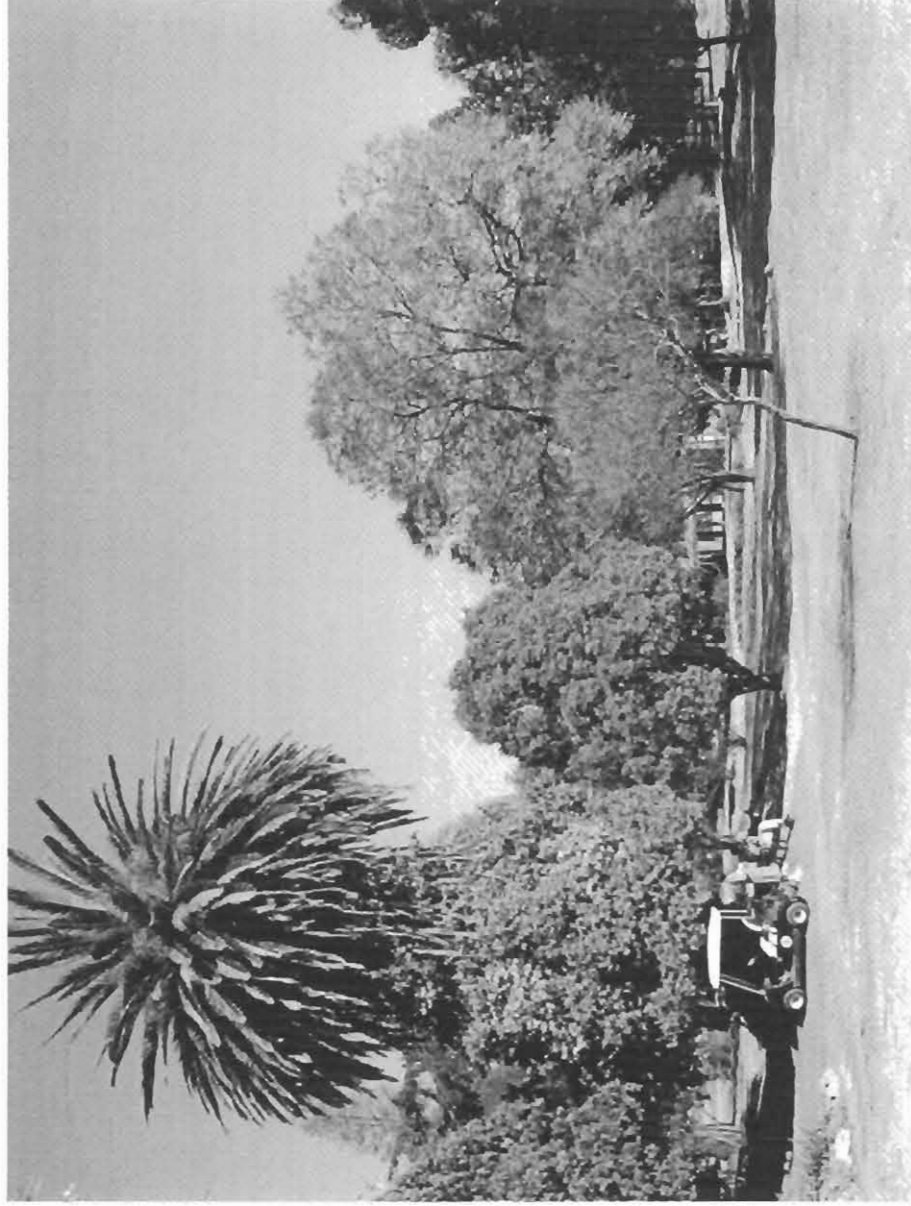
See Impact Assessment Table.

Heritage assessment: The trees are an integral part of the cultural landscape and should therefore be retained.

Summary of mitigation measures: Retain where possible

Impact significance

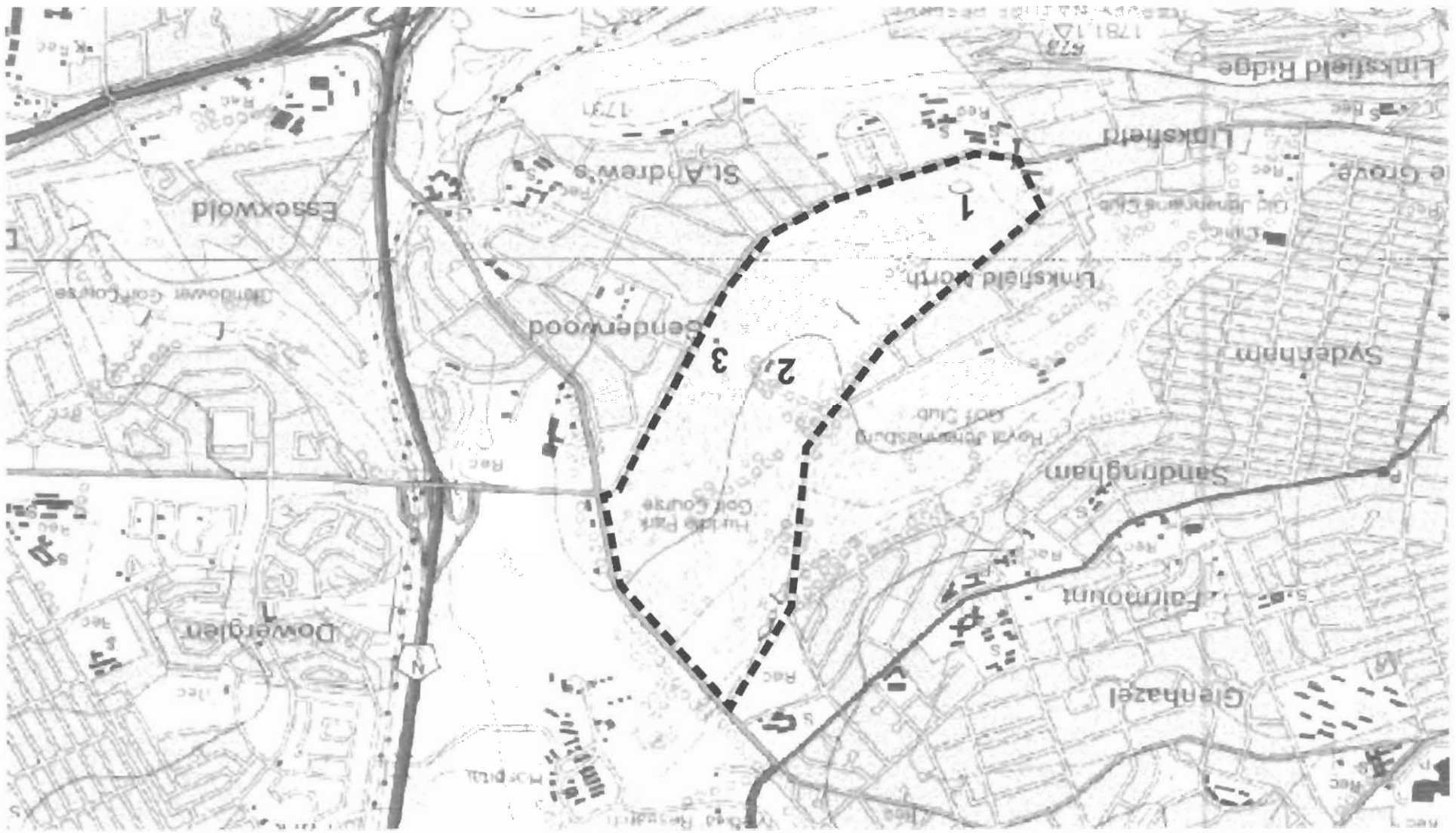
Mitigation (retention): Low
Destruction without mitigation: High



ANNEXURE 3

MAPS AND SUMMARISED IMPACT ASSESSMENT TABLE

FIGURE 1: Location map of Huddle Park. Site indicated with dotted lines.(1:50 000 raster map 2628 AA)
1 = historic farm dam, 2 = caddies' compound complex, 3 = clubhouse



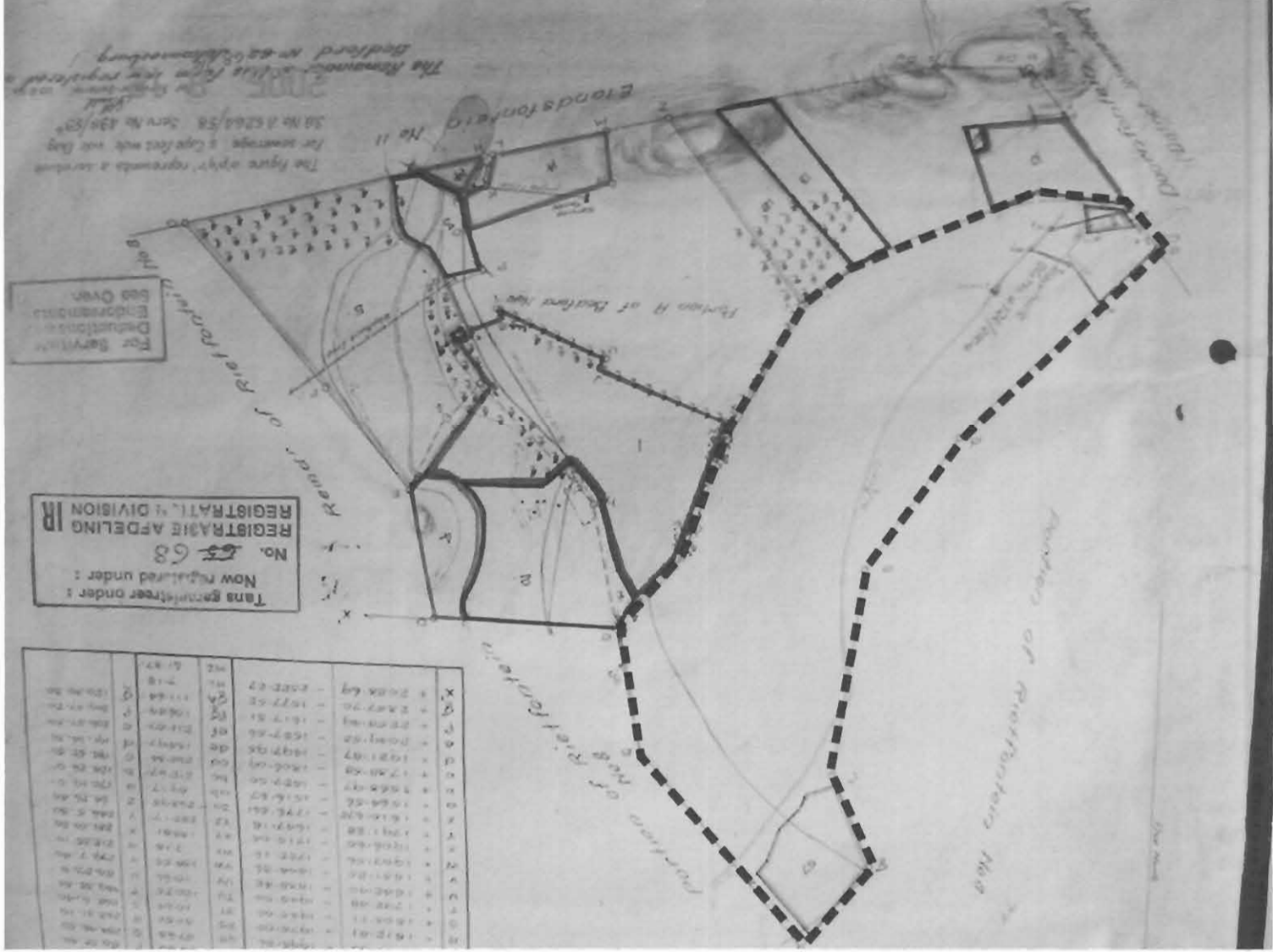


FIGURE 2: Original survey diagram (1921) of Bedford Farm, Bedford 17 (now 68 IR) indicated with dotted line. (DLA Survey Office, Bedford 68 IR map book, Pretoria)

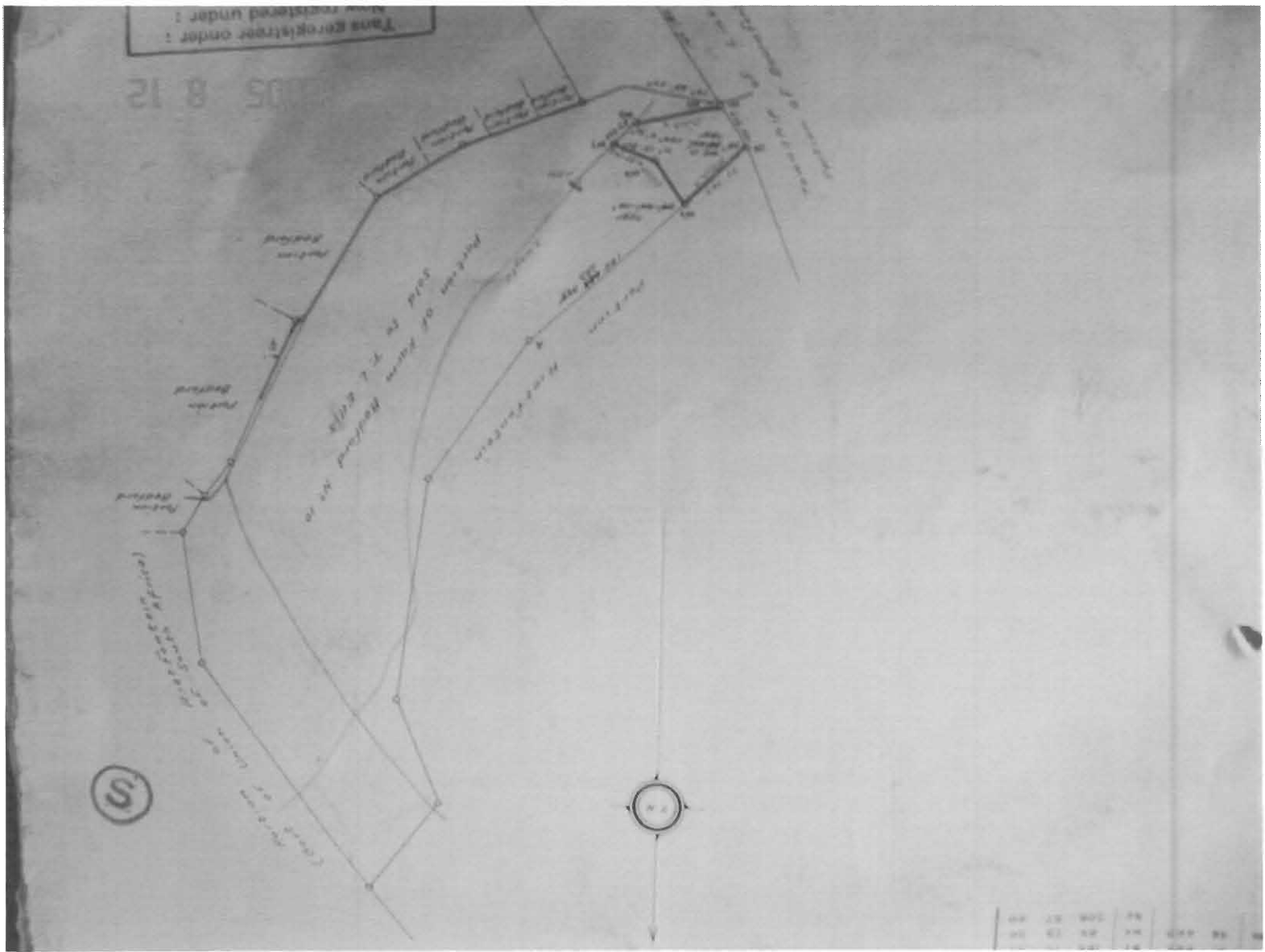
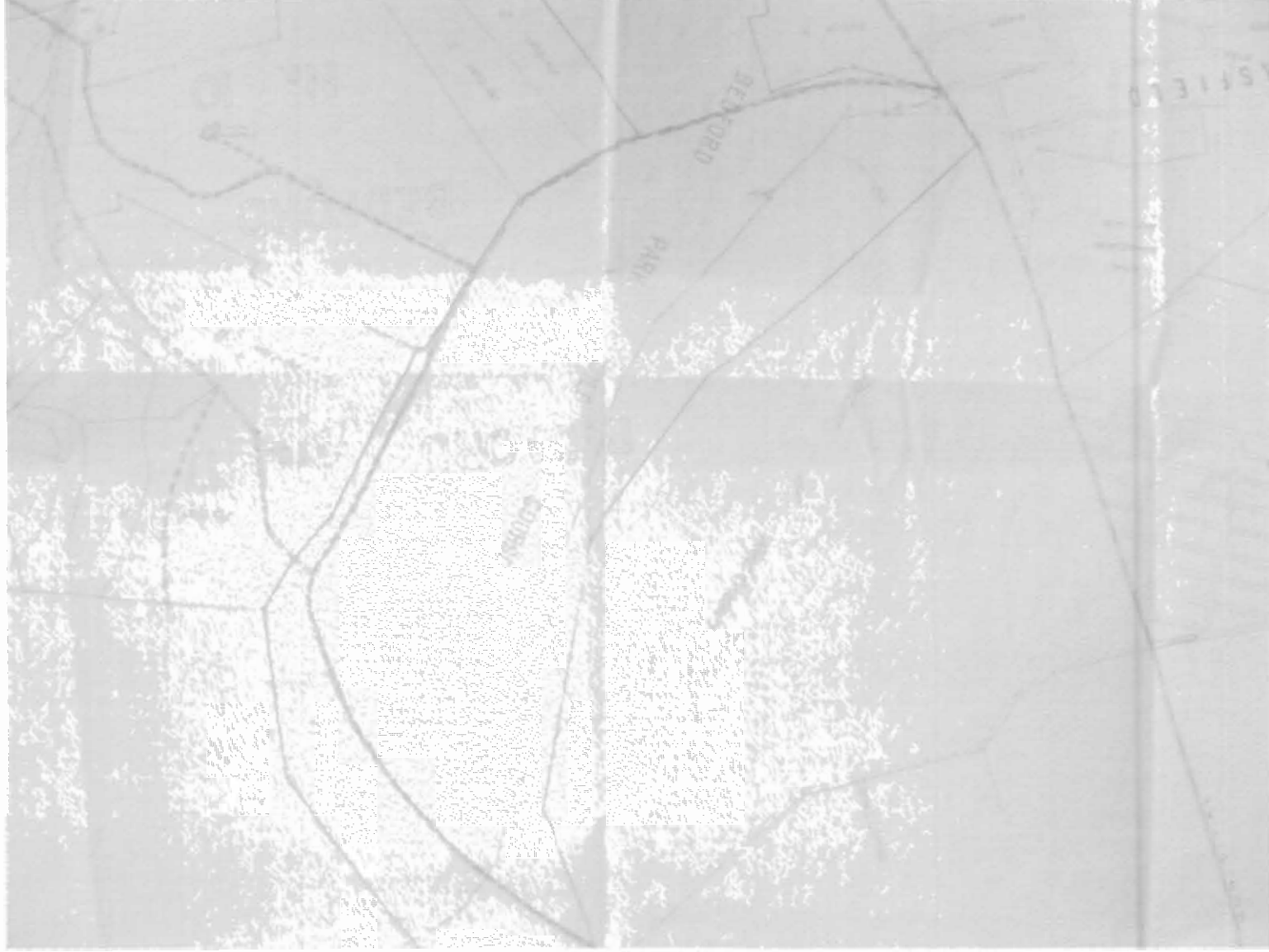


FIGURE 3: Survey diagram (1921) of Bedford No 17 (68 IR)(DLA Survey Office, Bedford 68 IR map book, Pretoria)

FIGURE 4: Survey diagram (1935) in connection with purchase of land and golf course development (TAB TPB Vol 770 Ref 78/2927, Nat. Archives)



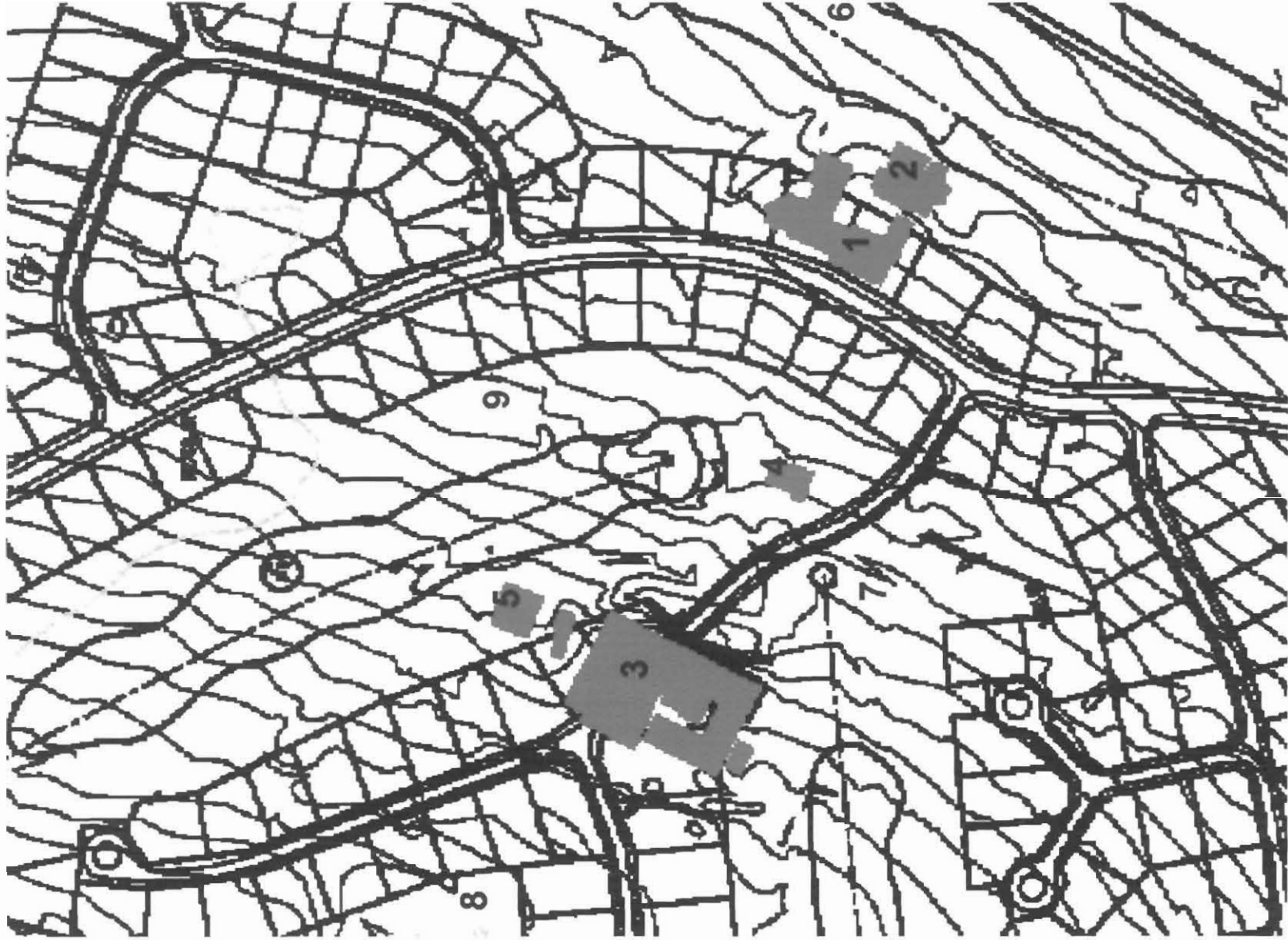


FIGURE 5: Location of individual heritage features - 1 = clubhouse, 2 = caddies' shelter, 3 = caddies' compound, 4 = ticket office, 5 = stores, 6 = electric substation, 7 = water furrow, 8 = stream and dams, 9 = planted vegetation (entire site)

CULTMATRIX CC

FIGURE 6: SUMMARISED IMPACT TABLE HUDDLE PARK

IMPACT: DESTRUCTION, DAMAGE, ALTERATION, REMOVAL, DISTURBANCE RELATED TO PHYSICAL AND INTANGIBLE HERITAGE									
ITEM	NATURE OF IMPACT	EXTENT	SITE NO'S	DURATION	INTENSITY	DEGREE OF PREDICTION	IMPACT SIGNIFICANCE		RECOMMENDED MANAGEMENT ACTION
							WM	WOM	
1	Loss of historical fabric and layering due to demolition, alteration, new uses, insertions, additions	Metropolitan local	Buildings 1, 2 Building 3 Building 5 19 th hole Berm Furrow Trees Stream/dams	permanent	High	Definite	1 - low 2 - low 3 - high 5 - low	1 - low 2 - low 3 - high 5 - low	1,2 - doc before destr and mig 3 - Avoidance and rehab 5 - doc before destr Furrow, trees, berm, stream; retain
2	Loss of urban form due to changed subdivision patterns and form of new development	local	Whole - New housing on Estate as a whole	permanent	medium	definite	low	medium	mitigation
3	Loss of social fabric due to urban renewal	local	Estate as a whole	permanent	high	definite	medium	high	mitigation
4	Loss of historical patterns of public access and use due to privatization of public spaces or controlled public access	Whole - local	Estate as a whole	permanent	high	definite	high	medium	mitigation
5	Loss of historical architectural character due to incompatible new treatment and use	Not applic	-	-	-	-	-	-	-
6	Loss of rural landscape pattern due to new pattern of subdivision and land use	Not applic	-	-	-	-	-	-	-
7	Loss of scenic landscape and network due to new infrastructure and severance of linkage routes	Not applic	-	-	-	-	-	-	-

IMPACT: DESTRUCTION, DAMAGE, ALTERATION, REMOVAL, DISTURBANCE RELATED TO PHYSICAL AND INTANGIBLE HERITAGE

ITEM	NATURE OF IMPACT	EXTENT	SITE NO'S	DURATION	INTENSITY	DEGREE OF PREDICTION	IMPACT SIGNIFICANCE		RECOMMENDED MANAGEMENT ACTION
							WM	WOM	
8	Incompatibility of new development related to urban form, rural development, architectural character	Not applic	-	-	-	-	-	-	-
9	Displacement of historical communities	local	Building 2	reversible	medium	definite	medium	low	mitigation
10	Loss of important historical features/elements including structures, planting patterns (removal of alien species), furrows, open space networks related to upgrading and renewal schemes	local	19" Hole Berm Blue Gums Furrow Stream Dams	permanent	high	definite	high	low	Mitigation and rehabilitation
11	Potential visual impacts associated with siting and design of new facilities	local	Linkage between Building 1 and berm, with Building 2 positioned behind	permanent	medium	definite	medium	low	mitigate
12	Potential impacts on buried structures and deposits related to new building work and infrastructure	Not envisaged	-	-	-	-	-	-	-
13	Loss of relationship with inappropriate siting of new development	Not envisaged	-	-	-	-	-	-	-
14	Removal of historical fabric and meanings; misinterpretations of past associations and tendency to over-restore or reconstruct sites to earlier states	-	-	-	-	-	-	-	-

IMPACT: DESTRUCTION, DAMAGE, ALTERATION, REMOVAL, DISTURBANCE RELATED TO PHYSICAL AND INTANGIBLE HERITAGE

ITEM	NATURE OF IMPACT	EXTENT	SITE NO'S	DURATION	INTENSITY	DEGREE OF PREDICTION	IMPACT SIGNIFICANCE		RECOMMENDED MANAGEMENT ACTION
							WM	WOM	
15	Different values in interpretation of heritage	local	Building 1 and 2	permanent	medium	probable	medium	low	mitigation
16	Disturbance of human remains in unmarked locations (unpredictability of presence)	None known	-	-	-	-	-	-	-
17	Loss of human dignity associated with disturbance of human remains	None known	-	-	-	-	-	-	-
18	Loss of respect for religious affiliations and practices	None known	-	-	-	-	-	-	-
19	Inappropriate memoratisation of human remains	None known	-	-	-	-	-	-	-
20	Conflicting interpretations of events due to range of value systems	local	Building 2	reversible	medium	probable	medium	low	mitigation
21	Over-exploitation of natural resources associated with traditional uses	None known	-	-	-	-	-	-	-
22	Visual intrusion of new development in historical spaces, axes, view corridors	local	Building 1 and 2	permanent	low	definite	low	low	mitigation
23	Loss of historical context due to urbanisation	local	Historic golf links as a whole	permanent	high	definite	high	low	mitigation
24	Inappropriate changes in use in contrast to regional character	None envisaged	-	-	-	-	-	-	-