

PHASE 1 HERITAGE IMPACT ASSESSMENT

**PROPOSED LEFAPHA HOUSING DEVELOPMENT
SITUATED ON THE REMAINING EXTENT OF THE FARM LEITRIM 926,
METSIMAHOLO LOCAL MUNICIPALITY, FREE STATE PROVINCE.**



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EXECUTIVE SUMMARY

Archaeology Africa was appointed by *Ages Group (Pty) Ltd* to undertake a Phase 1 Heritage Impact Assessment for the proposed construction of the Lefapha housing development on the remaining extent of the farm Leitrim 926. The developer is *Wietpro Housing (Pty) Ltd*.

Two sites were located namely a historic farm dwelling (see Site 1) and cemetery (see Site 2). The significance of these sites was established, and mitigation measures proposed (refer Section 4.3).

It is the opinion of the author of this report that on the condition that all the recommendations made in this report are adhered to, the development may continue.

This report will be submitted to the South African Heritage Resources Agency. Any changes and/or additions made by them must be adhered to.

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1. PROJECT BACKGROUND

Archaeology Africa was appointed by *Ages Group (Pty) Ltd* to undertake a Phase 1 Heritage Impact Assessment for the proposed construction of the Lefapha housing development on the remaining extent of the farm Leitrim 926. The developer is *Wietpro Housing (Pty) Ltd*.

This study forms part of the Environmental Scoping and/or Impact Assessment Report undertaken for the proposed development.

2. DESCRIPTION OF STUDY AREA AND PROPOSED DEVELOPMENT

2.1 Study Area

The study area is trapezoid in shape and has the road from Coalbrook (S70) and adjacent railway line as its western boundary. It is situated on the southern boundary of the farm, and its northern boundary is defined by an abandoned railway track which used to lead to the Clydesdale Colliery. The small town of Coalbrook is situated a short distance to the north, while Zamdela and Sasolburg are situated some distance to the west.

The proposed development area can be described as severely disturbed. The most significant reason for this is the fact that the entire study area has been ploughed and used for agricultural activities. According to the historical maps accessed as part of the study, this has been going on for at least sixty odd years. A number of farm roads, a sand dam, dumping of rubbish and buildings material all add to the disturbed nature of the site.

In general terms the site can be described as topographically flat and due to the past agricultural activities, contains very little indigenous vegetation.

2.2 Proposed Development

The proposed activity consists of a housing development which will entail 346 erven between 319m² and 400m² in extent, 1 erf for flats totalling 0.8274ha, 1 erf for business related purposes, 1 erf for religious purposes and 1 erf for a public park. Refer Annexure A below for the Locality and Development Layout Plan.



Plate 1 General view of a section of the proposed development.



Plate 2 Another view of a section of the study area.

3. METHODOLOGY

3.1 Desktop Study

The primary aim of the desktop study is to compile as much available information as possible on the heritage resources of the area. Such a study also helps in providing historical context for any sites that are located. The desktop investigation focussed on the study of archival maps.

3.2 Field Surveys

The field survey took place on Tuesday, 16 October 2007. The proposed development area was surveyed on foot by two individuals walking in transects approximately 25 meters apart. The exact coordinates for all located sites were recorded using a hand-held Garmin Summit GPS. Photographs were taken with a Canon Powershot A550 compact digital camera.

3.3 Consulting with Local Interested and/or Affected Parties

A public participation process was undertaken by *Ages Group (Pty) Ltd.* It consisted of site notices, newspaper advertisements and radio advertisements.

3.4 Aspects regarding Visibility and Constraints

Not subtracting in any way from the comprehensiveness of the fieldwork undertaken, it is necessary to realise that the heritage resources located during the fieldwork do not necessarily represent all the heritage resources located there. This may be due to various reasons, including the subterranean nature of some archaeological sites and dense vegetation cover. As such, should any heritage features and/or objects not included in the present inventory be located or observed, a heritage specialist must immediately be contacted. Such observed or located heritage features and/or objects may not be disturbed or removed in any way until such time that the heritage specialist has been able to make an assessment as to the significance of the site (or material) in question. This is true for graves and cemeteries as well.

4. FINDINGS

4.1 Desktop Study Findings

4.1.1 Cartographic findings

4.1.1.1 2627DD Sheet, First Edition 1954

Figure 1 below depicts an enlarged section of the First Edition of the 2627DD Topographical Sheet. The aerial photography and actual survey work took place during 1948. The map was compiled in 1949 and drawn by the Trigonometrical Survey Office in 1953. It was printed by the Union of South Africa's Government Printer in 1954.

The following observations can be made from the map:

- Two buildings are depicted on the southern boundary of the farm. The southernmost of the two is depicted in exactly the same locality as a farm dwelling still found on site (see Site 1 below).
- At the time when the map was compiled (i.e. 1940s), agricultural activities took place across the entire study area.

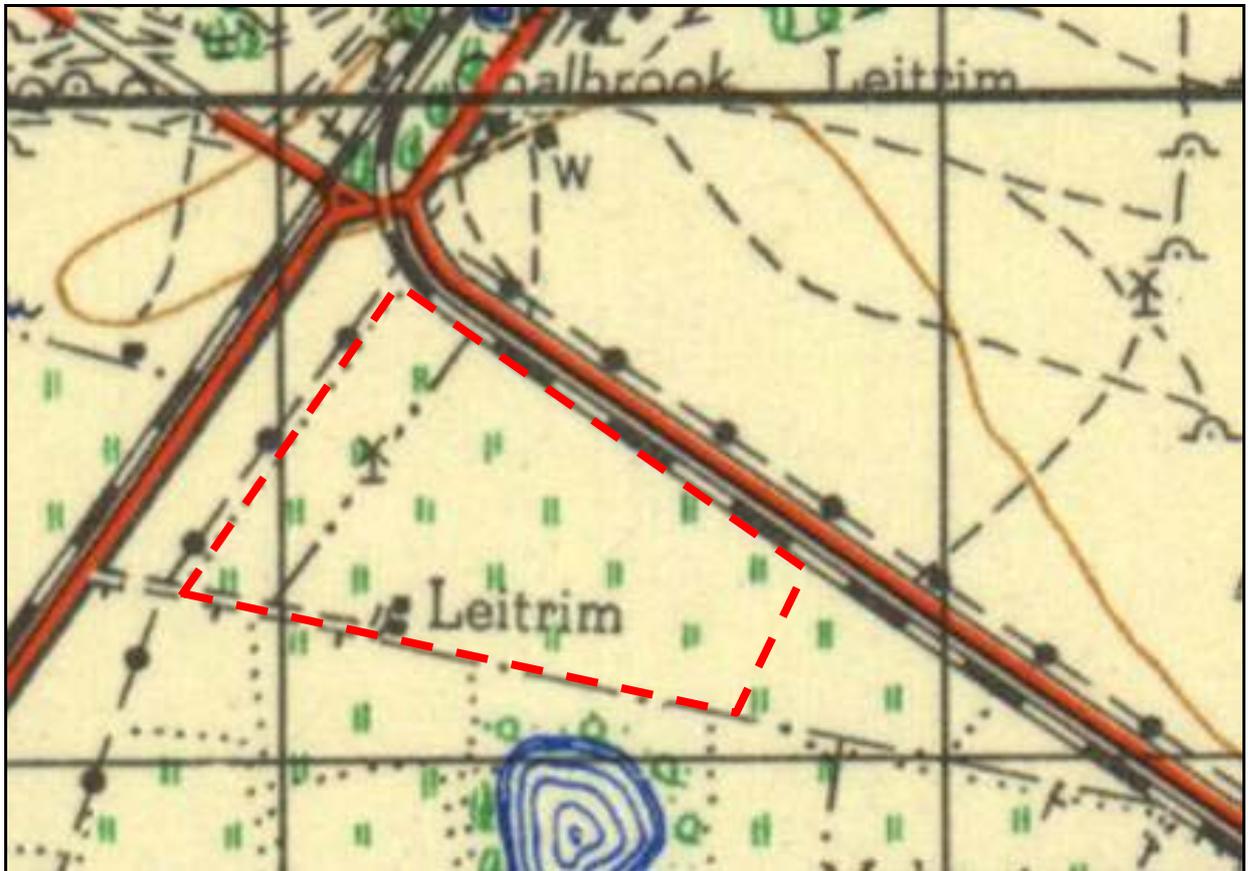


Figure 1 First edition of the 2627DD topographical sheet.

4.1.1.2 2627DD Sheet, Second Edition 1954

Figure 2 below depicts an enlarged section of the Second Edition of the 2627DD Topographical Sheet. The map was printed by the Government Printer in 1979.

The following observations can be made from the map:

- A cluster containing four buildings is depicted on the southern boundary of the farm. The building believed to be Site 1 is indicated with an arrow on the associated map.
- At the time when the map was compiled (i.e. 1970s), agricultural activities still took place across the entire study area.

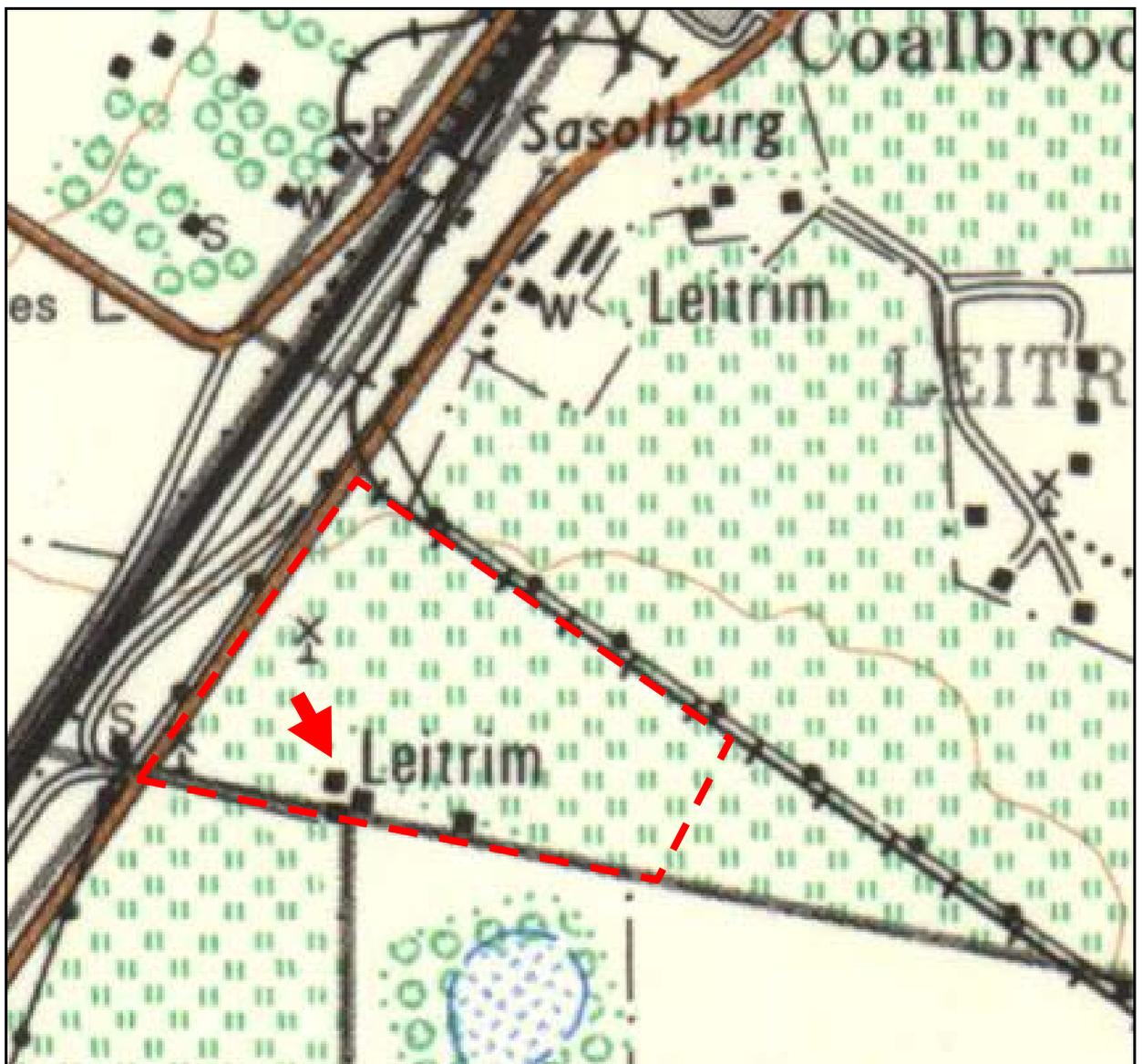


Figure 2 Second edition of the 2627DD topographical sheet.

4.1.2 General Desktop Findings

4.1.12.1 The farm Leitrim

Before 1905 the farm Leitrim was owned by government (DLS, 40, A2852A). On the 1st of May 1905 it was transferred to Isabella Alice Leach as part of the Orange Free State Land Settlement Program. The farm remained in her possession until her death, when it was transferred from her estate to M. Leach, S.D. Leach and I.A. Cayley (LDE, 2850, 13223).

In terms of Deed of Transfer No. 1598/1931 the remaining extent of the farm was registered in the names of Jenneke Wilhelmina Peeters and Anna Maria Boom Peeters. In 1942 and according to Deed of Transfer No. 3664/1942, the same portion was registered in the name of Daniel Jacobus van Niekerk (LDE, 2850, 1323) Incidentally, Mr. D.J. van Niekerk (5/11/1892 – 6/9/1953) lies buried in the cemetery situated at Leitrim (See Site 2 below).

4.1.12.1 The towns of Coalbrook, Sasolburg and Zamdela

Coalbrook

The exact history of the town of Coalbrook is not known. However, by looking at available dates for the establishment of various infrastructural elements of the town, one can get a reasonably view of its development.

The earliest reference to the town which could be found on the National Archives website (www.national.archives.gov.za) is dated to 1906 and indicates that a postal service was run from there. According to a document housed at the Free State Archives (DLS, 70, A4014), the Coalbrook train station was only proposed in 1905. However, by 1907 it was already fully operational. The police station was constructed in 1925 (JUS, 412, 4/79/25) while the post office was erected in 1929 (PWD, 2661, 2/9789).

Sasolburg

The town of Sasolburg has its origins in the establishment of the *South African Coal Oil and Gas Corporation (SASOL)*. The company was formed in an attempt to counter South Africa's dependence on oil imports as well as its lack of crude oil reserves (www.clickvaal.co.za). After its establishment, *SASOL* acquired a reasonably large portion of land to the south of the Vaal River in the vicinity of which vast coal reserves

were situated. The acquired land was for the erection of a factory with which the mined coal could be refined into oil and petrol as well as for the establishment of a town to house the company's employees. Work on the development of the town started in 1952 (Malan, 1952). Sasolburg was officially proclaimed in 1954.

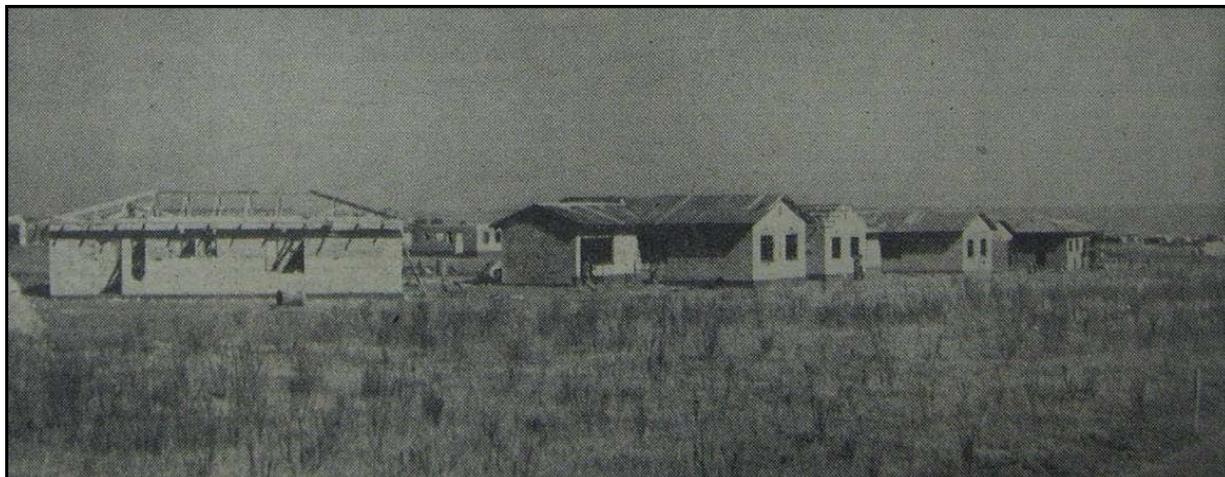


Figure 3 Historic photograph of some of the first houses constructed in Sasolburg during 1952 (Malan, 1952:10).

Zamdela

Zamdela was established at the same time as Sasolburg and was formed to house male black employees of *SASOL* and other industries of the area (www.vaaltriangleinfo.co.za).

4.1.12.2 The Coalbrook Mine Disaster

The section that follows provides a brief description of the Coalbrook Mine Disaster. It must be noted that it is included here to provide some background to the general vicinity. The Clydesdale Colliery, where the disaster took place, is situated approximately six kilometres to the south east of the present study area. It is evident therefore that the proposed development will have no impact on this historic event.

On Thursday, 21 January 1960 a total of 435 mineworkers with 43 mules were working deep underground in the Clydesdale Colliery when the entire tunnel network collapsed. For sixteen days the best mine rescue teams in the country did everything they could to reach the trapped men. A huge drill was even brought in from an Iscor mine at Lephalale (Ellisras) to try and reach the trapped men. When this drill managed to reach the tunnel in which the men were assumed to be trapped, a *South African Broadcasting Corporation* (SABC) microphone was lowered down and messages offering help and assistance were played in Afrikaans, English, Sesotho and Shangane. No response was heard. On Friday,

5 February 1960 Prime Minister Dr. H.F. Verwoerd pronounced the cessation of the rescue attempt. All trapped men were now officially considered dead.



Figure 4 Members of a highly specialized rescue team taking a break during the rescue attempt after the Coalbrook mine disaster (Janssonius, 1966).

The disaster was of such scale and significance that Queen Elizabeth of Britain, Queen Juliana of the Netherlands, the governments of both East and West Germany, the Governor-General of Rhodesia, the Governor-General of Ghana as well as President Dwight D. Eisenhower of the United States of America all sent telegrams of sympathy.

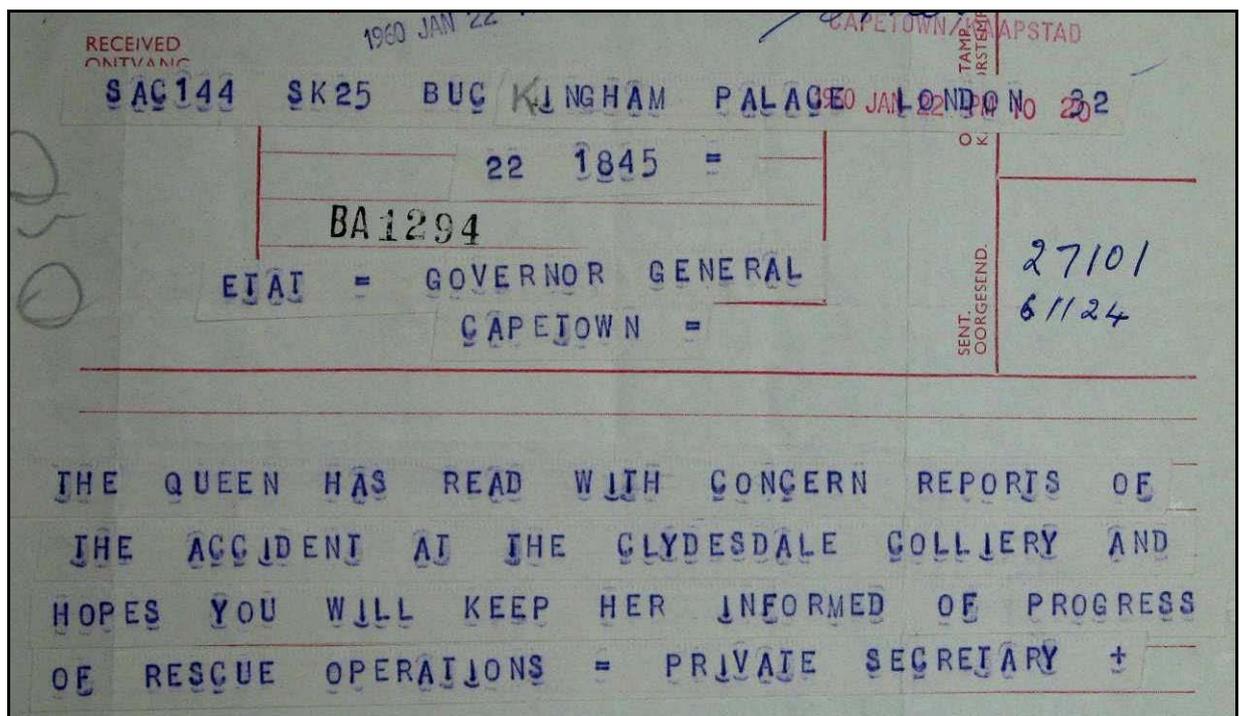


Figure 5 One of the telegrams sent by Queen Elizabeth II.

4.2 Social Consultation Findings

The public participation process undertaken by *Ages Group (Pty) Ltd* did not reveal any information with regards to heritage sites within or surrounding the study area.

4.3 Survey Findings

4.3.1 Site 1

4.3.1.1 Site Location

Locality: 26.85842 S
 27.86714 E

4.3.1.2 General Description

The site consists of a historic farm dwelling which is situated against the southern boundary of the proposed development site a short distance east of the road from Coalbrook (S70).

The building dates to the period between 1940 and 1950. The exact date of construction is unknown as it is a farm building and no architectural drawings exist, but a relative date for the building may mean that it is older than 60 years. It is not a typical vernacular farm dwelling (constructed with stone or plastered clay brick) but an example of a dwelling type of similar style and executed within the architectural vocabulary that was common in urban areas at the time.

Structurally it is a solid building and contains several typical stylistic elements of the period (1935-1950) and some elements of the Art Deco style (1920-1935). No name for this period or style exists, but it has a distinct character of which the use of yellow face bricks is the most significant element.

An exceptional detail in the building is the occurrence of pressed metal ceilings. These ceilings were common from the 1920s and earlier but not used this late into the 20th century. All the other features are typical of the period and the style such as timber floors, wooden frame front door, wide un-bevelled timber skirting and architraves and Art Deco type interior doors.

4.3.1.3 Current Protection Status

Structures older than 60 years fall under the protection of Section 34(1) of the National Heritage Resources Act 25 of 1999.

4.3.1.4 Site Significance

The architectural historian Mauritz Naudé was commissioned to assess the building and provide mitigation measures for it. In his report Mr. Naudé has outlined in table form the significance of the dwelling. Refer Annexure C for more detail in this regard.

Criteria to determine cultural significance of a place according to the National Heritage Resources Act

1.	<i>The importance of the site in the community or pattern of South Africa 's history</i> The type of dwelling is a common type in the northern part of South Africa. However, it is more common in urban areas than on farms.	Rating medium
2.	<i>Possession of uncommon, rare or endangered aspects of South Africa's natural and cultural heritage</i> This is not a type of building that is in danger of becoming 'extinct', neither is it a 'rare' example of a building type of architectural style.	Rating medium
3.	<i>Potential to yield information that will contribute to an understanding of South Africa's natural and cultural heritage.</i> Very little has been published on this style of building – 'yellow brick style' (authors terminology), but ample examples of this type of building and construction exist in the urban areas to render any research with information for research purposes.	Rating medium
4.	<i>Importance in demonstrating the principle characteristics of a particular class of South Africa's natural or cultural places or objects</i> The building would be classified as a farm dwelling but is not considered of such importance that it needs to be protected.	Rating medium
5.	<i>Importance in exhibiting particular aesthetic characteristics valued by a community of cultural group.</i> The style of building has not been described or identified as a particular style by the architectural historians and academics yet. The period when it was erected experienced a small	Rating medium

	building boom and many examples of this type of building still occur. It does exhibit particular aesthetic characteristics but these have not been considered of much significance by the architectural historians.	
6.	<i>Importance in demonstrating a high degree of creative or technical achievement in a particular period.</i> The dwelling does contain some level of technical achievement in the way the brick masonry was executed.	Rating <i>medium</i>
7.	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.</i> It is unknown whether the dwelling has any special association with a particular community or cultural group for social, cultural or spiritual reasons.	Rating <i>low</i>
8.	<i>Strong or special association with the life and work of a person, group or organization of importance in the history of South Africa.</i> It is unknown whether the building has any special association with a significant person or group.	Rating <i>low</i>
9.	<i>Does the significance of the site relate to the history of slavery in South Africa</i> The site is not associated with the history of slavery in South Africa.	Rating <i>low</i>

Historical (social) significance

1.	<i>Is the site, or any building(s), structure(s) or planted vegetation associated with an historic person or group.</i> This information is part of the historical assessment report and has not been included in this report.	Rating
2.	<i>Is the site, or building(s), structure(s) or any planted vegetation associated with an historic event or any historic religious, social, economic or political activity.</i> This information is part of the historical assessment report and has not been included in this report.	Rating
3.	<i>Does the site (as a whole) or any building, structure or any planted vegetation illustrate a historic period.</i> The dwelling is a typical example of dwellings of this period.	Rating <i>High</i>

4.	<p><i>Is the site or any element on the site of archaeological significance.</i></p> <p>The site was investigated by an Archaeologist and the results of the survey are included in the historical and archaeological section of the report.</p>	Rating
5.	<p><i>Is the site or any building, structure or planted vegetation older than 60 years</i></p> <p>The exact date of the building is unknown but close investigation of the details of the building suggests that it may have been constructed between 1940 and 1945, placing it within the 60 years protection of the National Heritage Resources Act (the reason for his early dating is because of the occurrence of the pressed metal ceilings).</p>	Rating

Architectural (artefactual) significance

1.	<p><i>Is the building an important example of a building type.</i></p> <p>The building was 'designed' as a dwelling and when it became redundant it was still used for this purpose. As it is located on a farm no plans had to be submitted for approval prior to construction. However, the building must have been constructed from plans with exact measurements and cannot be the typical 'folk' or 'vernacular'– style farm dwelling. It is not an outstanding example of a farmhouse as similar looking buildings were also erected in urban areas at the time.</p>	Rating
2.	<p><i>Is the building an important example of a particular style or period</i></p> <p>It is a typical middle class dwelling of the period between 1940 and 1950. The date of the building and the similarity of the buildings from this period, give rise to the term '1940s Style'. Architecturally, there is no difference between this farmhouse (being in a rural setting) and those dwellings in an urban neighbourhood. Exactly the same style of buildings occurred in urban areas and even in housing compounds of mining companies at the time. It is quite a common style of building with the only exceptional elements occurring in the detailing and embellishment.</p>	Rating
3.	<p><i>Does the building contain fine details or reflect exceptional craftsmanship</i></p> <p>In general the building contains stylistic elements that are quite rare for a farm dwelling as the detailing slants more towards the architectural vocabulary associated with urban architecture.</p> <p><u>Flooring:</u> Timber floors were common with suspended</p>	Rating Medium

	<p>planking were common at the time, but parquet floors became more common during the late 1940s and towards the 1960s.</p> <p><u>Walls:</u> The dwelling was constructed with yellowish face bricks. The construction reflects exceptional craftsmanship and fine bricklaying.</p> <p><u>Roof:</u> The dwelling has a corrugated iron roof, typical of the period and the style of building. The entire roof was still intact when the survey was done.</p> <p><u>Doors:</u> Some of the interior doors still reflect stylistic characteristics of the Art Deco period and style – wooden frame with glass panes and horizontal mullions, with chrome door handles.</p> <p><u>Windows:</u> Steel windows are examples of the common prefabricated steel frame types at the time.</p> <p><u>Ceilings:</u> An exceptional element of the dwelling is the occurrence of the pressed metal ceilings.</p>	
4.	<p><i>Is the building the work of a major architect, engineer or builder.</i></p> <p>The strong definition of styling and the application of prefabricated materials and products in the house suggest that it was built from a plan (read design). However, no evidence of any design that had been formally approved would exist, except with the original owners. The building is located on a farm and building plans do not need to be approved prior to construction. These plans are usually the only evidence that the building was designed and also the best and proven source to find the names of any designers. No records of these exist.</p>	Rating
5.	<p><i>Is the building an important example of an industrial, technological or engineering development.</i></p> <p>The building is not an engineering structure and the construction contains no evidence of exceptional engineering, industrial or technological developments.</p>	Rating
6.	<p><i>What is the structural and architectural integrity of the building.</i></p> <p>The structural integrity of the building is good as no signs of any structural decay causing large cracks were found. The architectural integrity is good as the original design is still intact while most of the architectural detailing have remained intact.</p>	Rating
7.	<p><i>Is the building still utilized.</i></p> <p>At the time of the field survey (September-October 2007), the building was already redundant and the residents have left the site.</p>	Rating
8.	<p><i>Has the building been altered and are these alterations sympathetic to the original intent of the design.</i></p>	Rating

Contextual or spatial significance

1.	Is the building a landmark in the city or town. The building is located on a farm.	Rating
2.	Does the building contribute to the character of the neighbourhood. The farmstead is isolated from any other farmsteads. The farmsteads on the surrounding farms were not investigated to determine the commonality of this type of building in the region.	Rating
3.	Does the building contribute to the character of the streetscape or a square. The building is located on a farm.	Rating
4.	Does the building form part of a significant group or ensemble of buildings. The dwelling is part of a farmstead but the surrounding outbuildings have been vandalized and cannot be considered of any architectural or historical significance.	Rating

4.3.1.5 Impact of Proposed Development on Site

According to the present development layout plan (refer Annexure A) the farm dwelling is situated within an area earmarked for housing development. As a result the impact of the development on the site is deemed to be severe and the consideration of mitigation measures imperative.

4.3.1.6 Mitigation

The National Heritage Resources Act 25 of 1999 states that no structures older than 60 years may be altered or demolished without a permit from the relevant heritage authority. The following mitigation measures are recommended:

- Recording: measuring the floor plan, elevations and details.
- Drafting measured drawings (1:100scale).
- Photographic recording with descriptions using standard architectural vocabulary
- Compiling the drawings, photographic recordings and descriptions into a report.
- Submission of the report to the SAHRA to acquire a destruction permit.



Plate 3 General view of the farm dwelling.



Plate 4 Western facade of the farm dwelling.



Plate 5 Steel framed windows.



Plate 6 Pressed ceilings of farm dwelling.



Plate 7 The main hallway, with pressed metal ceilings and high skirting boards.



Plate 8 The art deco door and wooden floor within the farm dwelling.

4.3.2 Site 2

4.3.2.1 Site Location

Locality: 26.85822 S
27.86753 E

4.3.2.2 General Description

The site consists of a historic/recent cemetery which is comprised of two graves. It is situated approximately 20 meters from the farm dwelling at Site 1 and is enclosed in a rectangular brick and palisade fence with a single entrance. The two graves located within the grave yard can be described as recent/historic and have inscribed granite grave dressings in the form of logs. The graves lie next to one another and there are several large trees both within and on the perimeter of the grave yard.

The grave inscriptions read as follows:

SLAAP RUSTIG LIEWE MOEDER
SIENTA VAN NIEKERK
(GEB. SMIT)
GEB. 24-6-1894
OORL. 9-6-1976

SLAAP RUSTIG DIERBARE EGVRIED
DANIEL JACOBUS V. NIEKERK
GEB. 5 NOV. 1892
OORL. 6 SEPT. 1952

According to the archival research undertaken, Daniel Jacobus Van Niekerk acquired the remaining extent of the farm Leitrim during 1942 and must have owned it until his death in 1952. His wife, Sienta Van Niekerk, presumably acquired the farm from her husband and stayed here until her death in 1976.

4.3.2.3 Current Protection Status

Graves and burial grounds fall under various legislative protections, depending on factors such as where the graves are located as well as their age. Such legislation may include the National Heritage Resources Act 25 of 1999, the Removal of Graves and Dead Bodies

Ordinance (Ordinance no. 7 of 1925), the Human Tissues Act 65 of 1983, the Ordinance on Excavations (Ordinance no. 12 of 1980) as well as any local and regional provisions, laws and by-laws that may be in place.

4.3.2.4 Site Significance

All graves have high levels of emotional, religious and historical significance. As a result the site is deemed to be of **High Significance**.

4.3.2.5 Impact of Proposed Development on Site

According to the present development layout plan (refer Annexure A) the cemetery is situated within an area earmarked for housing development. As a result the impact of the development on the site is deemed to be severe and the consideration of mitigation measures imperative.

4.3.2.6 Mitigation

Two alternative mitigation measures for the cemetery exist, namely *in situ* preservation and alternatively relocation. In terms of preservation, the following mitigation measures would be required:

- Fencing of the site, with a lockable gate on one side.
- A site management plan must be compiled with which the cemetery's conservation during the Construction and Operational Phases can be ensured. The management plan would address aspects such as site monitoring and the cleaning of the cemetery.
- Monitoring of the site's continued preservation must also be undertaken. The frequency of monitoring visits will be outlined in the site management plan.
- It is of immense importance to realise that the affected families will have to be consulted in terms of the future management of their cemetery. Procedures for access by these families to their ancestral graves will also have to be ensured.

Should the decision be made for the cemetery to be relocated, a full relocation process inclusive of a detailed social consultation process and in cognisance of all the relevant legislation can be undertaken. Such a relocation process can only be undertaken by a suitably qualified specialist.

In terms of the locality of the graves within the development layout, the best mitigation would be:

- Social consultation to establish whether any families for the deceased can be found. This process must include bilingual newspaper advertisements and site notices, as well as communication with elderly residents of the area.
- Permit application to the Provincial Department of Health and the Provincial Department of Local Government for the grave to be exhumed and relocated.
- Once the permits have been obtained, the exhumation and relocation of the graves can take place.



Plate 9 View across the two graves situated within the cemetery.



Plate 10 Close-up view of head stone on Sienta Van Niekerk's grave.



Plate 11 Close-up view of head stone on Daniel Jacobus Van Niekerk's grave.

5. HERITAGE REQUIREMENTS IN TERMS OF SECTION 38 (3) OF THE NATIONAL HERITAGE RESOURCES ACT NOT DEALT WITH IN THE PREVIOUS SECTION.

5.1 “The identification and mapping of all heritage resources in the area affected”

This requirement has been suitably addressed in Section 4 Findings. With the GPS coordinates obtained from the field, the different sites were individually plotted using Arcview 8.1 GIS Software. Refer Annexure B Site Distribution Map.

5.2 “A(a)n evaluation of the impact of the development on heritage resources relative to the sustainable social and economic benefits to be derived from the development;”

Everyone is aware of the current high demand for residential property in the country. The rate at which prices for residential property in the country have risen in the last couple of months is indicative of the fact that the supply can not meet the demand.

Land on the fringe of existing residential neighbourhoods provides excellent opportunities to be developed for residential purposes. The availability of municipal services is however a determining factor as far as desirability of intensive development of such properties is concerned. In this case it has been established that the full spectrum of municipal services are available.

The site is within an area earmarked for residential development in terms of the Sasolburg Spatial Framework Plan.

The development will provide for maximum density usage of 25 units per hectare which results in an erf size of 250m².

The land is presently unutilised, and can be described as medium low/low potential agricultural land. The land is covered by grass and no red data species are found on the site. No further ecological studies are required for the site.

The proposed project will create hundreds of jobs for the local previously disadvantaged community of Zamdela.

There is absolutely no obvious alternative use for the concerned land. The concerned site is suitable for this kind of development, without compromising agricultural or ecological sensitive features.

Although two heritage sites were located within the proposed development areas, the impact of the development on these can be suitably mitigated to allow for very little negative impact on the heritage fabric of the area. It stands to reason therefore that when a comparison is drawn between the mitigated impact of the proposed development on the heritage sites and the significant socio-economic benefits to be derived from the project, the benefits would certainly far outweigh the envisaged impact after mitigation.

5.3 "T(t)he results of consultation with communities affected by the proposed development and other interested parties regarding the impact of the development on heritage resources;"

As required by EIA Regulations 22, 23 and 26 the Environmental Conservation Act 73 of 1989, a public participation process for the proposed development has been undertaken. This included newspaper advertisements (Vaal Weekly: 17-23 October 2007), bilingual (Sesotho and English) radio advertisements (Vaal Community Radio Station 90.6 FM: 7-9 November 2007) and various on site notices.

During the fieldwork component informal discussions were held with local residents.

No information with regards to heritage were obtained during the public participation process.

6. CONCLUSIONS AND GENERAL RECOMMENDATIONS

Archaeology Africa was appointed by *Ages Group (Pty) Ltd* to undertake a Phase 1 Heritage Impact Assessment for the proposed construction of the Lefapha housing development on the remaining extent of the farm Leitrim 926. The developer is *Wietpro Housing (Pty) Ltd*.

Two sites were located namely a historic farm dwelling (see Site 1) and cemetery (see Site 2). The significance of these sites was established, and mitigation measures proposed (refer Section 4.3).

It is the opinion of the author of this report that on the condition that all the recommendations made in this report are adhered to, the development may continue.

This report will be submitted to the South African Heritage Resources Agency. Any changes and/or additions made by them must be adhered to.

Archaeology Africa was appointed by *Marsh Environmental Services* to undertake a Phase 1 Heritage Impact Assessment for the proposed construction of the Cedar Park development on Portions 5 and 64 of the farm Bultfontein 533-JQ.

Four sites were located which can be classified into two different types, namely one cemetery and three sites which can be classified as multi-component in that they are historic sites which has the possibility of containing graves. Mitigation measures for all these sites have been made under Section 4.3.

It is the opinion of the author of this report that on the condition that all the recommendations made in this report are adhered to, the development may continue.

This report will be submitted to the South African Heritage Resources Agency. Any changes and/or additions made by them must be adhered to.

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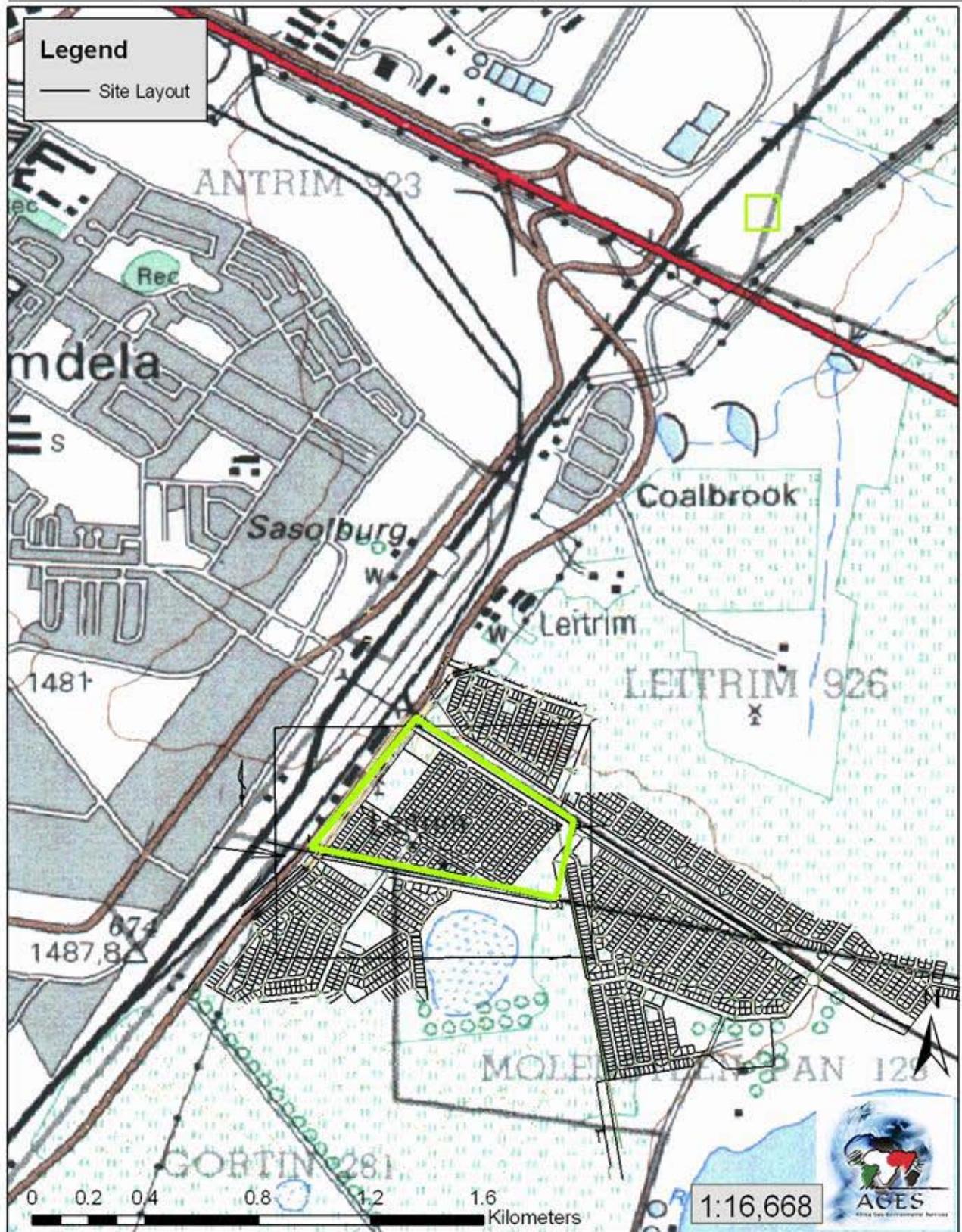
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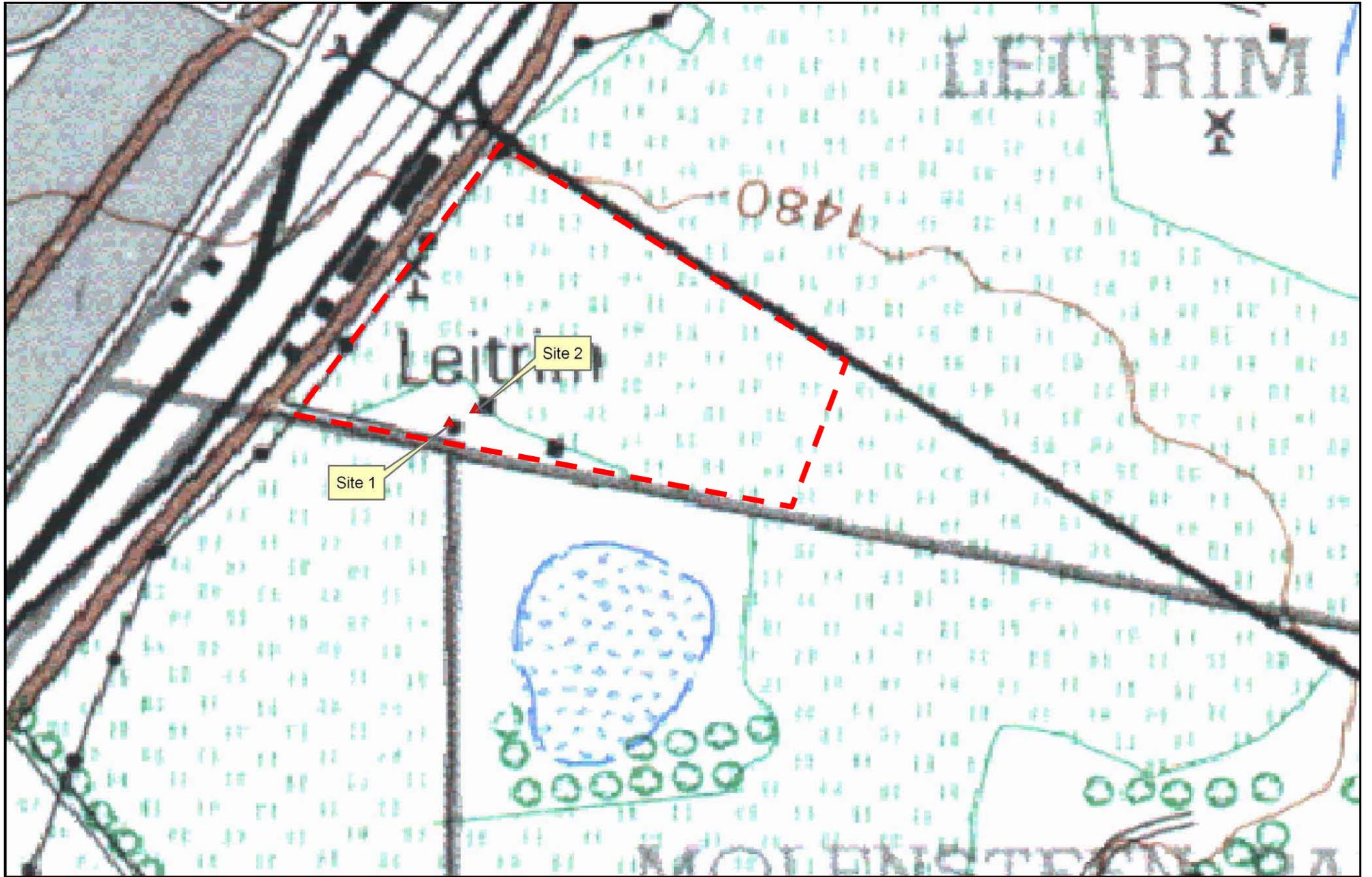
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ANNEXURE A – LOCALITY MAP

Lefapha Residential Development - Locality Map



ANNEXURE B – SITE DISTRIBUTION MAP



ANNEXURE C – ARCHITECTURAL ASSESSMENT REPORT

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Executive summary

General

A single dwelling is located in the study area. The building dates to the period between 1940 and 1950. The exact date of construction is unknown as it is a farm building and no architectural drawings exist. It is not a typical vernacular farm dwelling (constructed with stone or plastered clay brick) but an example of a dwelling type of similar style and executed within the architectural vocabulary that was common in urban areas at the time. The dwelling is redundant and unprotected.

Findings

The exact date of construction of the dwelling is unknown, but a relative date (mentioned above) for the building may mean that it is older than 60 years. Structurally it is a solid building and contains several typical stylistic elements of the period (1935-1950) and some elements of the Art Deco style (1920-1935). No name for this period or style exists, but it has a distinct character of which the use of yellow face bricks is the most significant element.

An exceptional detail in the building is the occurrence of pressed metal ceilings. These ceilings were common from the 1920s and earlier but not used this late into the 20th century. All the other features are typical of the period and the style such as timber floors, wooden frame front door, wide un-beveled timber skirtings and architraves and Art Deco type interior doors.

Recommendations

- The building may be demolished on condition that:
 1. It is recorded by measuring the floor plan, elevations and details
 2. Drafting measured drawings (1:100scale)
 3. Photographic recording with descriptions using standard architectural vocabulary
 4. Compiling the drawings, photographic recordings and descriptions into a report.
 5. Submission of the report to the SAHRA, prior to demolition.

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1. Brief

Determine the significance of buildings and structures on the proposed development site and make recommendations regarding the future of these landscape elements.

1. Aim of the study

- Identification of buildings and structures on the proposed development site
- Assess these structures and buildings for their 'heritage' or 'cultural' significance according to criteria guided by the National Heritage Resources Act
- Make recommendations regarding the future use of these buildings and structures

2. Assumptions and conditions

- Buildings older than 60 years are protected by the 60 years clause of the National Heritage Resources Act (Act 25 of 1999)
- They may not be demolished or altered without prior permission of the local (National office) of the South African Heritage Resources Agency (SAHRA) or the Provincial Heritage Resources Agency (PHRA).
- This report excludes the results of the archaeologist and historian.

3. Geographic area of the study

The dwelling is located on the farm Leitrim (926) located in the district of Heilbron.

4. Methodology

The desk study focusing on the history of the site and the historical significance of any of the features on the site was done by P. Birkholtz. The results of this part of the study appear elsewhere.

The site was visited and the building investigated in situ.

5. Findings

6.1 General

The history of the site and its owners is published in the report drafted by P. Birkholtz

6.3 Significance of the site and buildings

Two sets of criteria are used to determine the historical and cultural significance of a site. The first set is determined by the National Heritage Resources Act and tends to focus on determining the significance of a site on 'national' or macro geographic level.

The second set of criteria is a refinement of those set out in the Act and tends to look at the site in more detail (addressing aspects such as buildings, structures, infrastructural elements, activity areas and planted vegetation). Therefore, the latter is more specific and focuses on detail and local cultural significance.

6.3.1 Criteria to determine cultural significance of a place according to the National Heritage Resources Act

1.	<p><i>The importance of the site in the community or pattern of South Africa 's history</i></p> <p>The type of dwelling is a common type in the northern part of South Africa. However, it is more common in urban areas than on farms.</p>	<p>Rating</p> <p>Medium</p>
2.	<p><i>Possession of uncommon, rare or endangered aspects of South Africa's natural and cultural heritage</i></p> <p>This is not a type of building that is in danger of becoming 'extinct', neither is it a 'rare' example of a building type of architectural style.</p>	<p>Rating</p> <p>Medium</p>
3.	<p><i>Potential to yield information that will contribute to an understanding of South Africa's natural and cultural heritage.</i></p> <p>Very little has been published on this style of building – 'yellow brick style' (authors terminology), but ample examples of this type of building and construction exist in the urban areas to render any research with information for research purposes.</p>	<p>Rating</p> <p>Medium</p>
4.	<p><i>Importance in demonstrating the principle characteristics of a particular class of South Africa's natural or cultural places or objects</i></p> <p>The building would be classified as a farm dwelling but is not considered of such importance that it needs to be protected.</p>	<p>Rating</p> <p>medium</p>
5.	<p><i>Importance in exhibiting particular aesthetic characteristics valued by a community of cultural group.</i></p> <p>The style of building has not been described or identified as a particular style by the architectural historians and academics yet. The period when it was erected experienced a small building boom and many examples of this type of building still occur. It does exhibit particular aesthetic characteristics but these have not been considered of much significance by the architectural historians.</p>	<p>Rating</p> <p>medium</p>
6.	<p><i>Importance in demonstrating a high degree of creative or technical achievement in a particular period.</i></p>	<p>Rating</p>

	The dwelling does contain some level of technical achievement in the way the brick masonry was executed.	<i>medium</i>
7.	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.</i> It is unknown whether the dwelling has any special association with a particular community or cultural group for social, cultural or spiritual reasons.	<i>Rating</i> <i>Low</i>
8.	<i>Strong or special association with the life and work of a person, group or organization of importance in the history of South Africa.</i> It is unknown whether the building has any special association with a significant person or group.	<i>Rating</i> <i>low</i>
9.	<i>Does the significance of the site relate to the history of slavery in South Africa</i> The site is not associated with the history of slavery in South Africa.	<i>Rating</i> <i>Low</i>

6.3.2 Historical (social) significance

1.	<i>Is the site, or any building(s), structure(s) or planted vegetation associated with an historic person or group?</i> This information is part of the historical assessment report and has not been included in this report.	<i>Rating</i>
2.	<i>Is the site, or building(s), structure(s) or any planted vegetation associated with an historic event or any historic religious, social, economic or political activity?</i> This information is part of the historical assessment report and has not been included in this report.	<i>Rating</i>
3.	<i>Does the site (as a whole) or any building, structure or any planted vegetation illustrate a historic period?</i> The dwelling is a typical example of dwellings of this period.	<i>Rating</i> <i>High</i>
4.	<i>Is the site or any element on the site of archaeological significance?</i> The site was investigated by an Archaeologist and the results of the survey are included in the historical and archaeological	<i>Rating</i>

	section of the report.	
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6.3.3 Architectural (artefactual) significance

1.	<p><i>Is the building an important example of a building type?</i></p> <p>The building was ‘designed’ as a dwelling and when it became redundant it was still used for this purpose. As it is located on a farm no plans had to be submitted for approval prior to construction. However, the building must have been constructed from plans with exact measurements and cannot the typical ‘folk’ or ‘vernacular’– style farm dwelling. It is not an outstanding example of a farmhouse as similar looking buildings were also erected in urban areas at the time.</p>	<i>Rating</i>
2.	<p><i>Is the building an important example of a particular style or period</i></p> <p>It is a typical middle class dwelling of the period between 1940 and 1950. The date of the building and the similarity of the buildings from this period, give rise to the term ‘1940s Style’. Architecturally, there is no difference between this farmhouse (being in a rural setting) and those dwellings in an urban neighbourhood. Exactly the same style of buildings occurred in urban areas and even in housing compounds of mining companies at the time. It is quite a common style of building with the only exceptional elements occurring in the detailing and embellishment.</p>	<i>Rating</i>
3.	<p><i>Does the building contain fine details or reflect exceptional craftsmanship</i></p> <p>In general the building contains stylistic elements that are quite rare for a farm dwelling as the detailing slants more towards the architectural vocabulary associated with urban architecture.</p> <p><u>Flooring:</u> Timber floors were common with suspended planking were common at the time, but parquet floors became more common during the late 1940s and towards the 1960s.</p> <p><u>Walls:</u> The dwelling was constructed with yellowish face bricks. The construction reflects exceptional craftsmanship and fine bricklaying.</p> <p><u>Roof:</u> The dwelling has a corrugated iron roof, typical of the period and the style of building. The entire roof was still intact when the survey was done.</p> <p><u>Doors:</u> Some of the interior doors still reflect stylistic characteristics of the Art Deco period and style – wooden frame</p>	<i>Rating</i> Medium

	<p>with glass panes and horizontal mullions, with chrome door handles.</p> <p><u>Windows:</u> Steel windows are examples of the common prefabricated steel frame types at the time.</p> <p><u>Ceilings:</u> An exceptional element of the dwelling is the occurrence of the pressed metal ceilings.</p>	
4.	<p><i>Is the building the work of a major architect, engineer or builder?</i></p> <p>The strong definition of styling and the application of prefabricated materials and products in the house suggest that it was built from a plan (read design). However, no evidence of any design that had been formally approved would exist, except with the original owners. The building is located on a farm and building plans do not need to be approved prior to construction. These plans are usually the only evidence that the building was designed and also the best and proven source to find the names of any designers. No records of these exist.</p>	Rating
5.	<p><i>Is the building an important example of an industrial, technological or engineering development?</i></p> <p>The building is not an engineering structure and the construction contains no evidence of exceptional engineering, industrial or technological developments.</p>	Rating
6.	<p><i>What is the structural and architectural integrity of the building?</i></p> <p>The structural integrity of the building is good as no signs of any structural decay causing large cracks were found.</p> <p>The architectural integrity is good as the original design is still intact while most of the architectural detailing have remained intact.</p>	Rating
7.	<p><i>Is the building still utilized?</i></p> <p>At the time of the field survey (September-October 2007), the building was already redundant and the residents have left the site.</p>	Rating
8.	<p><i>Has the building been altered and are these alterations sympathetic to the original intent of the design.</i></p>	Rating

6.3.4 Contextual or spatial significance

1.	Is the building a landmark in the city or town?	Rating
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	The building is located on a farm.	
2.	<p><i>Does the building contribute to the character of the neighbourhood?</i></p> <p>The farmstead is isolated from any other farmsteads. The farmsteads on the surrounding farms were not investigated to determine the commonality of this type of building in the region.</p>	<i>Rating</i>
3.	<p>Does the building contribute to the character of the streetscape or a square?</p> <p>The building is located on a farm.</p>	<i>Rating</i>
4.	<p>Does the building form part of a significant group or ensemble of buildings?</p> <p>The dwelling is part of a farmstead but the surrounding outbuildings have been vandalized and cannot be considered of any architectural or historical significance.</p>	<i>Rating</i>

6. Recommendations

The building may be demolished but complying to the following conditions:

- It is recorded by measuring the floor plan, elevations and details.
- Drafting measured drawings (1:100scale).
- Photographic recording with descriptions using standard architectural vocabulary
- Compiling the drawings, photographic recordings and descriptions into a report.
- Submission of the report to the SAHRA, prior to demolition.

7. References

Acknowledgement:

Corine Meyer, Researcher of the National Cultural History Museum: Evaluation of the building style and detailing.

Dr Johan Bruwer, Private consultant and historian. The evaluation of some of the architectural stylistic aspects of the building such as the dating of pressed metal ceilings and the use of yellow and 'blue-stock' brick types.

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ANNEXURE D – LEGISLATIVE FRAMEWORK

LEGISLATIVE FRAMEWORK

South Africa has a number of legislative measures in place aimed at protecting its heritage resources. Of these the most important is the National Heritage Resources Act 25 of 1999.

1. National Heritage Resources Act 25 of 1999

The promulgation of the National Heritage Resources Act 25 of 1999 brings the conservation and management of heritage resources in South Africa on par with international trends and standards.

Section 38 (3) of the act provides an outline of ideally what should be included in a heritage report. The act states:

“(3) The responsible heritage resources authority must specify the information to be provided in a report required in terms of subsection (2) (a): Provided that the following must be included:

- (a) The identification and mapping of all heritage resources in the area affected;*
- (b) an assessment of the significance of such resources in terms of the heritage assessment criteria set out in section 6(2) or prescribed under section 7;*
- (c) an assessment of the impact of the development on such heritage resources;*
- (d) an evaluation of the impact of the development on heritage resources relative to the sustainable social and economic benefits to be derived from the development;*
- (e) the results of consultation with communities affected by the proposed development and other interested parties regarding the impact of the development on heritage resources;*
- (f) if heritage resources will be adversely affected by the proposed development, the consideration of alternatives; and*
- (g) plans for mitigation of any adverse effects during and after the completion of the proposed development.”*

Replacing the old National Monuments Act 28 of 1969, the Heritage Resources Act offers general protection for a number of heritage related features and objects (see below).

Structures are defined by the Heritage Resources Act as “...any building, works, device or other facility made by people and which is fixed to land, and includes any fixtures, fittings and equipment associated with it.” In section 34 of the Act the general protection

for structures is stipulated. It is important to note that only structures older than 60 years are protected. Section 34(1) of the National Heritage Resources Act reads as follows: "*No person may alter or demolish any structure or part of a structure which is older than 60 years without a permit issued by the relevant provincial heritage resources authority.*"

The second general protection offered by the Heritage Resources Act which is of relevance for this project, is the protection of **archaeological sites and objects (as well as paleontological sites and meteorites)**. Section 35(4) of the National Heritage Resources Act states that:

"No person may, without a permit issued by the responsible heritage resources authority-

- (a) destroy, damage, excavate, alter, deface or otherwise disturb any archaeological or palaeontological site or any meteorite;*
- (b) destroy, damage, excavate, remove from its original position, collect or own any archaeological or palaeontological material or object or any meteorite;*
- (c) trade in, sell for private gain, export or attempt to export from the Republic any category of archaeological or palaeontological material or object, or any meteorite; or*
- (d) bring onto or use at an archaeological or palaeontological site any excavation equipment or any equipment which assist in the detection or recovery of metals or archaeological and palaeontological material or objects, or use such equipment for the recovery of meteorites."*

In order to understand exactly what is protected, it is important to look at the definition of the concept "**archaeological**" set out in section 2(ii) of the Heritage Act:

- "(a) material remains resulting from human activity which are in a state of disuse and are in or on land and which are older than 100 years, including artefacts, human and hominid remains and artificial features and structures;*
- (b) rock art, being any form of painting, engraving or other graphic representation on a fixed rock surface or loose rock or stone, which was executed by human agency and which is older than 100 years, including any area within 10m of such representation;*
- (c) wrecks, being any vessel or aircraft, or any part thereof, which was wrecked in South Africa, whether on land, in the internal waters, the*

territorial waters or in the maritime culture zone of the Republic, as defined respectively in sections 3, 4 and 6 of the Maritime Zones Act, 1994 (Act No. 15 of 1994), and any cargo, debris or artefacts found or associated therewith, which is older than 60 years or which SAHRA considers to be worthy of conservation; and

(d) features, structures and artefacts associated with military history which are older than 75 years and the sites on which they are found;..."

The third important general protection offered by the Heritage Resources Act that is of importance here, is the protection of **graves and burial grounds**. Section 36(3) of the National Heritage Resources Act states that:

"No person may, without a permit issued by SAHRA or a provincial heritage resources authority –

- a) destroy, damage, alter, exhume or remove from its original position or otherwise disturb the grave of a victim of conflict, or any burial ground or part thereof which contains such graves;*
- b) destroy, damage, alter, exhume, remove from its original position or otherwise disturb any grave or burial ground older than 60 years which is situated outside a formal cemetery administered by a local authority; or*
- c) bring onto or use at a burial ground or grave referred to in paragraph (a) or (b) any excavation equipment, or any equipment which assists in the detection or recovery of metals."*

Of importance as well is section 36 (5), which relates to the conditions under which permits will be issued by the relevant heritage authority should any action described in section 36 (3), be taken. Section 36(5) reads that:

"SAHRA or a provincial heritage resources authority may not issue a permit for any activity under subsection (3)(b) unless it is satisfied that the applicant has, in accordance with regulations made by the responsible heritage resources authority –

- a) made a concerted effort to contact and consult communities and individuals who by tradition have an interest in such grave or burial ground; and*
- b) reached agreements with such communities and individuals regarding the future of such grave or burial ground."*

This section of the Act refers to graves and burial grounds which are older than 60 years and situated outside of a formal cemetery administered by a local authority.

Section 36 (6) of the act refers to instances where previously unknown graves are uncovered during development and other activities.

"Subject to the provision of any other law, any person who in the course of development or any other activity discovers the location of a grave, the existence of which was previously unknown, must immediately cease such activity and report the discovery to the responsible heritage resources authority which must, in co-operation with the South African Police Service and in accordance with regulations of the responsible heritage resources authority-

- a) *carry out an investigation for the purpose of obtaining information on whether or not such a grave is protected in terms of the Act or is of significance to any community; and*
- b) *if such a grave is protected or is of significance, assist any person who or community which is a direct descendant to make arrangement for the exhumation and re-interment of the contents of such grave or, in the absence of such person or community, make any arrangements as it deems fit."*

2. Other Legislation

In terms of graves, other legislative measures which may be of relevance include the Removal of Graves and Dead Bodies Ordinance (Ordinance no. 7 of 1925), the Human Tissues Act 65 of 1983, the Ordinance on Excavations (Ordinance no. 12 of 1980) as well as any local and regional provisions, laws and by-laws that may be in place.