


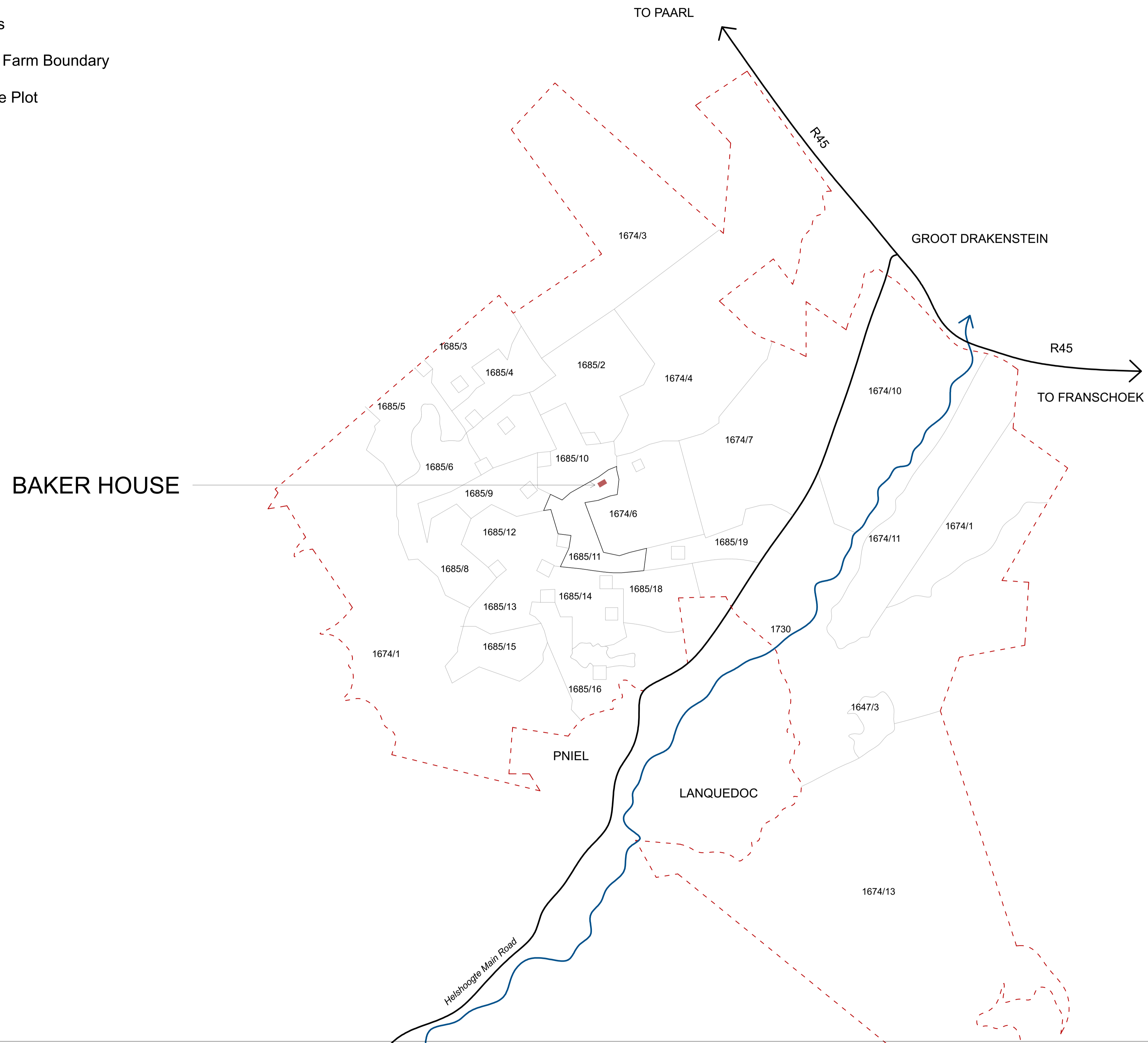


# KEY

-  Major Roads
-  Boschendal Farm Boundary
-  Baker House Plot



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The contractor shall set up, document and maintain a quality assurance and quality control system, in accordance with SANS 9001(SO) 9001, able to be checked to the satisfaction of the Architect, that all materials and workmanship, whatever their sources, meet the requirements of the Specification. Should the Contractor or any of his sub-contractors be certified to the SANS 9000 family of standards then monitor these works accordingly.

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All work to be executed by competent persons qualified for the specific trade.

TO STELLENBOSCH      KYLEMORE

ARCHITECT: **Sean Mahoney**  
SACAP Membership Number: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

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**Owner**  
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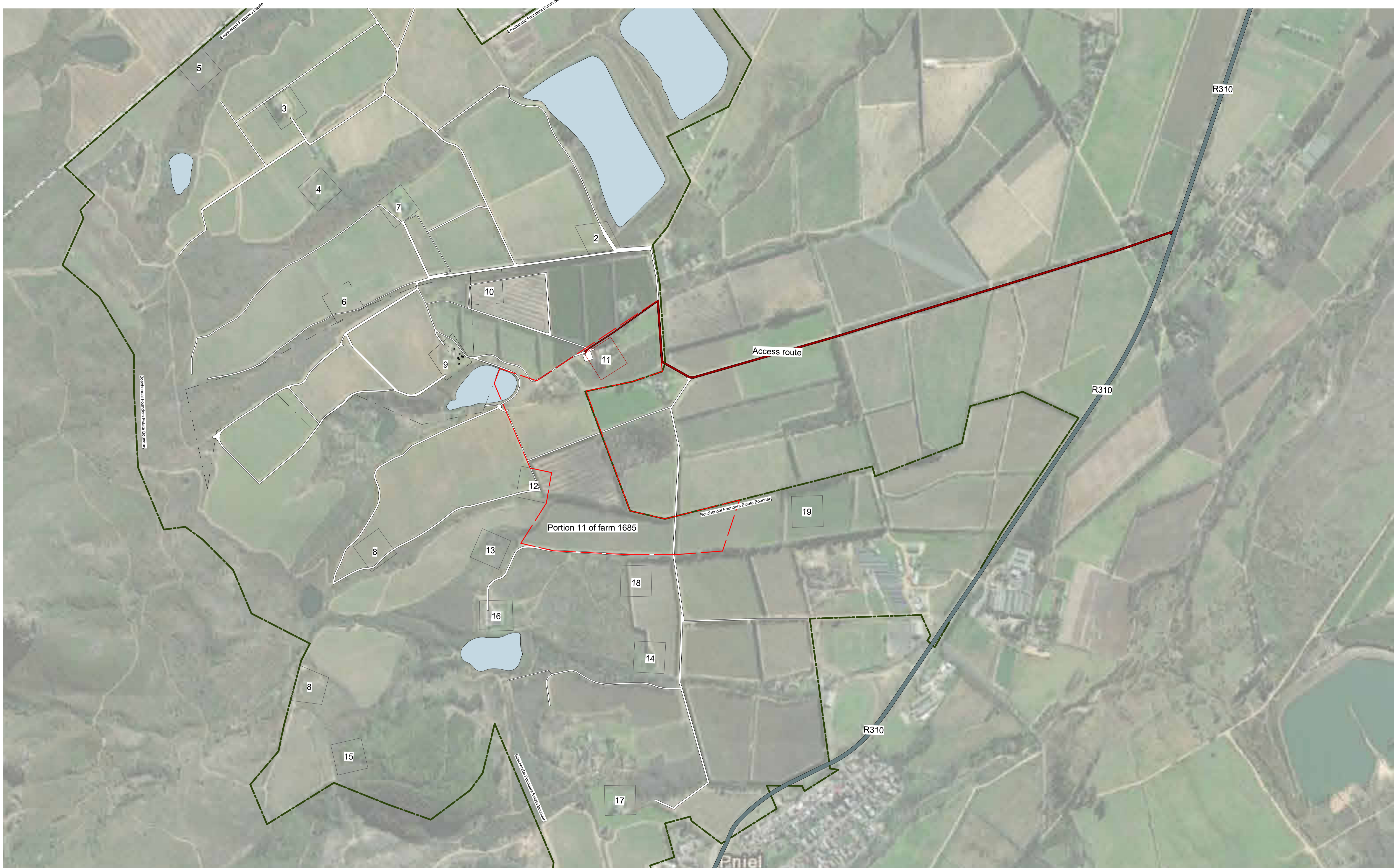
PROJECT: **Boschendal Baker House: Building Alterations**

Portion 11 of Farm 1685

SHEET DESCRIPTION: **Unnamed**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/02/16 12:30:26 PM	@ A1
Dwg No.		Project Status	
PROJECT	DISCIPLINE	SERIES	REVISION
<b>BKH-M-</b>		<b>001</b>	

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ARCHITECT: **Sean Mahoney**  
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 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: \_\_\_\_\_

Owner \_\_\_\_\_  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

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PROJECT:  
**Boschendal Baker House: Building Alterations**

Portion 11 of Farm 1685

SHEET DESCRIPTION:  
**Locality and Access**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/02/16 12:30:50 PM	1:5000 A1
Dwg No.		Project Status	
PROJECT DISCIPLINE SERIES		REVISION	
<b>BKH-M-</b>		<b>002</b>	



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CLIENT SIGN:  
**Owner**  
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PROJECT:  
**Boschendal Baker House: Building Alterations**  
 Portion 11 of Farm 1685

SHEET DESCRIPTION:  
**Proposed Development Plan**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/16 12:31:25 PM	1:1000 @ A1
<b>Dwg No.</b>		<b>Project Status</b>	
<b>BKH-M-</b>		<b>003</b>	

2023/03/16 12:31:25 PM studioMAS architecture:studioMAS Projects/Boschendal Baker House/2023/Boschendal Baker House/2023.dwg



**GENERAL NOTES**

**EXTERNAL CAVITY WALLS**  
**GENERAL NOTES & SPECIFICATION:**  
 Contractor must verify all levels and dimensions on site before commencing work or shop drawings. All discrepancies and/or errors to be reported to Architect immediately. DO NOT SCALE THE DRAWINGS. IF INFORMATION IS REQUIRED CALL THE ARCHITECT. This drawing to be read in conjunction with all relevant Consultant's drawings. All builders work to comply with the National Building Regulations (SANS 10400)

**STRUCTURAL DESIGN**  
**Structural design to comply with SANS 10400 Part B**  
 Complete structural system to be as per structural engineer design and specification.

**FOUNDATIONS**  
 All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
 All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
**Brickwork to comply with SANS 10400 Part K**  
**EXTERNAL CAVITY WALLS**  
 All Cavity walls to be bed with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center, approx. every 3rd perpend. All External wall cavities to contain SABS approved insulation board as required by XA report.

**INTERNAL WALLS**  
 230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.

**LINTELS and BEAMS**  
 Drywall partitions as per manufacturer spec.  
 Precast lintels built over openings exceeding 1.2m [max 3m] to have min 4 courses brickwork and brickforce over

**DPM/DPC**  
 All DPM/DPC's to all walls to be high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
**All floors to comply with SANS 10400 Part J**  
 Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand blinding on hardcore as per engineers spec.  
 All suspended slabs to engineers spec.

**ROOF**  
**All Flat Roofs and Waterproofing thereof to comply with SANS10400 Part L**  
 All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
 Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
**Risers, treads, landings and balustrades to comply with SANS10400 Part M where applicable.**  
 All stairs to have handrails and balustrades on both sides @ min 1m above ffl

**HANDRAILS AND BALUSTRADES:**  
**To comply with SANS10400 Part D, Part M & Part S.**  
 All balustrades to be min 1m high above ffl. Fixing details to structural engineer's specification

**DOORS**  
 All external doors to be weatherproof as per SANS10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
 Door/window frames to be sealed to later spec.

**GLAZING:**  
**All glazing to comply with SANS 10400 Part N.**  
 Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
**Naturally lit and ventilated to comply with SANS10400 Part O**  
 Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
**Plumbing items and drainage to comply with SANS10400 Part P**  
 All drainage per Wet services engineer.  
 Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
 All slow bends to have minimum radius of 600mm  
 Drainage under roads and building to be encased to engineer's spec  
 Deep seal traps to all first floor fittings. All gullies to have minimum depth of 450mm. All soilpipes must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL**  
**Stormwater disposal to comply with SANS10400 Part R.**  
 Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to main specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer. Agricultural drains to eng spec.

**FIRE SAFETY**  
**Fire safety to comply with SANS10400 Part T**  
 Rational Design as per Fire Engineer

**STORMWATER DISPOSAL**  
**Stormwater disposal to comply with SANS10400 Part R.**  
 Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to main specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer. Agricultural drains to eng spec.

**SPACE HEATING**  
**Space heating to comply with SANS10400 Part V.**  
 Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**  
**Building to comply with SANS Part D**  
 A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

**Site Plan Council**  
 1 : 250

**Tree Key**

**Area Schedule**

Existing Area - 301,5 sqm  
 Additional Area - 3,5 sqm  
 TOTAL Area - 305 sqm

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Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: **Sean Mahoney**  
**SACAP Membership Number :** \_\_\_\_\_  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: **Owner**  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: **Engineer Name**  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

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 5 Constitution street, Zonnebloem, Cape Town, 7925  
 www.studiomas.co.za

PROJECT: **Boschendal**

**Boschendal Baker House : Building Alterations**

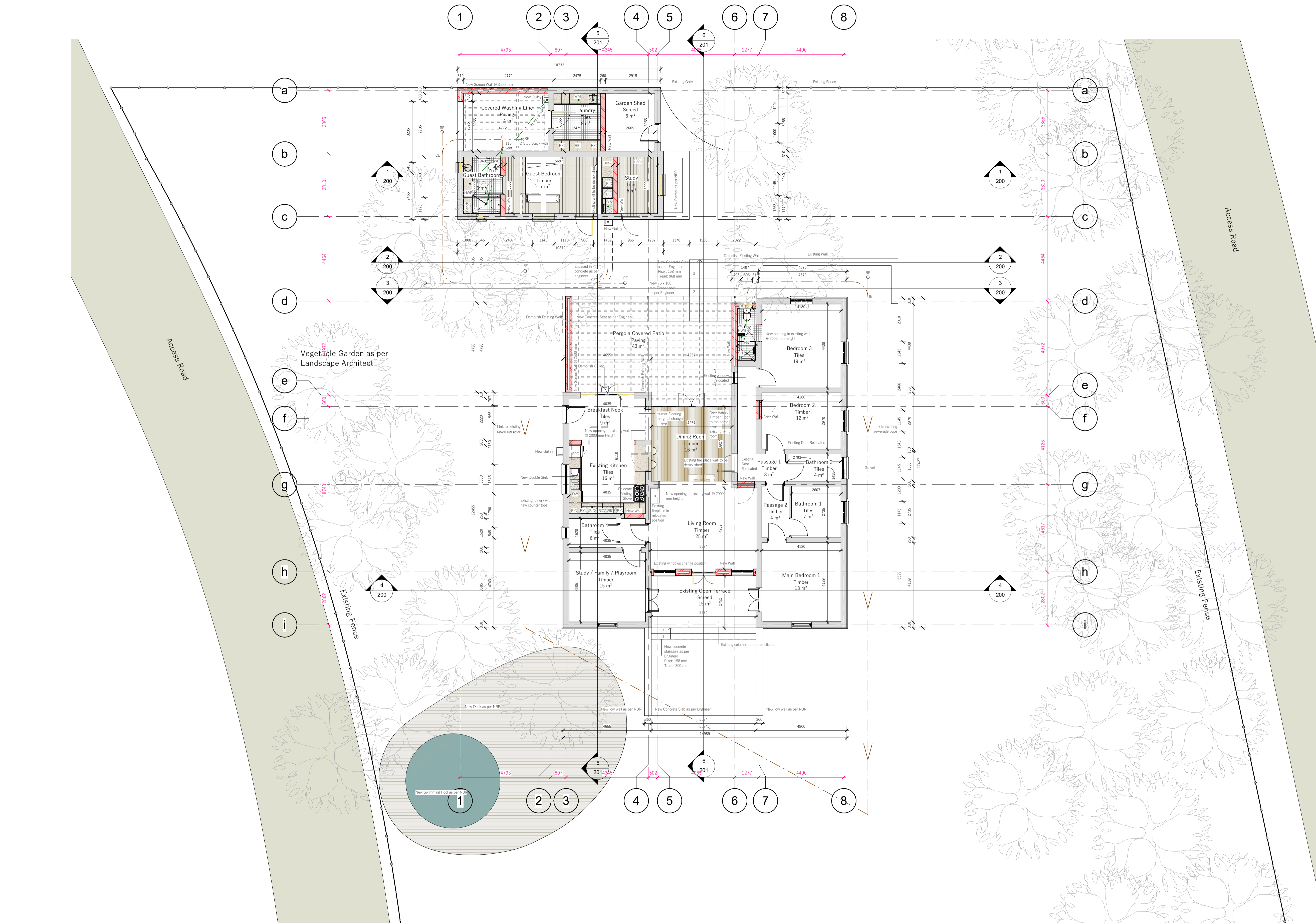
SHEET DESCRIPTION:  
**Council Drawing - Site Plan**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/09/29 1:32:34 PM	1 : 250 @ A1

**Dwg No.**

PROJECT	DISCIPLINE	SERIES	REVISION
<b>BKH-M-</b>		<b>004</b>	

2023/09/29 1:32:34 PM Z:\studioMAS\architecture\studioMAS\_projects\Boschendal Baker House\Revised\Central File\Baker House - Working Drawings.dwg



- GENERAL NOTES**
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- STRUCTURAL DESIGN**  
Structural design to comply with SANS 10400 Part B  
Complete structural system to be as per structural engineer design and specification.
- FOUNDATIONS**  
All slabs, foundations & retaining walls to engineers detail.
- CONCRETE WORK**  
All Columns, slabs and beams to engineers details and specifications.
- WALLS**  
Brickwork to comply with SANS 10400 Part K  
**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickwork to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center's, approx. every 3rd perpend. All External wall cavities to contain SABS approved insulation board as required by XA report.  
**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
**Lintels and BEAMS**  
Drywall partitions as per manufacturer spec.  
Precast lintels built over openings exceeding 1.2m [max 3m] to have min 4 courses brickwork and brickforce over  
**DP/MDPC**  
All DPM/DP/PC's to all walls to be high quality and SABS approved and to be installed to manufacturer's spec.
- FLOORS**  
All floors to comply with SANS 10400 Part J  
Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand binding on hardcore as per engineers spec.  
All suspended slabs to engineers spec.
- ROOF**  
All Flat Roofs and Waterproofing thereof to comply with SANS10400 Part L  
All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
Finishing of roof to walls to be as per engineers spec.
- INTERNAL AND EXTERNAL STAIRS:**  
Risers, treads, landings and balustrades to comply with SANS10400 Part M where applicable.  
All stairs to have handrails and balustrades on both sides @ min 1m above fl.
- HANDRAILS AND BALUSTRADES:**  
To comply with SANS10400 Part D, Part M & Part S.  
All balustrades to be min 1m high above fl. Fixing details to structural engineer's specification
- DOORS**  
All external doors to be weatherproof as per SANS10400
- EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
Door/window frames to be sealed to later spec.
- GLAZING:**  
All glazing to comply with SANS 10400 Part N.  
Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.
- LIGHT & VENTILATION:**  
Naturally lit and ventilated to comply with SANS10400 Part O  
Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.
- PLUMBING AND DRAINAGE:**  
Plumbing items and drainage to comply with SANS10400 Part P  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be enclosed to engineer's spec  
Deep seal traps to all first floor fittings. All gullies to have minimum depth of 450mm. All soilpipes must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.
- STORMWATER DISPOSAL**  
Stormwater disposal to comply with SANS10400 Part R.  
Full bore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.
- FIRE SAFETY**  
Fire safety to comply with SANS10400 Part T  
Rational Design as per Fire Engineer
- STORMWATER DISPOSAL**  
Stormwater disposal to comply with SANS10400 Part R.  
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Chimney shall be not less than 1 m above highest point of contact with roof.
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Building to comply with SANS Part D  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

1 Ground Floor Plan Council  
1 : 100

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Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: **Sean Mahoney**  
**SACAP Membership Number :** \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: \_\_\_\_\_  
**Owner**  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: \_\_\_\_\_  
**Engineer Name**  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS: **studioMAS**  
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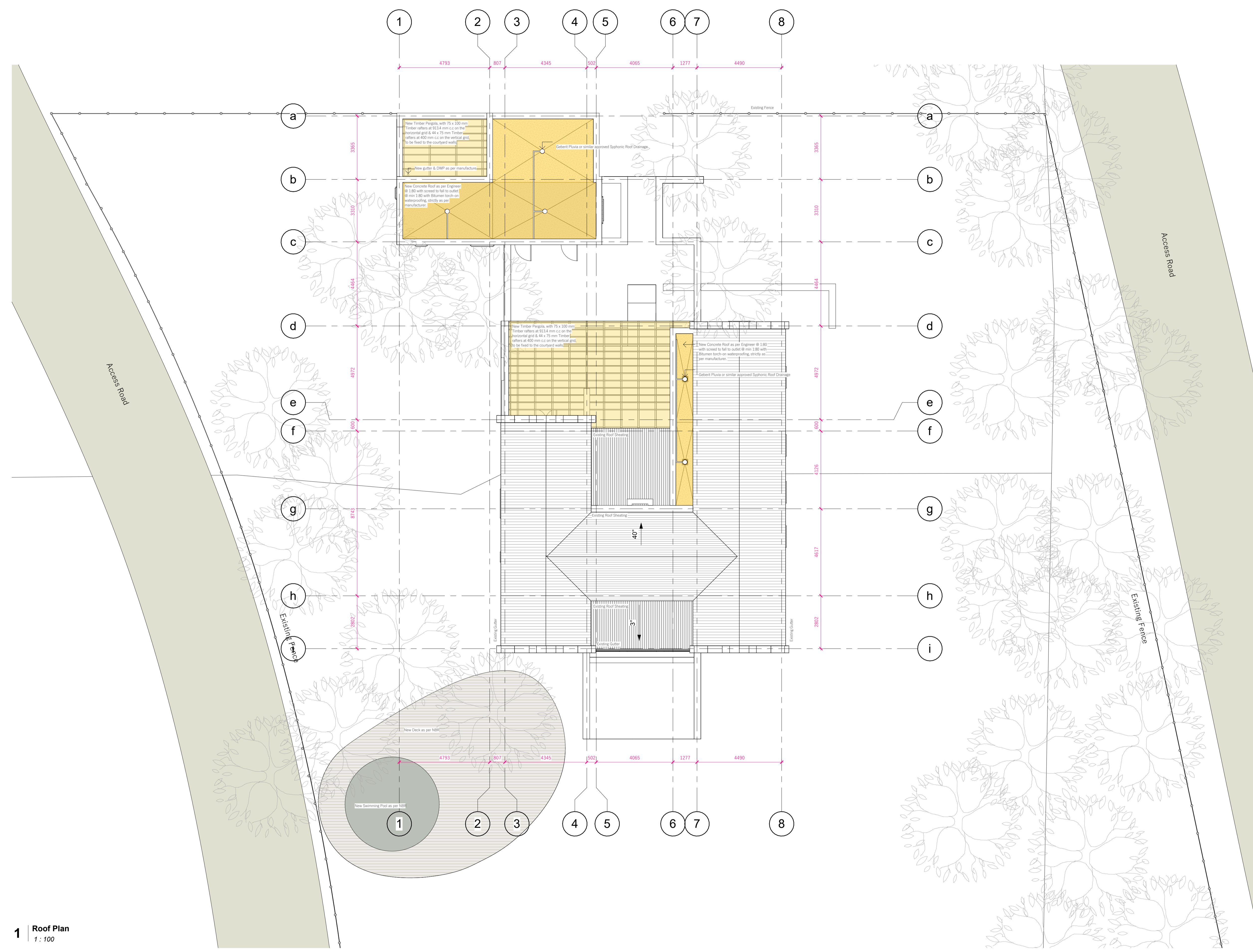
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PROJECT: **Boschendal**

**Boschendal Baker House : Building Alterations**

SHEET DESCRIPTION: **Floor Plan**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/05/03	1 : 100 @ A1
Dwg No.		3:50:47 PM	
PROJECT	DISCIPLINE	SERIES	REVISION
<b>BKH-</b>	<b>100</b>		



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**STRUCTURAL DESIGN**  
**Structural design to comply with SANS 10400 Part B**  
 Complete structural system to be as per structural engineer design and specification.

**FOUNDATIONS**  
 All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
 All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
**Brickwork to comply with SANS 10400 Part K**  
**EXTERNAL CAVITY WALLS**  
 All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center's, approx. every 3rd perpend. All External wall cavities to contain SABS approved insulation board as required by XA report.

**INTERNAL WALLS**  
 230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
**LINTELS and BEAMS**  
 Drywall partitions as per manufacturer spec.  
 Precast lintels built over openings exceeding 1.2m [max 3m] to have min 4 courses brickwork and brickforce over  
**DPM/DPC**  
 All DPM/DPC's to all walls to be high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
**All floors to comply with SANS 10400 Part J**  
 Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand binding on hardcore as per engineers spec.  
 All suspended slabs to engineers spec.

**ROOF**  
**All Flat Roofs and Waterproofing thereof to comply with SANS10400 Part L**  
 All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
 Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
**Risers, treads, landings and balustrades to comply with SANS10400 Part M where applicable**  
 All stairs to have handrails and balustrades on both sides @ min 1m above fl.

**HANDRAILS AND BALUSTRADES:**  
**To comply with SANS10400 Part D, Part M & Part S.**  
 All balustrades to be min 1m high above fl. Fixing details to structural engineer's specification

**DOORS**  
 All external doors to be weatherproof as per SANS10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
 Door/window frames to be sealed to later spec.

**GLAZING:**  
**All glazing to comply with SANS 10400 Part N.**  
 Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
**Naturally lit and ventilated to comply with SANS10400 Part O**  
 Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
**Plumbing items and drainage to comply with SANS10400 Part P**  
 All drainage per Wet services engineer.  
 Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
 All slow bends to have minimum radius of 600mm  
 Drainage under roads and building to be encased to engineer's spec  
 Deep seal traps to all first floor fittings. All gutters to have minimum depth of 450mm. All soilpipes must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL**  
**Stormwater disposal to comply with SANS10400 Part R.**  
 Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
 Agricultural drains to eng spec.

**FIRE SAFETY**  
**Fire safety to comply with SANS10400 Part T**  
 Rational Design as per Fire Engineer

**STORMWATER DISPOSAL**  
**Stormwater disposal to comply with SANS10400 Part R.**  
 Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
 Agricultural drains to eng spec.

**SPACE HEATING**  
**Space heating to comply with SANS10400 Part V.**  
 Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**  
**Building to comply with SANS Part D**  
 A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

**1 Roof Plan**  
 1 : 100

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 The contractor shall in all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No. 95 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941.  
 The contractor shall set up, document and maintain a quality assurance and quality control system, in accordance with SANS 9001(SO 9001), able to be checked to the satisfaction of the Architect, that all materials and workmanship, whatever their sources, meet the requirements of the Specification. Should the Contractor or any of his sub-contractors be certified to the SANS 9000 family of standards then monitor these works accordingly.  
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 All work to be executed by competent persons qualified for the specific trade.

Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

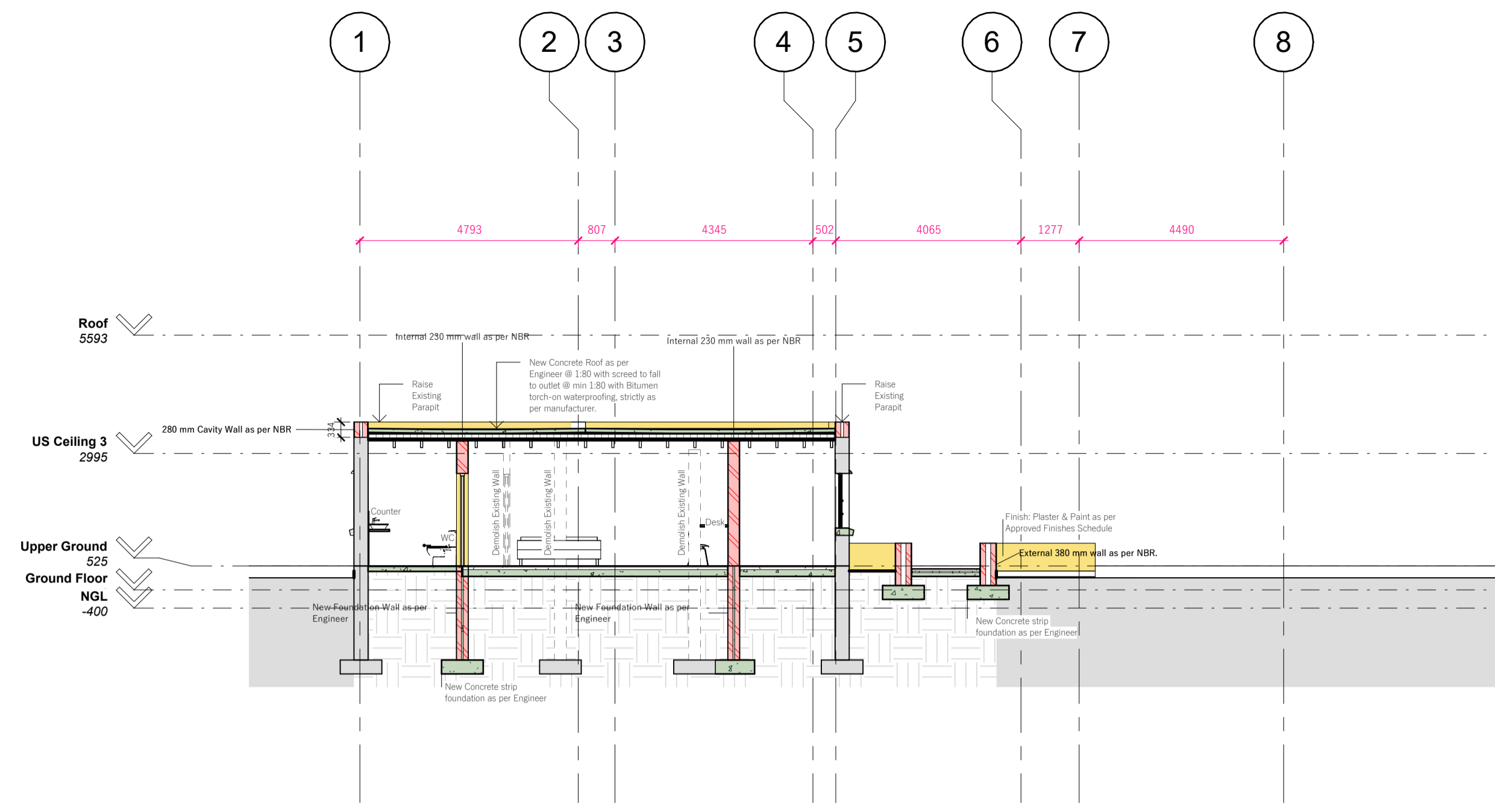
ARCHITECT: **Sean Mahoney**  
**SACAP Membership Number :** \_\_\_\_\_  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_  
 CLIENT SIGN: \_\_\_\_\_  
**Owner**  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_  
 STRUCTURAL ENGINEER SIGN: \_\_\_\_\_  
**Engineer Name**  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS: **studioMAS**  
 architecture + urban design  
 JOHANNESBURG  
 Tel: (011) 486 2979 Fax: (011) 648 5369  
 Courtyards on Oxford Road, 25 Oxford Rd, Forest Town, 2193  
 CAPE TOWN  
 Tel: (021) 461 9297 Fax: (021) 461 9558  
 5 Constitution street, Zonnebloem, Cape Town, 7925  
 www.studiomas.co.za

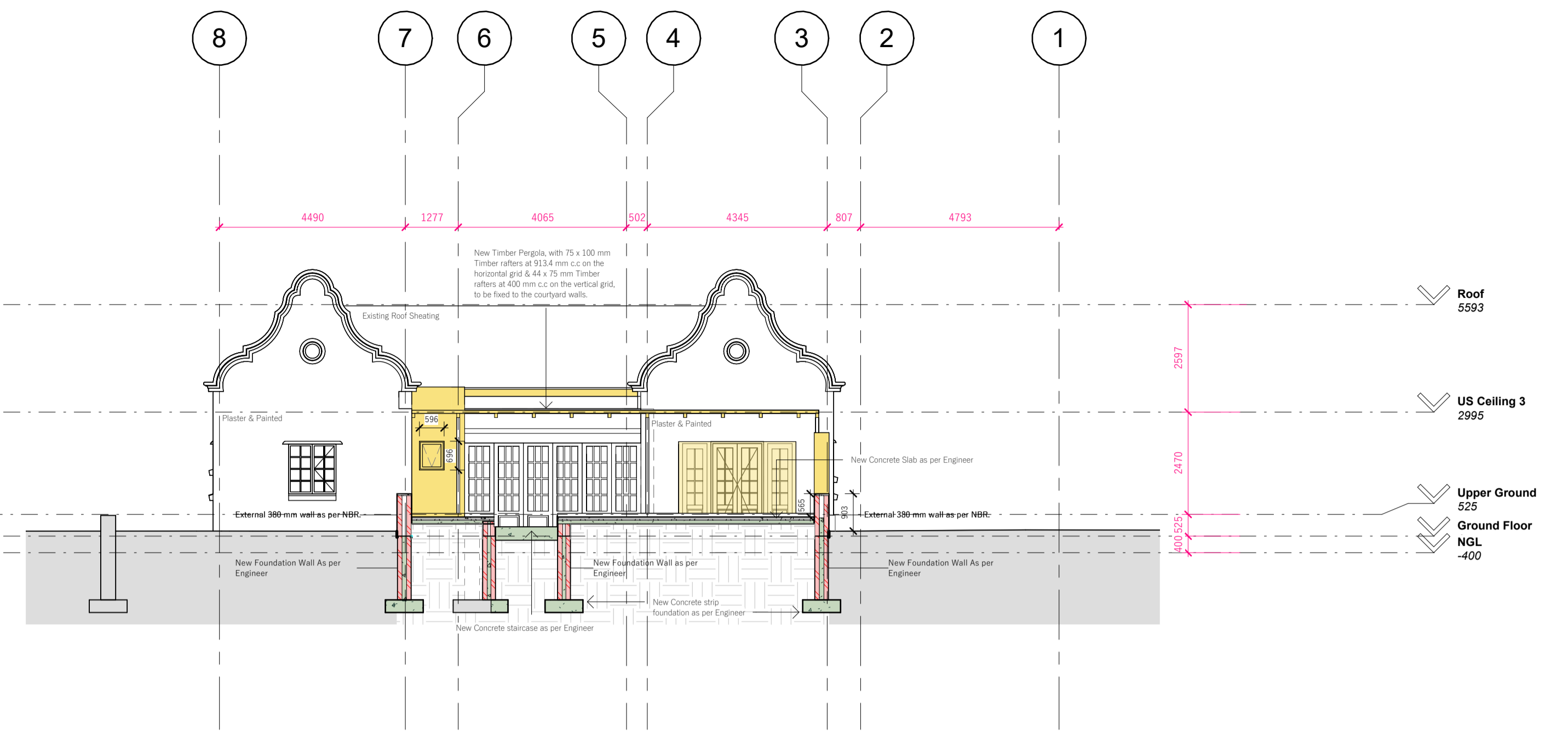
PROJECT: **Boschendal**  
**Boschendal Baker House : Building Alterations**

SHEET DESCRIPTION: **Roof Plan**

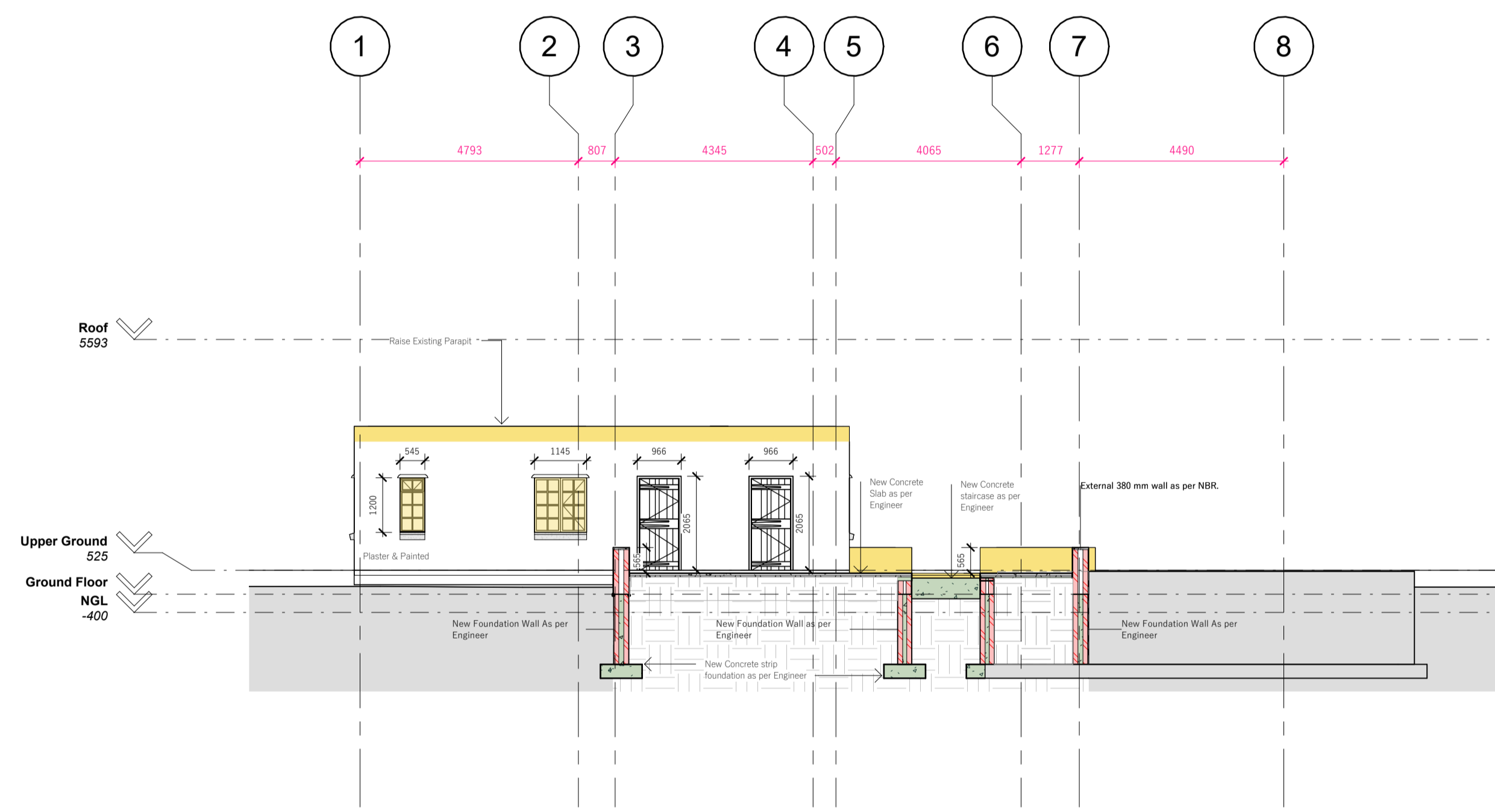
DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/05/03	1 : 100 @ A1
<b>Dwg No.</b>			
<b>BKH-</b>		<b>101</b>	



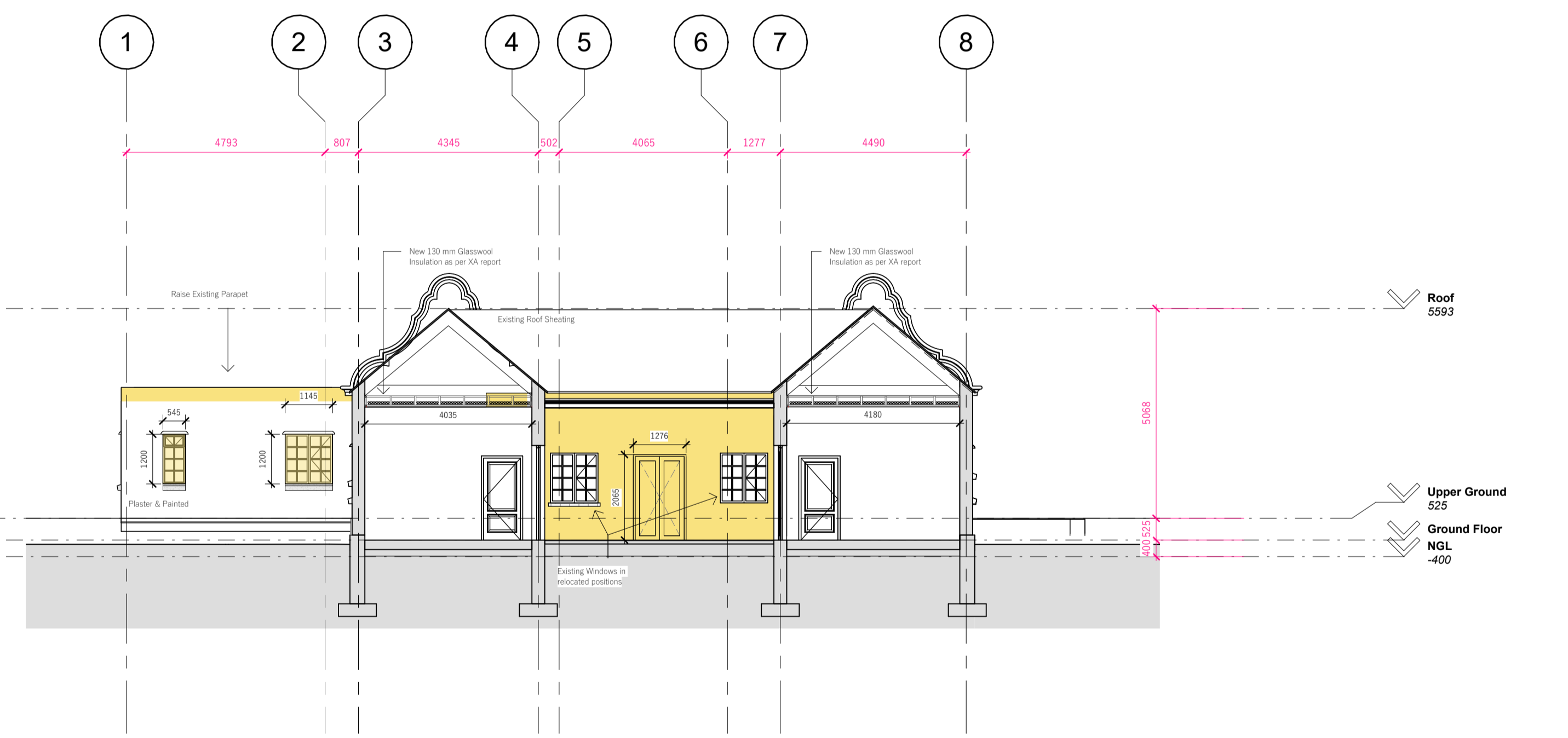
**1 Section A**  
1 : 100



**3 Section C**  
1 : 100



**2 Section B**  
1 : 100



**4 Section D**  
1 : 100

**GENERAL NOTES & SPECIFICATION:**  
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**STRUCTURAL DESIGN**  
Structural design to comply with SANS 10400 Part B  
Complete structural system to be as per structural engineer design and specification.

**FOUNDATIONS**  
All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
Brickwork to comply with SANS 10400 Part K  
**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickwork to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center, approx. every 3rd perpend. All External wall cavities to contain SABS approved insulation board as required by XA report.

**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
Drywall partitions per manufacturer spec.  
**LINTELS and BEAMS**  
Precast lintels built over openings exceeding 1.2m [max 3m] to have min 4 courses brickwork and brickwork over

**DPM/DPC**  
All DPM/DPC's to all walls to be high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
All floors to comply with SANS 10400 Part J  
Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand blinding on hardcore as per engineers spec.  
All suspended slabs to engineers spec.

**ROOF**  
All Flat Roofs and Waterproofing thereof to comply with SANS10400 Part L.  
All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
Risers, treads, landings and balustrades to comply with SANS10400 Part M where applicable.  
All stairs to have handrails and balustrades on both sides

**HANDRAILS AND BALUSTRADES:**  
To comply with SANS10400 Part D, Part M & Part S.  
All balustrades to be min 1m high above ft. Fixing details to structural engineer's specification

**DOORS**  
All external doors to be weatherproof as per SANS10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
Door/window frames to be sealed to later spec.

**GLAZING:**  
All glazing to comply with SANS 10400 Part N.  
Glazed areas exceeding 1sq m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
Naturally lit and ventilated to comply with SANS10400 Part O  
Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
Plumbing items and drainage to comply with SANS10400 Part P  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gullies to have minimum depth of 450mm. All slopes must be laid to fall @ a min. of 1:50 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL:**  
Stormwater disposal to comply with SANS10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**  
Fire safety to comply with SANS10400 Part T  
Rational Design as per Fire Engineer

**STORMWATER DISPOSAL:**  
Stormwater disposal to comply with SANS10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**SPACE HEATING**  
Space heating to comply with SANS10400 Part V.  
Rising shall be not less than 1 m above highest point of contact with chimney.

**PUBLIC SAFETY**  
Building to comply with SANS Part D  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

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**General**  
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Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: **Sean Mahoney**  
SACAP Membership Number : \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: \_\_\_\_\_

Owner  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: \_\_\_\_\_

Engineer Name  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS:

JOHANNESBURG  
Tel: (011) 486 2979 Fax: (011) 648 5369  
Courtyards on Oxford Road, 25 Oxford Rd, Forest Town, 2193

CAPE TOWN  
Tel: (021) 461 9297 Fax: (021) 461 9558  
5 Constitution street, Zonnebloem, Cape Town, 7925  
www.studiomas.co.za

PROJECT: **Boschendal**

**Boschendal Baker House : Building Alterations**

SHEET DESCRIPTION: **Sections**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/05/03	1 : 100 @ A1

**Dwg No.**

PROJECT	DISCIPLINE	SERIES	REVISION
<b>BKH-</b>		<b>200</b>	

GENERAL NOTES

**GENERAL NOTES & SPECIFICATION:**  
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**STRUCTURAL DESIGN**  
**Structural design to comply with SANS 10400 Part B**  
Complete structural system to be as per structural engineer design and specification.

**FOUNDATIONS**  
All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
**Brickwork to comply with SANS 10400 Part K**  
**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center's, approx. every 3rd perpend. All External wall cavities to contain SABS approved insulation board as required by XA report.

**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
**Lintels and Beams**  
Drywall partitions as per manufacturer spec.  
Precast lintels built over openings exceeding 1.2m [max 3m] to have min 4 courses brickwork and brickforce over  
**DPMDPC**  
All DPM/DPC's to all walls to be high quality SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
**All floors to comply with SANS 10400 Part J**  
Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand binding on hardcore as per engineers spec.  
All suspended slabs to engineers spec.

**ROOF**  
**All Flat Roofs and Waterproofing thereof to comply with SANS10400 Part L**  
All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
**Risers, treads, landings and balustrades to comply with SANS10400 Part M where applicable**  
All stairs to have handrails and balustrades on both sides @ min 1m above fl

**HANDRAILS AND BALUSTRADES:**  
**To comply with SANS10400 Part D, Part M & Part S.**  
All balustrades to be min 1m high above fl. Fixing details to structural engineer's specification

**DOORS**  
All external doors to be weatherproof as per SANS10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
Door/window frames to be sealed to later spec.

**GLAZING:**  
**All glazing to comply with SANS 10400 Part N.**  
Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
**Naturally lit and ventilated to comply with SANS10400 Part O**  
Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
**Plumbing items and drainage to comply with SANS10400 Part P**  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gullies to have minimum depth of 450mm. All soilpipes must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

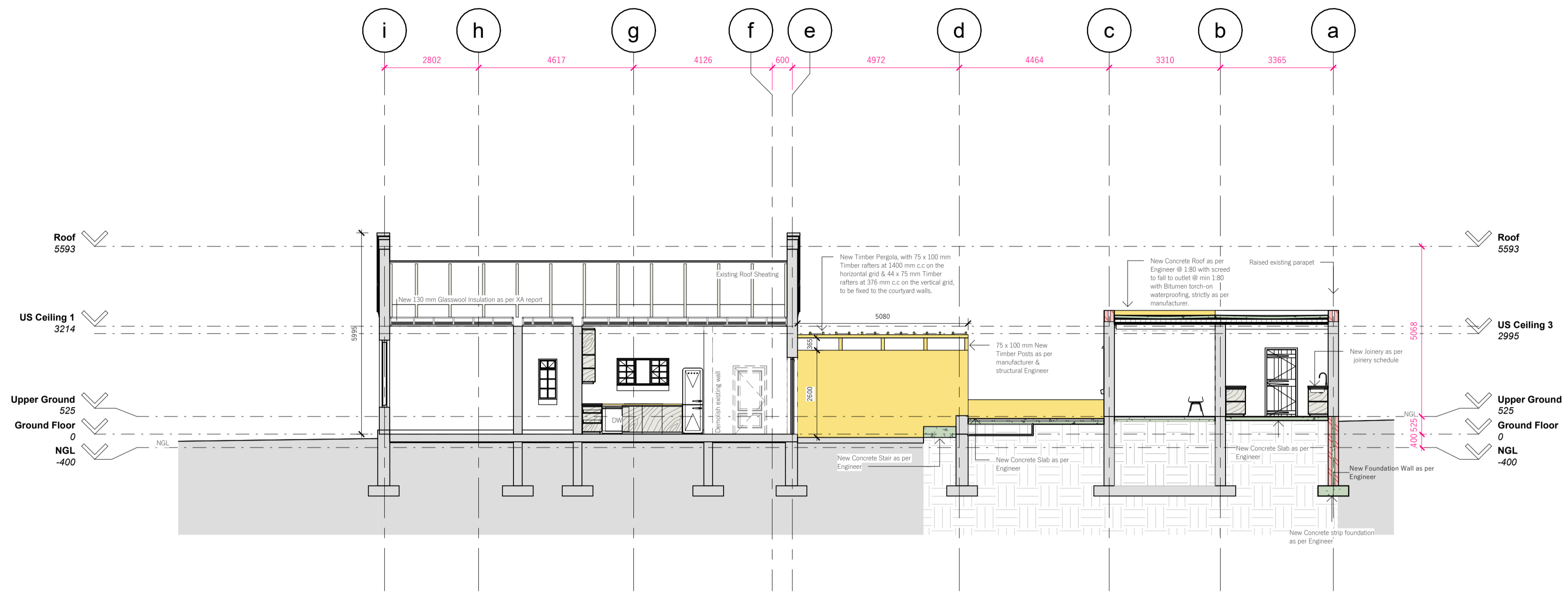
**STORMWATER DISPOSAL**  
**Stormwater disposal to comply with SANS10400 Part R.**  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**  
**Fire safety to comply with SANS10400 Part T**  
Rational Design as per Fire Engineer

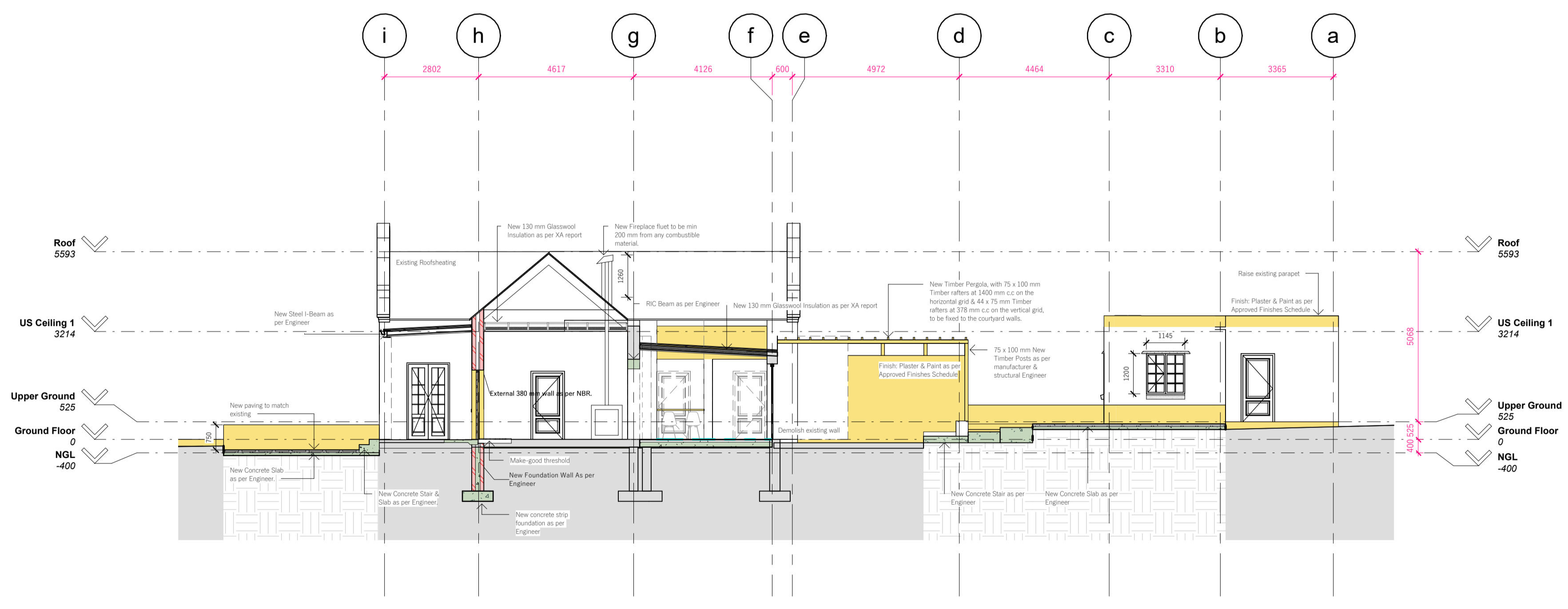
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Agricultural drains to eng spec.

**SPACE HEATING**  
**Space heating to comply with SANS10400 Part V.**  
Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**  
**Building to comply with SANS Part D**  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.



5 Section E  
1 : 100



6 Section F  
1 : 100

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Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: **Sean Mahoney**  
**SACAP Membership Number :** \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: **Owner**  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: **Engineer Name**  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS: **studioMAS**  
architecture & urban design

JOHANNESBURG  
Tel: (011) 486 2979 Fax: (011) 648 5399  
Courtyards on Oxford Road, 25 Oxford Rd, Forest Hills, 2193

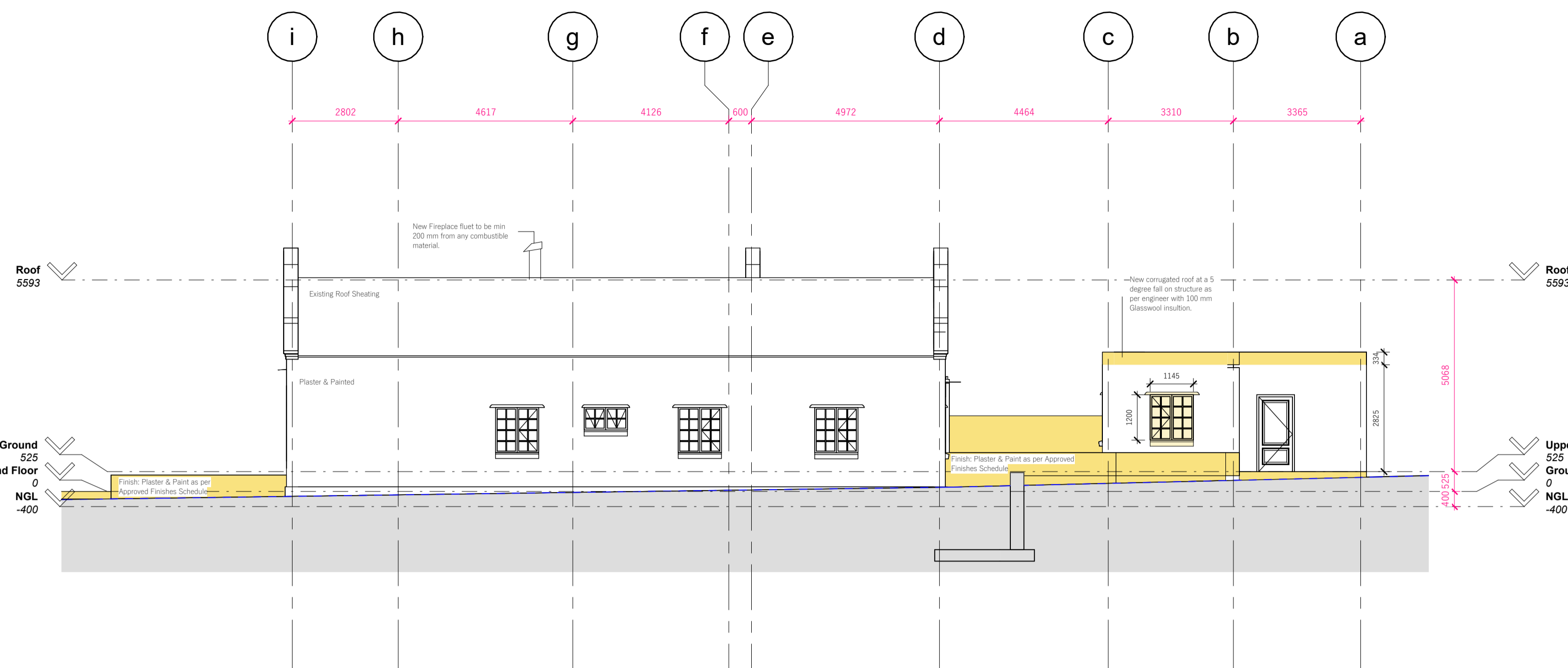
CAPE TOWN  
Tel: (021) 461 9297 Fax: (021) 461 9558  
5 Constitution street, Zonnebloem, Cape Town, 7925  
www.studiomas.co.za

PROJECT: **Boschendal**  
**Boschendal Baker House : Building Alterations**

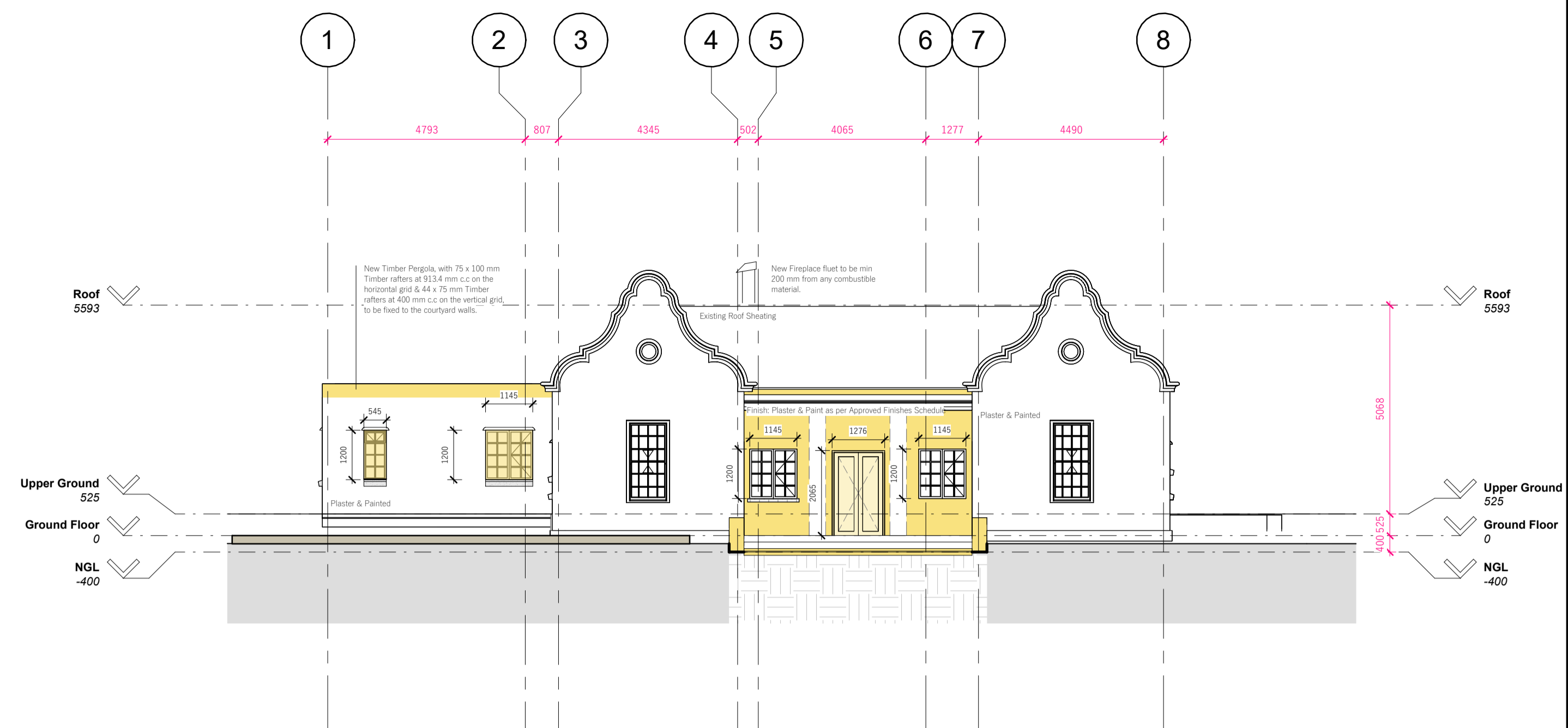
SHEET DESCRIPTION: **Sections**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/05/03	1 : 100 @ A1
Dwg No.			
PROJECT	DISCIPLINE	SERIES	REVISION
<b>BKH-</b>	<b>201</b>		

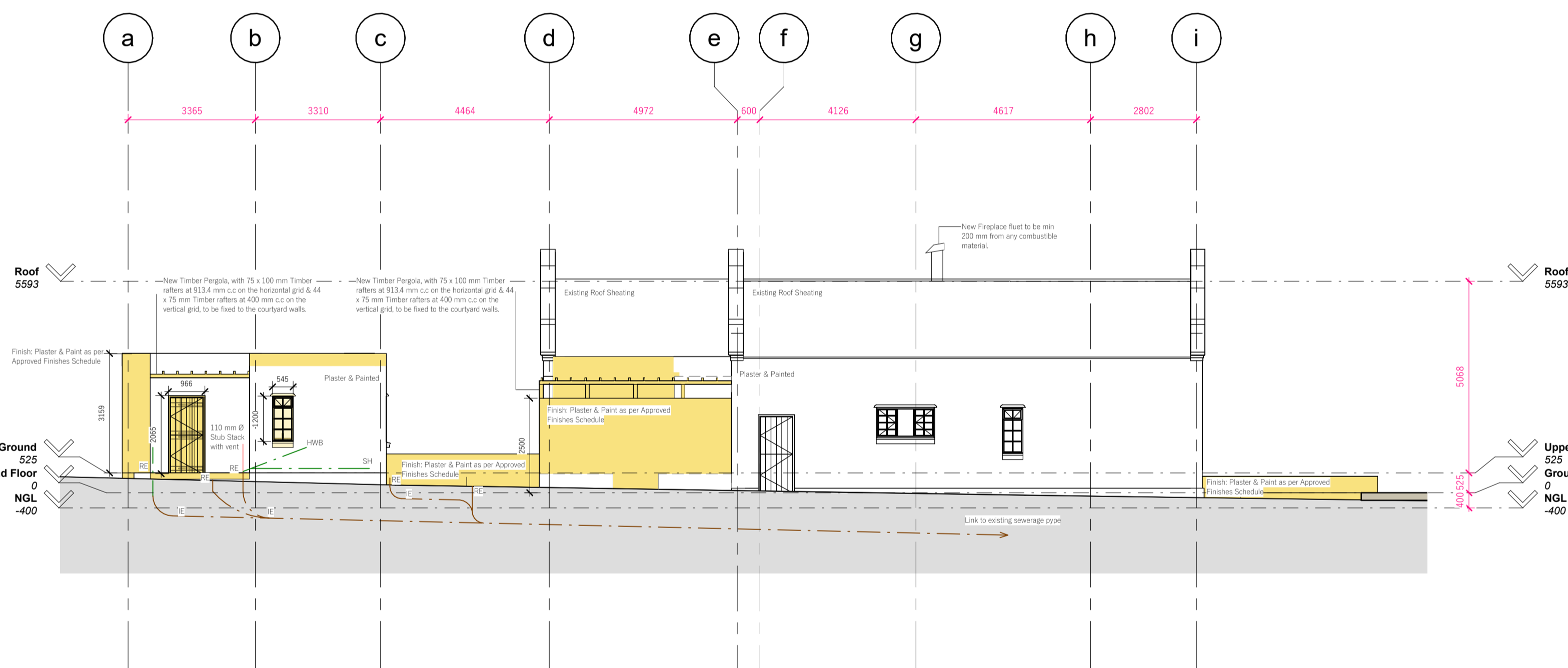




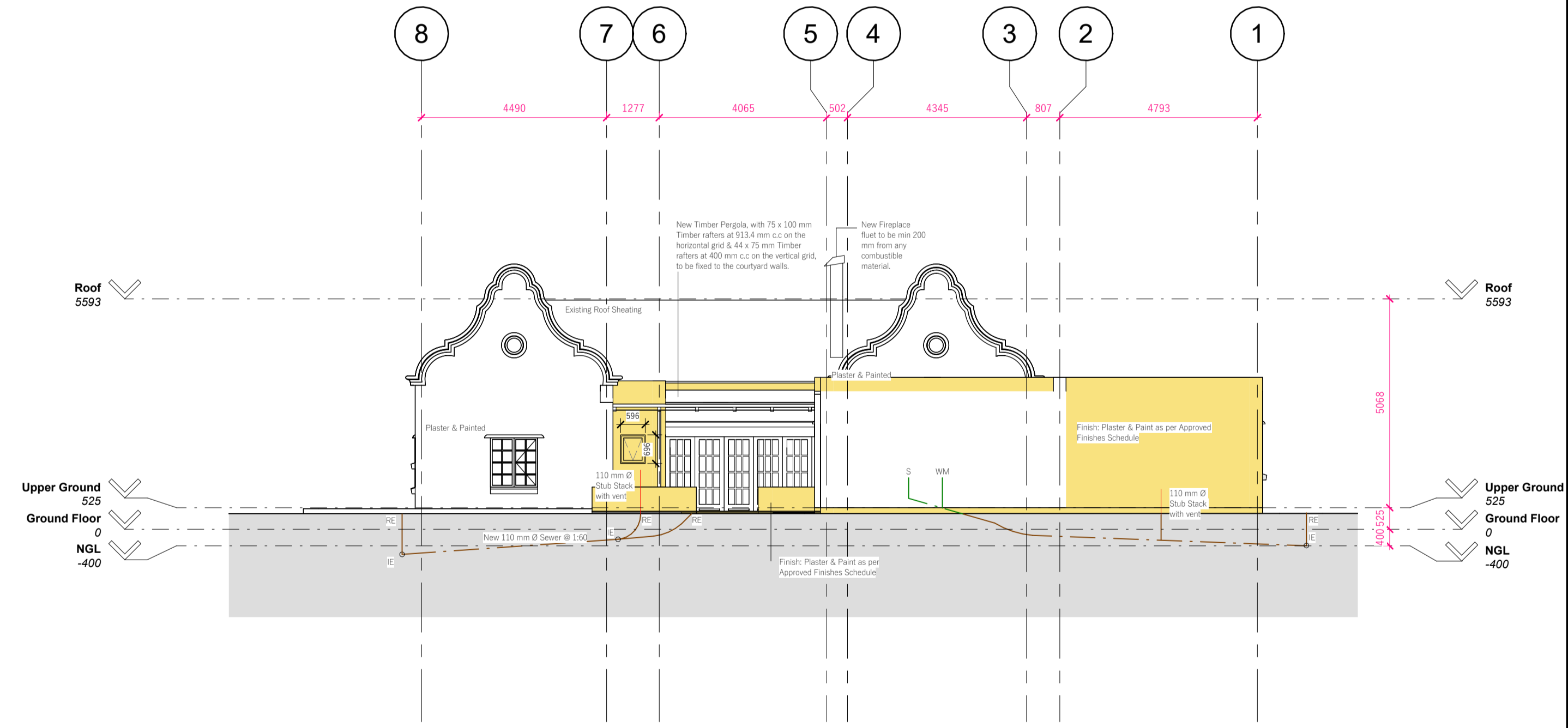
**1 North Elevation**  
1 : 100



**2 East Elevation**  
1 : 100



**3 South Elevation**  
1 : 100



**4 West Elevation**  
1 : 100

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**STRUCTURAL DESIGN**  
Structural design to comply with SANS 10400 Part B  
Complete structural system to be as per structural engineer design and specifications.

**FOUNDATIONS**  
All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
Brickwork to comply with SANS 10400 Part K  
**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickwork to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center's, approx. every 3rd perpend. All External wall cavities to contain SABS approved insulation board as required by XA report.

**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
**Lintels and Beams**  
Precast lintels built over openings exceeding 1.2m [max 3m] to have min 4 courses brickwork and brickwork over

**DPM/DPC**  
All DPM/DPC's to all walls to be high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
All floors to comply with SANS 10400 Part J  
Specified floor finish on DPM on 50mm sand blinding on hardcore as per engineers spec.  
All suspended slabs to engineers spec.

**ROOF**  
All Flat Roofs and Waterproofing thereof to comply with SANS10400 Part L.  
All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
Risers, treads, landings and balustrades to comply with SANS10400 Part M where applicable.  
All stairs to have handrails and balustrades on both sides

**HANDRAILS AND BALUSTRADES:**  
To comply with SANS10400 Part D, Part M & Part S.  
All balustrades to be min 1m high above ft. Fixing details to structural engineer's specification

**DOORS**  
All external doors to be weatherproof as per SANS10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
Door/window frames to be sealed to later spec.

**GLAZING:**  
All glazing to comply with SANS 10400 Part N.  
Glazed areas exceeding 1sq m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
Naturally lit and ventilated to comply with SANS10400 Part O  
Apertures in external walls to provide 10% of floor-area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
Plumbing items and drainage to comply with SANS10400 Part P  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gullies to have minimum depth of 450mm. All slopes must be laid to fall @ a min. of 1:50 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL:**  
Stormwater disposal to comply with SANS10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**  
Fire safety to comply with SANS10400 Part T  
Rational Design as per Fire Engineer

**STORMWATER DISPOSAL:**  
Stormwater disposal to comply with SANS10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**SPACE HEATING**  
Space heating to comply with SANS10400 Part V.  
Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**  
Building to comply with SANS Part D  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

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General  
All work to be done in accordance with the National Building Regulations.  
All materials and workmanship are to comply with the relevant S.A.B.S. codes and or the specified international codes where applicable in the Architecture. Where relevant South African National Standards, British Standards, BS codes of practice, or Agreement Certificates applicable to the design levels, the recommendations and requirements of such documents to be considered a minimum standard for the works.  
The contractor shall in all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No. 95 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941.  
The contractor shall set up, document and maintain a quality assurance and quality control system, in accordance with SANS 9001(SO 9001), able to be checked to the satisfaction of the Architect, that all materials and workmanship, whatever their sources, meet the requirements of this Specification. Should the Contractor or any of his sub-contractors be certified to the SANS 9000 family of standards then monitor these works accordingly.

Note:  
This drawing must be read in conjunction with all the relevant drawings, schedules and specifications from studioMAS and all other consultants related to the project.  
All portions of the works related to any service or consultants information is to be done in accordance with the National Building Regulations.  
All dimensions and levels must be checked on site by the contractor before putting work in hand.  
All work to be executed by competent persons qualified for the specific trade.

Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: **Sean Mahoney**  
**SACAP Membership Number :** \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: \_\_\_\_\_

Owner  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: \_\_\_\_\_

Engineer Name  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS:

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PROJECT:  
**Boschendal**

**Boschendal Baker House : Building Alterations**

SHEET DESCRIPTION:  
**Council Drawing - Elevations**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/05/03 3:49:38 PM	1 : 100 @ A1

**Dwg No.**

PROJECT	DISCIPLINE	SERIES	REVISION
<b>BKH-</b>		<b>300</b>	