

DEMOLITION OF THE STRUCTURES LOCATED AT 273 LONGMARKET STREET, CAPE TOWN
ERF 386-RE, CAPE TOWN

HERITAGE REPORT

Report Further to the Application for Demolition
In Terms of Section 34 of the National Heritage Resources Act of 1999



Prepared for K2015172963 South Africa (Pty) Ltd.
Prepared by Mike Scurr of Rennie Scurr Adendorff Architects cc

August 2016 (Updated 20 09 2016)

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Cover image: Taken from *The Buildings of Cape Town Phase Two 1983* (Teresa Louw/ Cape Provincial Institute of Architects, p. 109)

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EXECUTIVE SUMMARY:

This report finds that the original modest c.1930 villa at 273 Longmarket Street has been substantially altered and compromised. The surrounding context comprises more modern buildings not in keeping with the 1930s architecture. Given the changed context and much altered structure, a Grade IIIC cannot be supported for this building, and the house is deemed to have insufficient heritage significance to warrant formal protection.

Notwithstanding this, the scale, form, street interface etc are positive design elements and should be reinforced in the new design where possible. The remnant stairs to the old stoep should be incorporated in the new design.

This report recommends that Heritage Western Cape approve the demolition of the dwelling at 273 Longmarket Street.

1. Introduction

Rennie Scurr Adendorff Architects cc have been appointed by Gail Behr on behalf of Cedar Falls 212 (Pty) Ltd to prepare a demolition application for the building located on Erf 385-RE, located at 273 Longmarket Street, Cape Town. Rennie Scurr Adendorff were also the architects for the proposed new Boarding house to be built on this and an adjacent site.

2. Purpose of Report

The primary purpose of this report is to provide the required identification in terms of any heritage significance in order to assist Heritage Western Cape to assess the application for a permit in terms of Section 34 of the NHRA for the demolition of the existing building structures located at the above-mentioned erf.

3. Limitations

Early drawings have been located and the house has been inspected on numerous occasions. There have been no limitations in preparing this report.

4. Statement of Independence

Mike Scurr of Rennie Scurr Adendorff Architects cc, acting in the capacity as Architect and Heritage Practitioner, has no ties to the owner of the property or to any of the professionals in the project.

5. Methodology

The methodology employed in preparation of the demolition report includes site visits and inspections, meetings with the client, review of historical drawings available at City of Cape Town and in-office analysis and interpretation of the information (referenced) gathered. Some historic analysis was done in order to understand context and the significance of the site in question.

6. Site Location

Erf 386-RE is situated at 273 Longmarket Street, north-west of the city centre of Cape Town and on the eastern slopes of Signal Hill in the Western Cape.

Currently the property is zoned Single Residential 1 (SR1). The property is owned by K2015172963 South Africa (Pty) Ltd.

The property is located within the proposed Bo-Kaap Heritage Protection Overlay Zone of the Table Bay District of Cape Town but is not graded on the ISIS/ HRS 2015 audit (see attached City comment).



Figure 1: Locality aerial photograph illustrating the location of the erf 386-RE, located on the edge of Bo-Kaap and Signal Hill, within the City of Cape Town. The property is located on Long Street (dotted yellow line) which is one of the few streets that connects the north of the city with the south of the city. The location of the erf has been indicated with an asterisk. (Source: [Online]. Available: <http://maps.capetown.gov.za/isisiv/> [22 July 2016].)



Figure 2: Aerial photograph illustrating the location of the erf 386-RE, located on the edge of Bo-Kaap, within the City of Cape Town. Note that the city grid changes in this area, as the city extends up the slope of Signal Hill, responding to the contours of the hillside. The location of the erf has been indicated with an asterisk. (Source: [Online]. Available: <http://maps.capetown.gov.za/isisiv/> [22 July 2016].)



Figure 3: Aerial photograph illustrating the surrounding context, highlighting the historic Lion Battery (in yellow) and Longmarket Street (dotted yellow line). Erf 386-RE has been indicated with an asterisk. (Source: [Online]. Available: <http://maps.capetown.gov.za/isisiv/> [22 July 2016].)



Figure 4: Image illustrating the location and extents of erf 386-RE on Longmarket Street. Note some building structures located on the north erf boundary of erf 386-RE encroach on erf 375. (Source: [Online]. Available: <http://maps.capetown.gov.za/isisiv/> [22 July 2016].)

7. Legal, Policy and Planning Context

Erf 386-RE is located within a heritage protection area and the building fabric is older than 60 years. The following laws are applicable in terms of heritage resources:

- National Heritage Resources Act (1999) – alterations to structure or parts of a structure which is older than 60 years (Section 34(1))
- City of Cape Town Zoning Scheme Regulations (2012)

Erf 386-RE is located within a proposed Heritage Protection overlay zone.

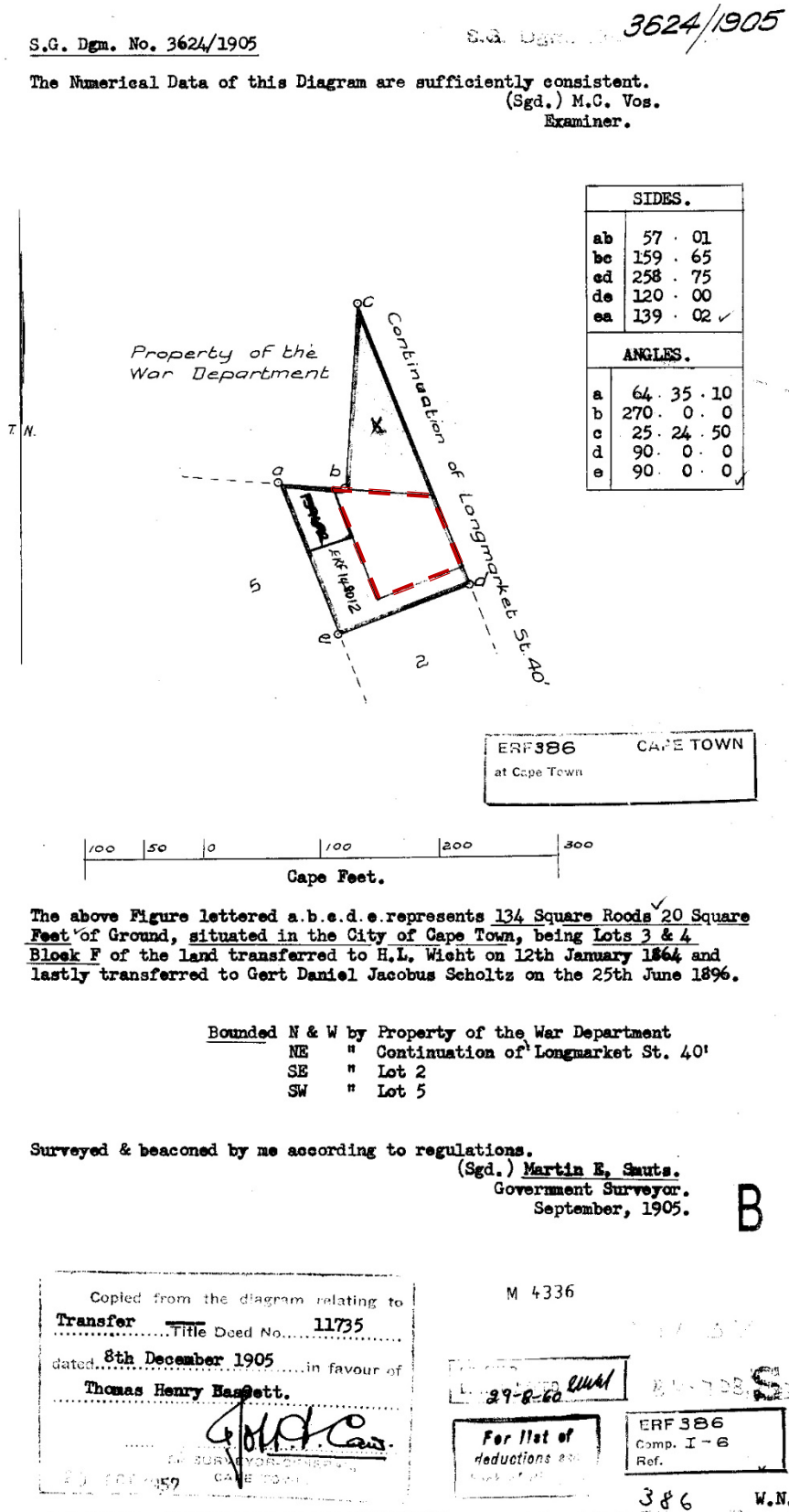


Figure 5: Surveyor-General's diagram of erf 386-RE, (extents indicated in red dotted line) illustrating the extents of the erf. (Source: Surveyor-General's Office, Cape Town)

8. Historical Overview

8.1. Development of Cape Town and Bo-Kaap

Bo-Kaap started to develop as Waalendorp approximately 100 years after the arrival of Jan van Riebeeck in the Cape in 1652. The Dutch East India Company required that Van Riebeeck establish a halfway house on the route to India to supply passing Company ships with fresh water, vegetables and meat. The company gardens were established to produce the vegetables, fresh meat was to be obtained from the Hottentots through bartering and a small fort (Fort de Goede Hoop) was established to defend the settlers from local inhabitants or attack for the sea. The fort was located at the mouth of the main fresh water source and the Company's Gardens directly above it (see figures 6-8). The location of the fort and the Gardens were the setting-out point, which determined the layout of the future city. The first streets in Cape Town were set out in a simple grid from the Gardens in the direction of the sea, with future growth towards the north towards Lion's Rump (now Signal Hill).¹ (See figure 8.)

A market garden, Schotse Kloof (see figure 8), on Lion's Rump was the first development in the area which was to be known as Bo-Kaap. In 1760 Jan de Waal (sexton of the Oude Kerk) bought the land between Dorp and Wale Streets from the original grantee of Schotse Kloof, Alexander Coel. The following year the Burgher Council granted De Waal another block. During 1763-1768 he built small "huurhuisjes" (houses for rent) here, this area became known as Waalendorp, located near the top of Waalenstraat (now Wale Street).²

In 1795 the English seized the Cape colony and Cape Town. Due to prosperity Cape Town's population grew from approx. 13,000 to 55,000 between 1756 and 1806. Cape Town had to expand; the expansion followed the existing grid pattern, the city expanded to the North West up the slopes of Lion's Rump. This part of town became known as Bo-Kaap, later it was referred to as Schotse Kloof, *Slamsebuurt* and the Malay Quarter. Townsend notes that the location of the Castle in the flatter part of Cape Town, most likely forced development up the slopes of Lion's Rump first before developing more of the level areas of Cape Town near the Castle. The military required that a "rooilijn" (red line) had to be established and enforced, demarcating an area of unused land around the Castle which ensured free range for the guns. Therefore the military red line restricted the initial development of Cape Town around the Castle.³

In about 1790 more streets and lanes were set out in Bo-Kaap. Streets from Wale to Castle were extended further up the slope; Rose and Chiappini Streets were established. Smaller lanes (Helliger and Berg) were created and two market gardens were in existence (Schotse Kloof and Stadzicht). The two market gardens were developed as housing in 1885 after which the Bo-Kaap's extents and urban fabric had been established. The only addition since has been the 1930's Council flats and a few mosques.⁴

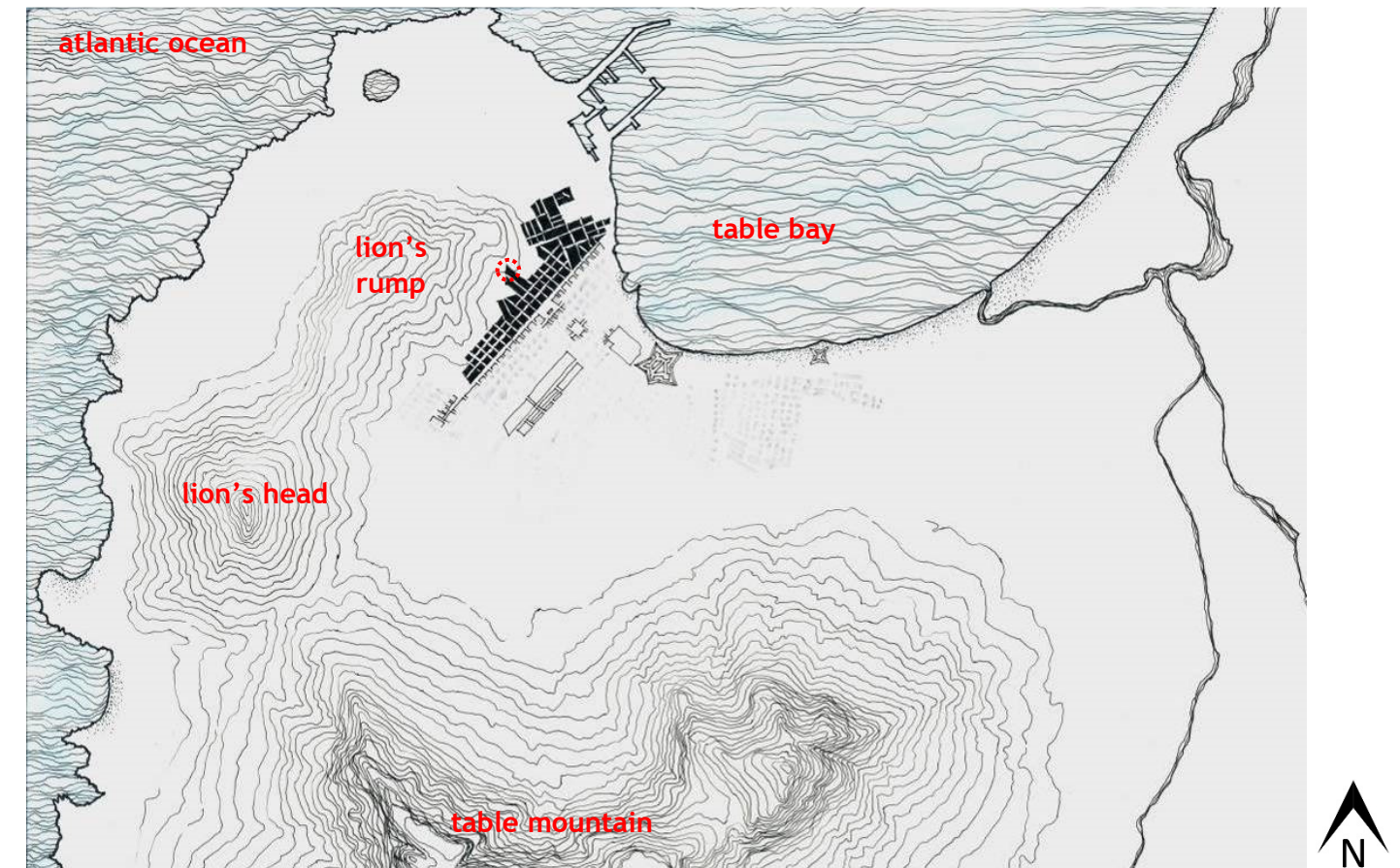


Figure 6: Map indicating the location of the Bo-Kaap (blocks drawn in solid black, the red dotted circle indicates the location of erf 386-RE on the edge of the Bo-Kaap) on the south east slopes of Lion's Rump (now Signal Hill) in Cape Town. The natural features surrounding the Cape provide a good, defensible location. (Map not to scale.) (Source: Janine de Waal compiled the drawing by combining the 1901 (city extents and bay location) and 1932 (contours) maps of Cape Town, which were obtained from the City of Cape Town.)

¹ Lesley and Stephen Townsend, *Bokaap... Faces and Facades*. (Cape Town: Howard B Timmins, 1977), pp.1-2.

² Lesley and Stephen Townsend, *Bokaap... Faces and Facades*. (Cape Town: Howard B Timmins, 1977), p.3.

³ Lesley and Stephen Townsend, *Bokaap... Faces and Facades*. (Cape Town: Howard B Timmins, 1977), p.5.

⁴ Lesley and Stephen Townsend, *Bokaap... Faces and Facades*. (Cape Town: Howard B Timmins, 1977), pp.5, 7.



Figure 7: Physiographic and Urban setting diagram showing site (red asterisk) in relation to the natural and urban elements, the Castle, Company's Garden and the "Dutch" city grid. (Source: Saint-Pol, p.16)

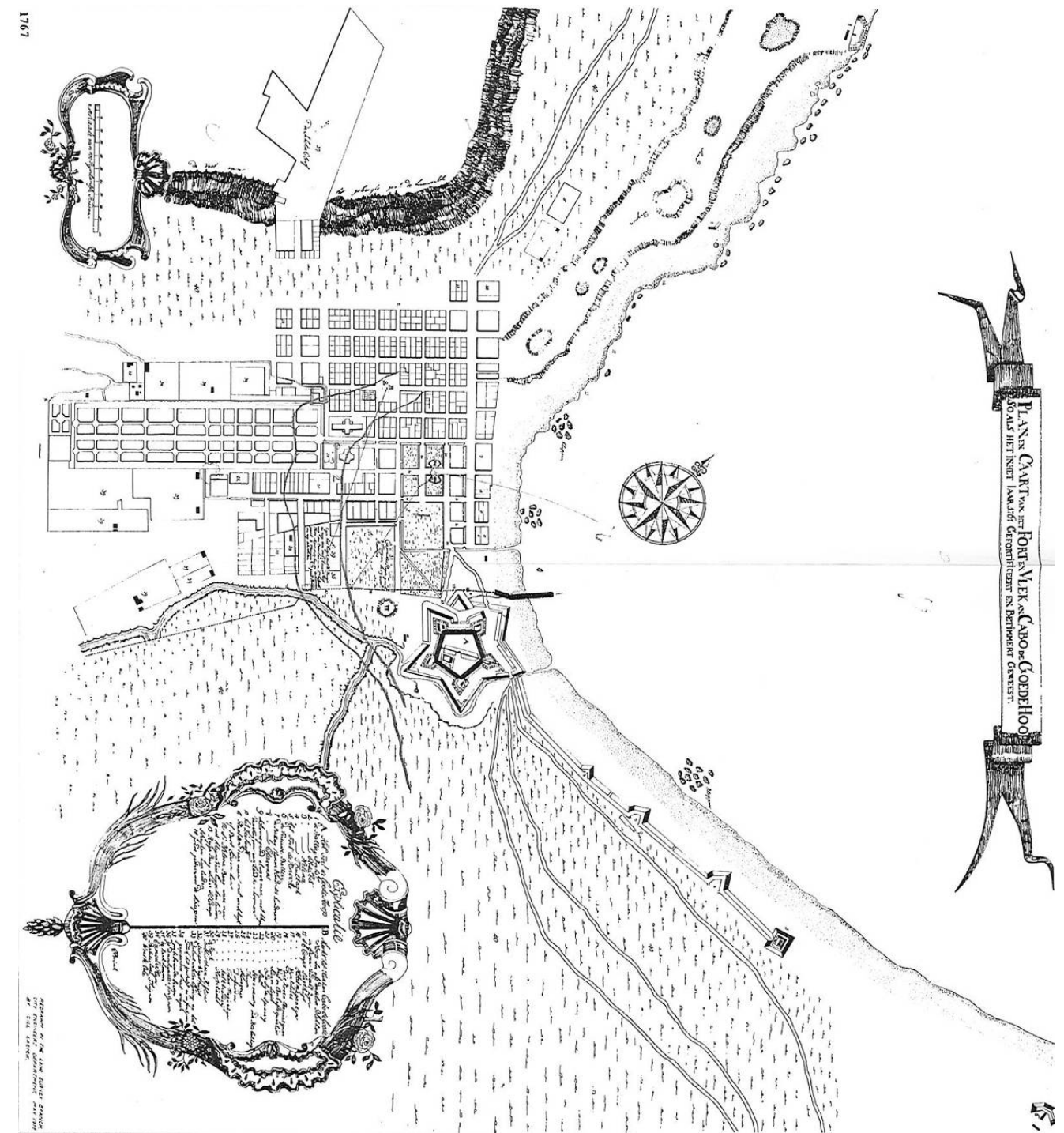


Figure 8: A map of Cape Town in 1767. Note the establishment of a market garden, Schotse Kloof, on Lion's Rump. (Source: Cape Archives ref. Map 3/18 as cited by L. and S. Townsend (1977), p.4.)



Figure 9: Cape of Good Hope street blocks, market gardens & Castle circa 1760. The approximate location of erf 386-RE has been indicated with a red dotted circle at the top of the map. (Source: M1/338, CAP. Nationaal Archief, Den Haag)

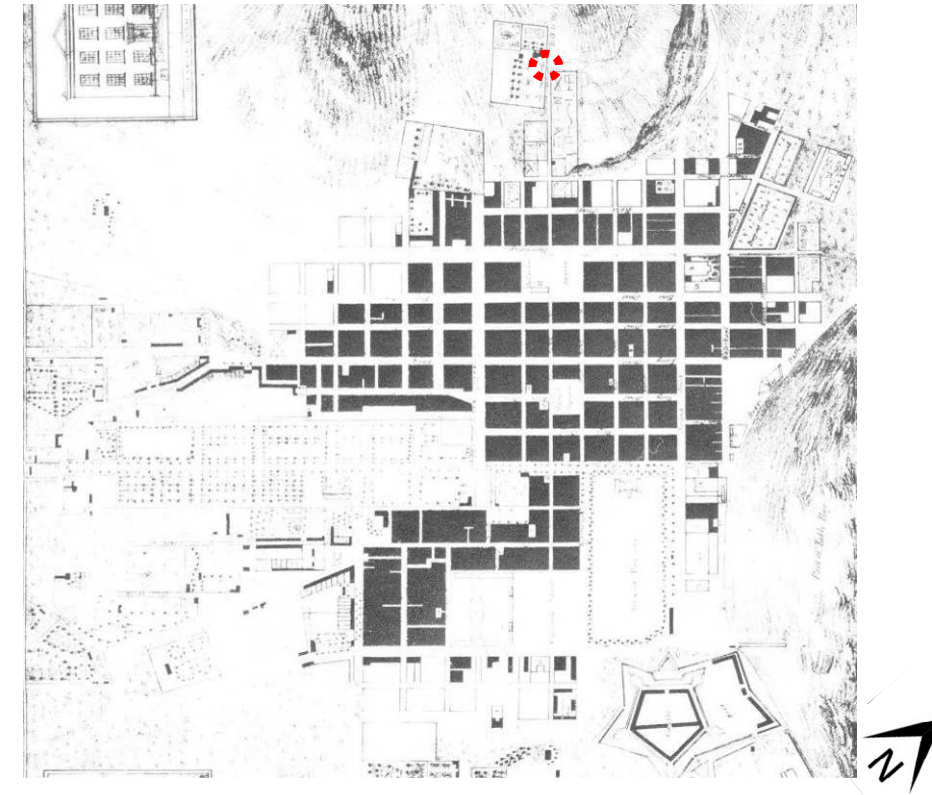


Figure 10: An extract a map of Cape Town in 1830 from Thompson's Travels. Note the two market gardens, and the development of Cape Town towards the North West, and not around the Castle. The approximate position of erf 386-RE has been indicated with a red dotted circle. (Map not to scale.) (Source: Cape Archives ref. Map 453 as cited by L. and S. Townsend (1977), p.6.)

8.2. Built Environment

Erf 386-RE is located in the Bo-Kaap on the edge of the city-centre and on the slopes of Signal Hill. The current structures on the property date back to 1930.

The following historical maps, dating back to as early as 1818, and aerial photographs indicates the development of the Bo-Kaap, from market garden to urban development. See Figures 11 -18 illustrating the development. All the maps are at the same scale.

8.3. Development of the Site and Mapping Analysis



Figure 11: 1818 Ellerman map of Cape Town, illustrating the approximate position of the current erf 386-RE within the city context.



Figure 13: 1878 Wilson map of Cape Town, illustrating the approximate position of the current erf 386-RE within the city context.



Figure 12: 1862 Snow map of Cape Town, illustrating the approximate position of the current erf 386-RE within the city context.



Figure 14: 1900 Thom map of Cape Town, illustrating the approximate position of the current erf 386-RE within the city context.

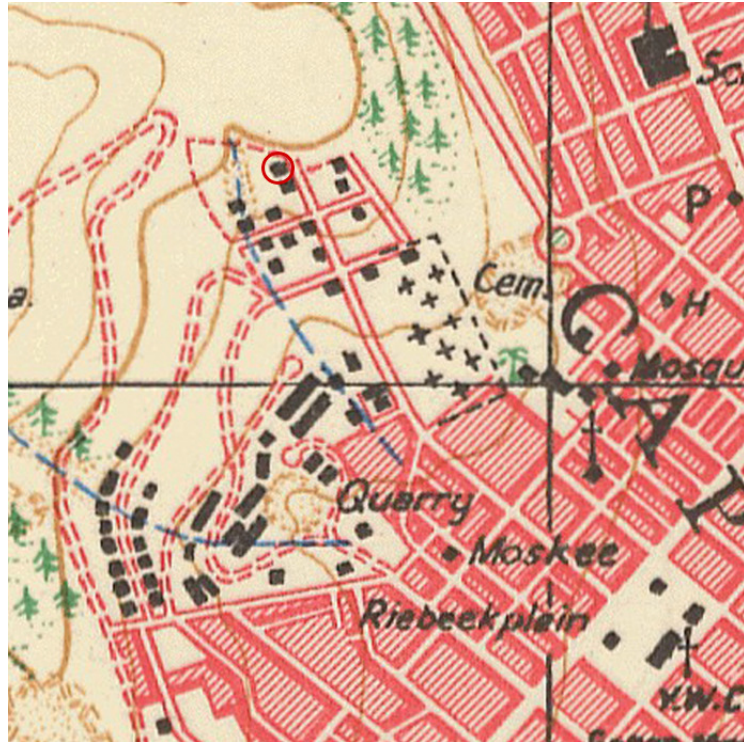


Figure 15: 1932 map of the Cape Peninsula, illustrating the approximate position of the current erf 386-RE within the city context.



Figure 17: 1960 Aerial photograph (no. 454_1960_18_7625) illustrating the approximate position of the current erf 386-RE within the city context. (Source: Geo-Spatial Information (NGI))



Figure 16: 1937 map of Cape Environs, illustrating the approximate position of the current erf 386-RE within the city context.



Figure 18: 1973 Aerial photograph (no. 498_30_1973_01_2843) illustrating the approximate position of the current erf 386-RE within the city context. (Source: Geo-Spatial Information (NGI))

8.4. Building Development

The extent of the current erf, was subdivided off the consolidation of Lots 3 and 4 of Block F, as per Figure 5. The subdivision creating erf 386-RE was done in 1905.

The building is described as follows in the 1983 Survey of the Buildings of Central Cape Town (Volume 3, p.109):

“Longmarket Street

Dwelling (inspected September 1983)
1930, T Percy & J Day for M J de Freitas
Single storey dwelling.”⁵

The Noon Gun Tea Room and Restaurant was operated from these premises from 1995-2013.⁶

Summary of Archival Drawings Located (attached Annexure 2):

- 1930 Original drawings
for MJ de Freitas
by T. Percy/J Day Architect
Bayfour House, St Georges Street,
Cape Town

- 1952 New WC's
for A Harris

- 1952 New lavatory block
for A Harris

- 1997 New deck & stoep extension
for A. Misbach
'Mederia Villa'
Drawn by Modedesign

- 1998 Proposed new Maid's room
for A Misbach
'Mederia Villa'
Longmarket Street
by Ramirez Property Development

- 2005 Proposed Alterations & Additions
To existing house and granny flat
For Mr & Mrs Misbach
Arch. Technician M Joseph

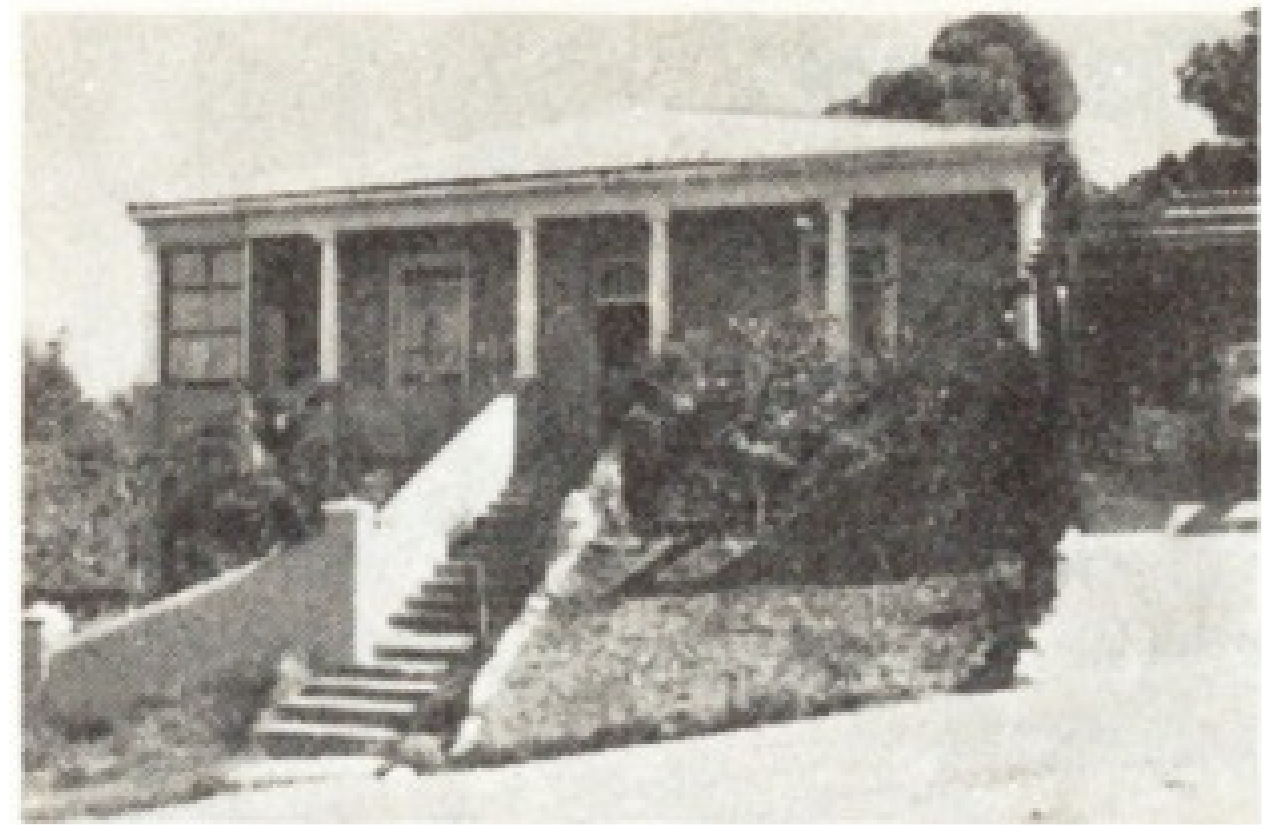


Figure 19: Early image (undated) - Catalogue of Cape Town Buildings 1983:109

⁵ Cape Provincial Institute of Architects, The Buildings of Cape Town Vol 3, p. 109.

⁶ https://web.facebook.com/Noon-Gun-Tea-Room-Restaurant-163603897038382/?_rdr (Accessed on 25 July 2016)

9. Existing Building – Overlay on original plan

- The red lines indicate the extant walls (2016) that still relate to the early plan form, though the house has since been compartmentalised with old doorways being closed up and the stoeps both sides enclosed and built onto.
- The grey underlay is the original 1930 plan (see also Fig.20)
- The existing buried stoep columns do not correlate with the early plan – it is likely that these were not built according to the plan, rather than having been changed after construction. Recent plans repeated this error, likely as tracings of the archive plan. The early photo (fig. 19) correlates with the surviving layout.
- The stoep stair is shown parallel to the building rather than at right angles as actually built and in the facade image. The stairs cascade right down to the street beyond the boundary line.
- The more recent and ad-hoc extensions run over the boundary line as indicated.

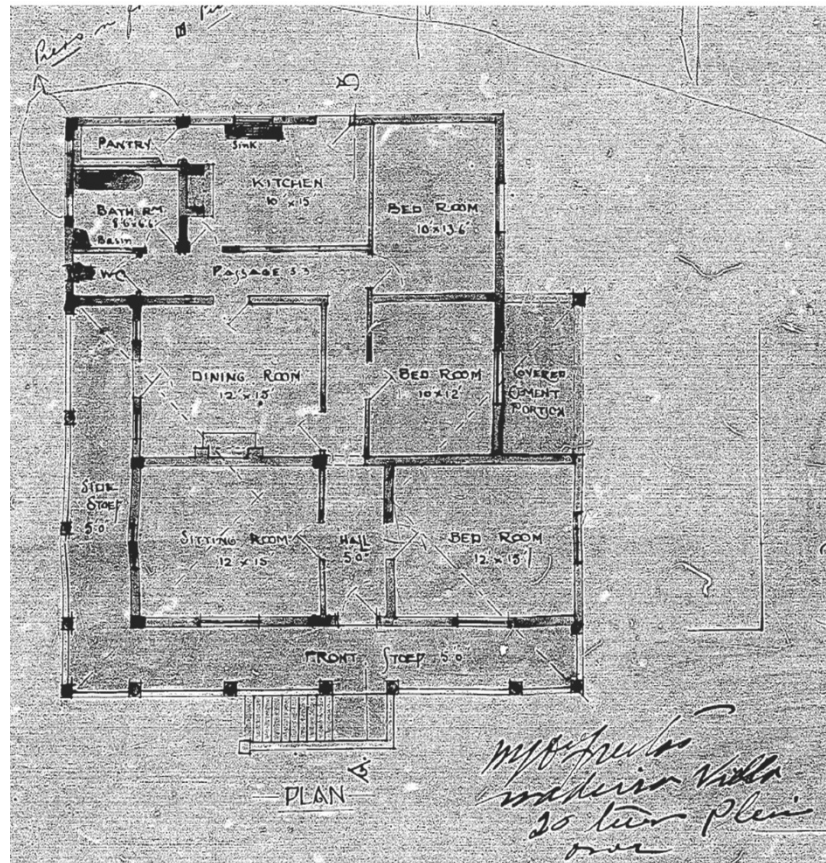


Figure 20: 1930 Plan Layout

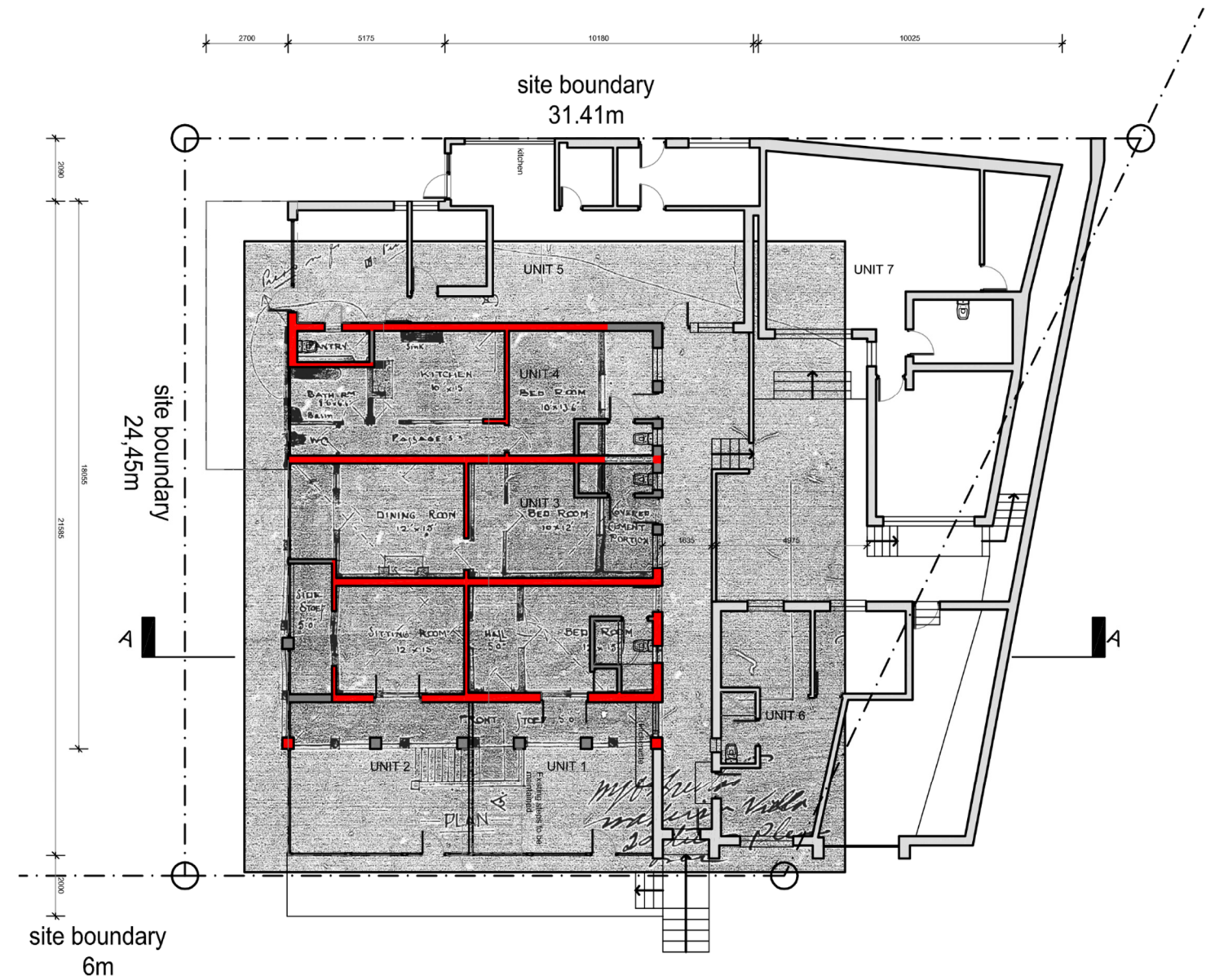


Figure 21: 2016/1930 overlay

10. Identification and Assessment of Heritage Resources

The heritage significance of the buildings is considered in terms of Section 3(3) of the National Heritage Resources Act.

10.1. Table identifying significance

Category of Significance	Degree of Significance	Notes
Rarity	Low	Typical 1930s villa but substantially altered.
Representivity	Medium	Original house was a typical example of a 1930s residential typology.
Excellence	Low	The building does not exhibit any architectural excellence and is poorly altered in an ad-hoc manner.
Integrity/Authenticity	Low	Substantially altered internally and on the exterior
Aesthetic	Medium	Scale is representative or earlier Bo Kaap/ Schotschekloof pattern.
Symbolic	-	
Associational	Low	Community tea room in later years
Age	Medium	The building dates from the early 1930s but is substantially altered.
Architectural	Low	The building is not the work of any noted architects, and is substantially and irreversibly altered.
Socio-Historical	Medium	The erf and subsequent ownership of the erven is associated with the development of the area.
Environmental/ Contextual	Medium	The domestic scale contributes to the area. The street interface is (or rather was) positive.
Scientific/Technological	-	
Cultural	Medium	
Intrinsic	-	Substantially altered.
Archaeological	Unknown	No earlier buildings existed on the site.
Slavery	Unknown	

10.2. Statement of Significance

The building located on erf 386-RE, a modest c.1930 villa has been substantially altered and compromised.

The surrounding context is of more modern buildings not in keeping with the 1930s architecture. Given the changed context and much altered structure, a Grade IIIC cannot be supported for this building, and the house is deemed to be have insufficient heritage significance to warrant formal protection.

Notwithstanding this, the scale, form, street interface etc are positive design elements and should be reinforced in the new design where possible. The remnant stairs to the old stoep should be incorporated in the new design.

10.3. Recommended Grading

It is proposed that the property is deemed to be ungradable/ of Insufficient Heritage Significance.

11. Recommendations and Conclusion:

It is recommended that Heritage Western Cape approve the demolition of the dwelling at 273 Longmarket Street.

12. References

Primary Sources

Deeds Office (DO) (*erf registers*)

National Geo-Spatial Information (NGI) (*aerial photographs*)

National Library of South Africa (NLSA) (*street directories*)

Surveyor General (SG) (*Surveyor-General's diagrams of the erven*)

Published sources

Cape Provincial Institute of Architects, Teresa Louw, 1983. *The Buildings of Central Cape Town 1983: Volume three: Catalogue*, CPIA, Cape Town.

Fransen, H. *A Cape Camera*. Cape Town: AD Donker (Pty) Ltd, 1993.

Fransen, H. *A guide to the Old Buildings of the Cape*. Cape Town: Jonathan Ball Publishers, 2004.

Townsend, Lesley and Stephen Townsend. *Bokaap... Faces and Facades*. Cape Town: Howard B Timmins, 1977.

Worden, Nigel, Elizabeth Van Heyningen and Vivian Bickford-Smith. *Cape Town, the making of a City. An illustrated social history*. Claremont: David Philip Publishers, 1998.

Unpublished sources

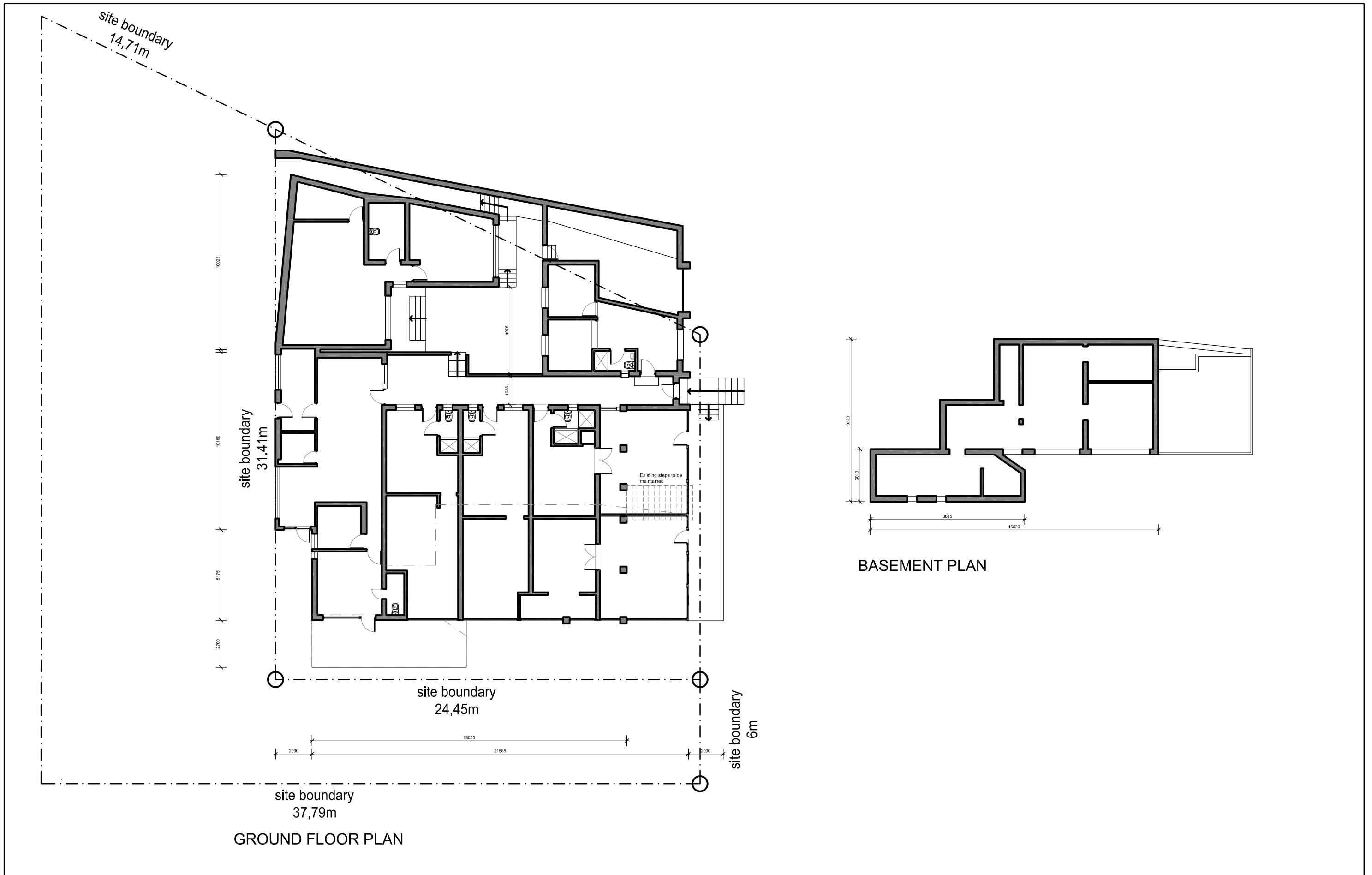
Saint Pôl, M, *A living tradition - Defining the role of Landscape Architecture in Cultural Heritage Interpretation* (MLA thesis). University of Cape Town, Cape Town, 2007.

13. Annexures

Annexure 1: 2016 Rennie Scurr Adendorff Architects Measured drawings

Annexure 2: Archival plans

Annexure 3: Photo survey



RENNIE SCURR ADENDORFF ARCHITECTS

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GROUND AND BASEMENT FLOOR PLAN

DRAWING

PROJECT : **DORP**

CLIENT :

01586

PROJECT NO.

C-0000

DRAWING

REV

MR

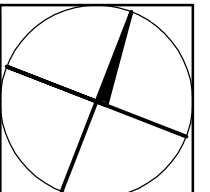
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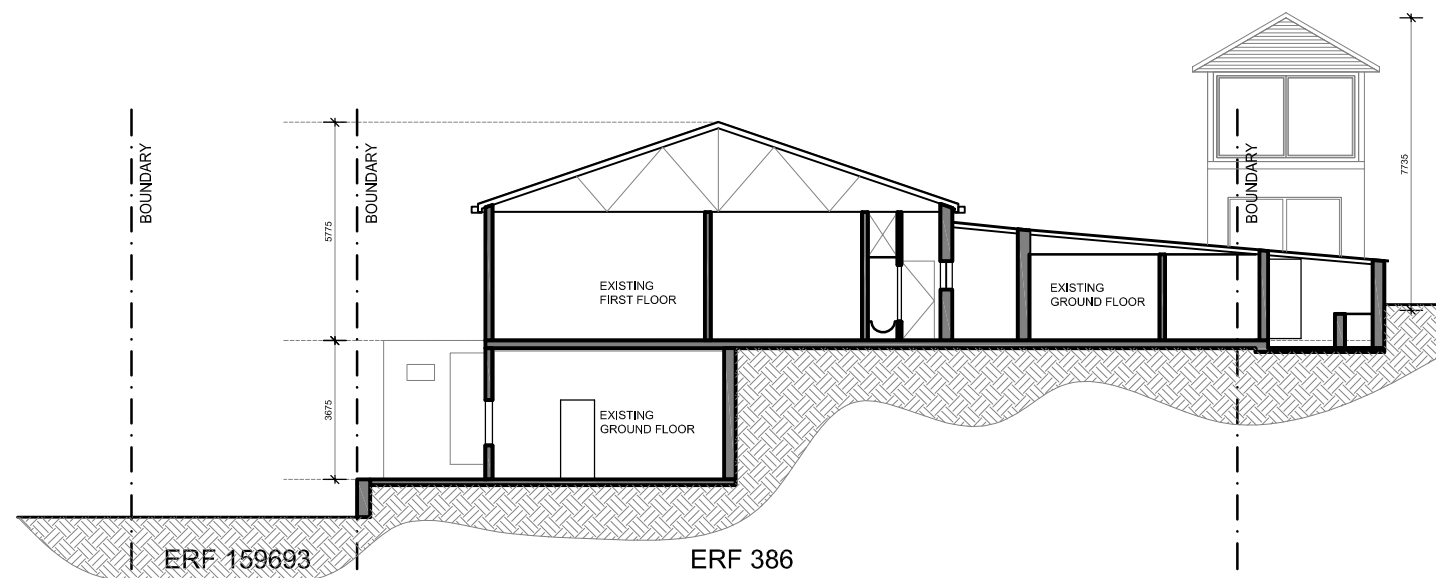
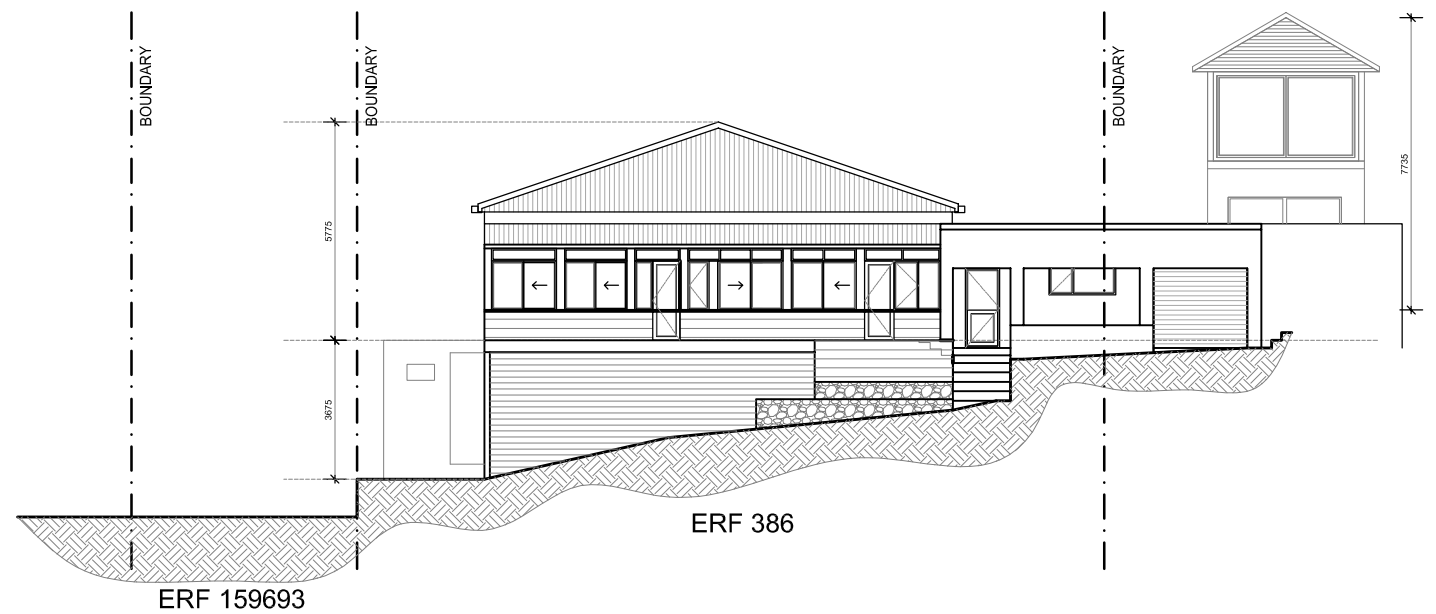
15-07-2016

DATE

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SCALE





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 Tel (021) 423 0328 : Fax (021) 424 9396
 e-mail : cape@archrsa.com website : www.archrsa.com
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cc ok 90/06711/23

FRONT ELEVATION ,SECTION A-A

DRAWING

PROJECT : **DORP**
 CLIENT :

01586
 PROJECT NO.

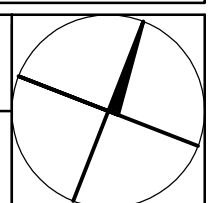
MR
 DRAWN

C-0001
 DRAWING

15-07-2016
 DATE

REV

1:200
 SCALE



PROPOSED VILLA TOP OF LONGMARKET ST. C. TOWN

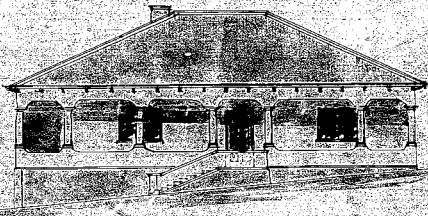
FOR M. J. DE FREITAS, Esq.

SCALE: 8 FEET = 1 INCH

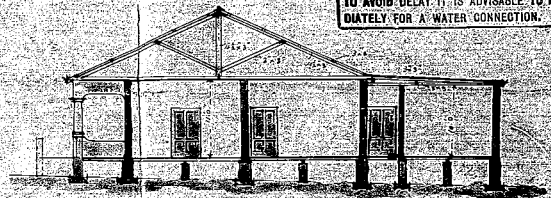
IMPORTANT - WATER SUPPLY
TO AVOID DELAY IT IS ADVISABLE TO APPLY IMMEDIATELY FOR A WATER CONNECTION.

PAYMENT FOR WORKS IN STREET
Pavement, Chalked
\$1.00 per square foot for final foot or part thereof.
Change Chalked
\$0.50 per square foot for final foot or part thereof.
The minimum for final foot or part thereof
Minimum: 2 1/2' x 12' 6"

600.00
ROBERTSON



FRONT ELEVATION



SECTION ON LINE A-B

NOTE
This drawing is for information only and is not to be used for construction.

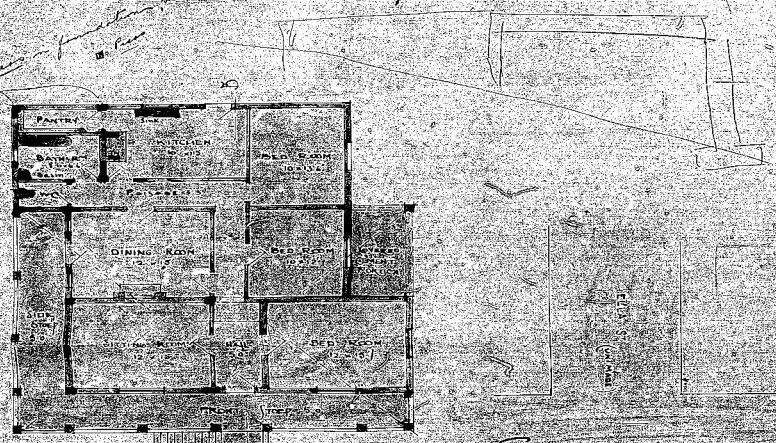
CITY OF OAKSTOWN
City Engineer's Office

AUGUST 1930
31175

NOTICE IS HEREBY GIVEN THAT ANY PROPOSED DEVIATION FROM THIS APPROVED PLAN MUST RECEIVE THE SPECIAL SANCTION OF THE BOARD OF PUBLIC WORKS AND FAILURE TO OBTAIN SUCH SANCTION WILL CONSTITUTE A BREACH OF MUNICIPAL REGULATION AND WILL BE DEALT WITH ACCORDINGLY.

All excavations must be examined and approved of before the foundations are commenced.

Forwarded to:
CHIEF ARCHITECTURAL ASST.
CITY OF OAKSTOWN, ILL.
Date: *SEP 24 1930*
12 *1919* 150
O. A. A.

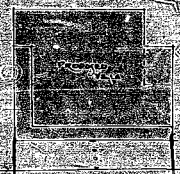


PLAN

Site Traced *11-1-30*
Sheet No. *101*
Block No. *115*
City Traced *11-1-30*

FLOOR PLAN
SCALE: 20 FEET = 1 INCH

FOR THE ENGINEER
Pharmar
ASSISTANT CITY ENGINEER
1-10-30



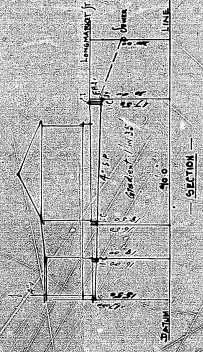
with plan to be made with 30' lot plan

LONGMARKET ST. C. TOWN
CITY ENGINEER'S OFFICE
OAKSTOWN, ILL.

PAYMENT FOR WORKS IN STREET.
 Municipal Libraries
 One-half cent per month for each part shown.
 One-cent charge for each copy of each drawing.

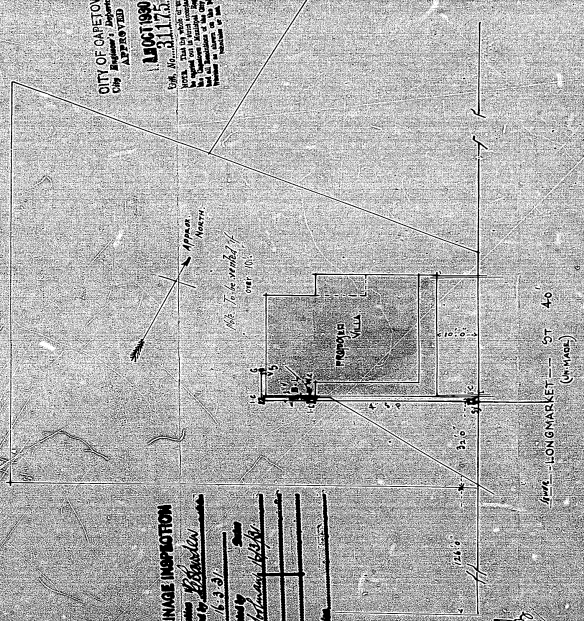
Maximum E.S. 0. 0. 0. **6-0-0**
 Drainage Commission
IDEAL

KEY AND DRAINAGE PLAN
 NEW VILLA TOP OF LONGMARKET ST. C TOWN
 — FOR M. J. DE FREITAS ESO —



CITY OF ORETOWN
 City Engineer
 1,897,180
 City No. 31175

DRAINAGE INSPECTION
 Inspected by *DeFreitas*
 Date *6-3-37*
 Checked by *DeFreitas*
 Approved by *DeFreitas*
 Plans *DeFreitas*



DeFreitas
inspected plan
6-3-37

77 May 21 1937
 Approved: *DeFreitas*
 City Engineer

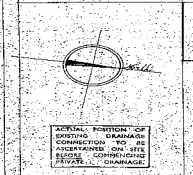
←————— 250mm —————→

9/14/79

Amendments A, B, C

9' from back wall
4 1/2" to 4 1/4"

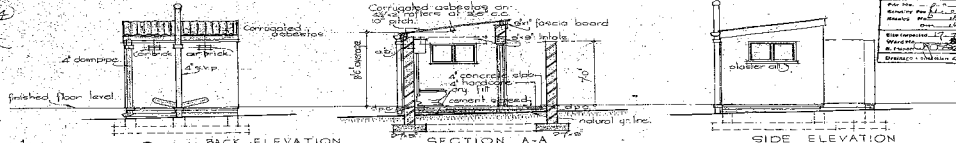
EXAMINED
TOWN PLANNING OFFICER
10/10/79



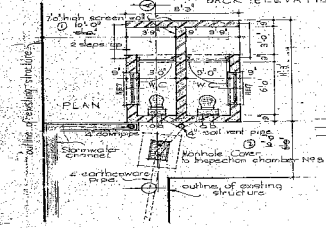
LOT 1
LOT 2

UPPER LONGMARKET STREET - 40'0"

SITE'S DRAINAGE PLAN, Scale 1/4" = 1'-0"



CITY OF BOSTON	ENGINEERING DEPARTMENT
APPROVED	DATE 10/10/79
FOR CONDITIONS OF APPROVAL SEE PERMITS	
PLAN NO.	10799



DRAINAGE SECTION: Scale 1/8" = 1'-0"

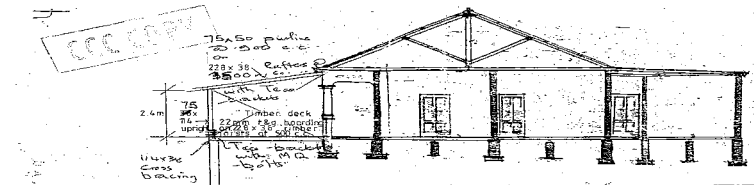
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1.05	1.06	1.07	1.08
1.09	1.10	1.11	1.12
1.13	1.14	1.15	1.16
1.17	1.18	1.19	1.20

CITY OF BOSTON	ENGINEERING DEPARTMENT
APPROVED	DATE 10/10/79
FOR CONDITIONS OF APPROVAL SEE PERMITS	
PLAN NO.	10799

NEW LAVATORY BLOCK FOR A. HARRIS ESQ., LONGMARKET STREET, C.T.
SCALE: 1/4" = 1'-0"

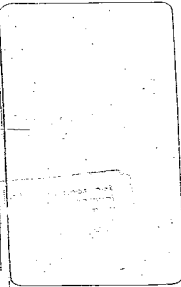
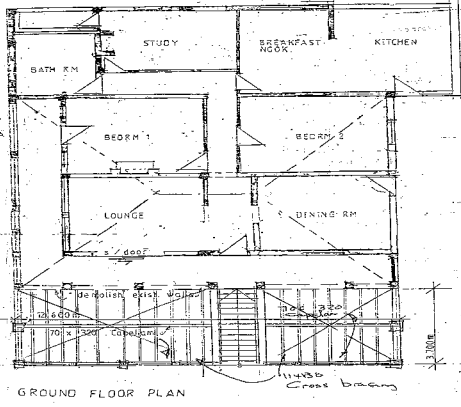
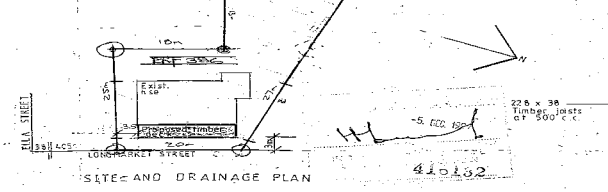
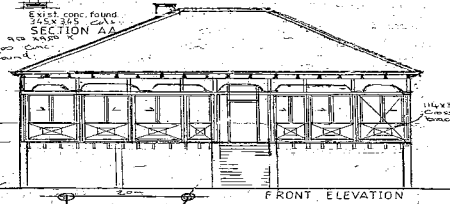
A. Harris OWNER
J. J. Fallon CIVIL ENGINEER

250mm



CCC COPY

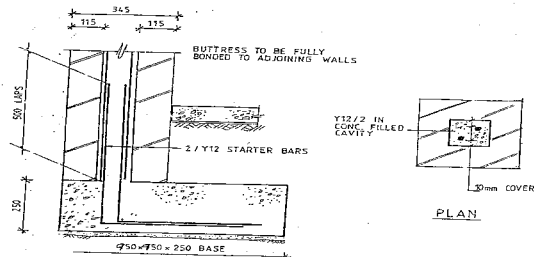
21.10.97
BETA-5
W.P.O.-23



MODESIGN
19 ARGYLE STREET
WOODSTOCK
PH: 471889
SIGNATURE: [Signature]

MISBACH.A
MEDERIA VILLI
LONGMARKET STREET
CAPE TOWN
E.T. 386
SIGNATURE:

SCALE: 1:100
DATE: 1997-09-25
DRAWN: CUYE



TYPICAL SECTION

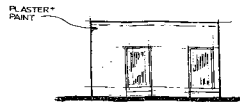
BUTTRESS DETAIL

SCALE 1:10

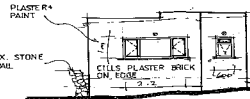
410182

A. O. MISBACH
273 LANGMACKER ST
BO - KAMP.
Erf 386

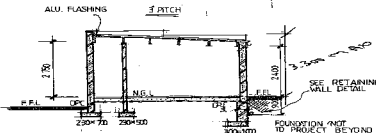
250mm



SOUTH ELEVATION 1:100



EAST ELEVATION 1:100



SECTION B-B 1:100

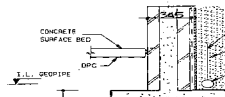
ROOF CONSTR.

TAR ROOF SHEETS ON 38 X 75 PURLINS AT 1800 C/C ON 228 X 88 RAFTERS @ 1000 ENCASED INTO A DAMP-PROOF MEMBRANE AT BOTH ENDS OF WALL.
 AT 1200 C/C ON 30 X 114 WALL PLATE 180 W PVC OUTERS FIXED TO 50 X 250 PARCELS FIXED TO RAFTERS
 ALL TIMBER GRADE V4
 WHOLE ROOF TO BE TIED DOWN WITH 1.2 MM WIRE NAIL, HOOP IRON SHECDED 60MM INTO BRICK WORK.
 ALL TIMBER SUPPLIED BY FEDERATED.

FLOOR CONSTR.

20mm SCHEDULE ON 100mm CONCRETE ON 250mm WELL COMPACTED SANDFILL.

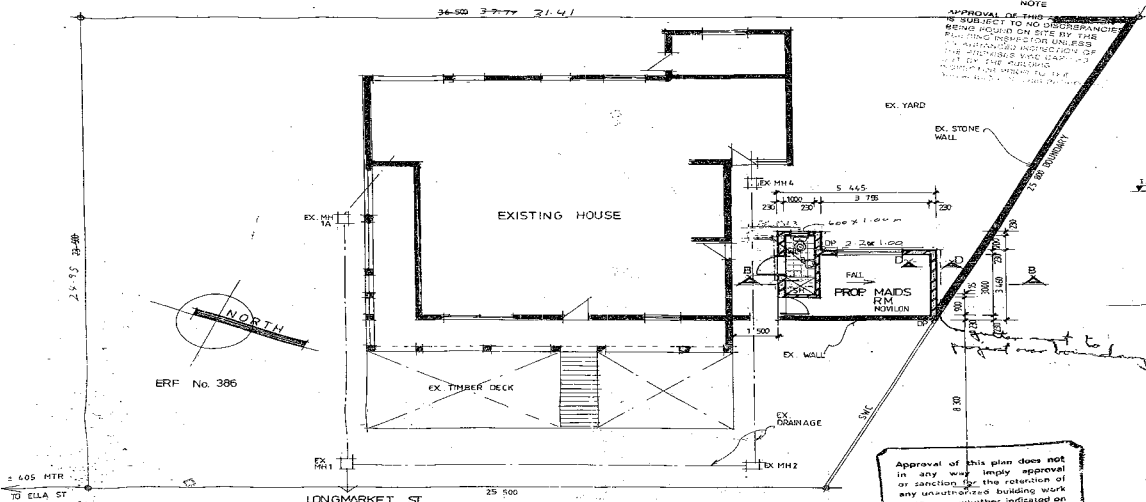
NOTE: THIS STRUCTURE IS TO BE PAINTED OR COLOURED/WASHED TO THE SATISFACTION OF THE CITY ENGINEER.



SECTION D-D 1:25

AREA	5
MARKED	4.3
DATE	4.3.98
BY	[Signature]

NOTE: USE 8 100mm UPVC SLOW BENDS, T-JUNCTIONS AND T-JUNCTIONS AT ALL BENDS AND JUNCTIONS ON THE 8 100mm SCREPIPE



SITE & FLOOR PLAN 1:100

Approval of this plan does not in any way imply approval or sanction for the retention of any unauthorised building work or the whether indicated on the plan or not.

NOTE: THE DESIGN OF THIS DRAWING IS A COPYRIGHT AND REMAINS THE PROPERTY OF THE ENGINEER.
 * ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH PERM REGULATIONS.
 * FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING DRAWINGS.
 * ALL RELEVANT DETAILS, LEVELS, DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
 * NO PORTION OF THE BUILDING IS TO PROJECT BEYOND BOUNDARY LINE.
 * 20 COURSES BRICKWORK WITH DEMONSTRATE EVERY COURSE OVER ALL OPENINGS NOT EXCEEDING 3 METRES.
 * THE MAXIMUM HEIGHT OF PARAPET WALLS IS NOT TO EXCEED 500mm.
 * TOP 3 COURSES OF BRICKWORK BELOW WALL PLATE HEIGHT, ROOF WALLS UP TO FLOOR LEVEL AND GABLE END WALLS ABOVE WINDOW UNTIL HEIGHT TO BE BRICK PLUS 3 COURSES BRICK FORCE.
 * DAMP PROOF MEMBRANE IS TO BE BOUND MIN ABOVE NATURAL GROUND LEVEL.
 * GLAZING OF DOORS AND WINDOWS IN EXCESS OF 1000mm OR LESS THAN 2000mm ABOVE F.F.L. TO BE SAFETY GLAZED IN ACCORDANCE WITH BUILDING REG. PART 'W'.

NOTE: THIS APPLICATION IS APPROVED IN PRINCIPLE & NOT BEING REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND BUILDING STANDARDS ACT 1977, OF THE CITY ENGINEER, ENGINEER AND THE CITY ENGINEER (SEWERAGE) ARE CONCERNED, PLEASE HAVE DIRECT CONTACT WITH THESE BRANCHES/DEPARTMENTS FOR THEIR FURTHER REQUIREMENTS IF ANY.

CITY OF CAPE TOWN
 CITY PLANNING DEPARTMENT
 APPROVED: [Signature] 15 MAY 1998
 FOR THE PURPOSES OF APPROVAL
 15 MAY 1998

RAMIREZ PROPERTY DEVELOPMENT	
101, COORNBURG ST, CAPE TOWN 8001	
PROJECT: A MISSACH MEDERIA VILLE LONGMARKET ST SPOTCHES KLOOF ERF 388	
PROPOSED: PROP MAIDS ROOM	
SECTION ELEVATION	
DATE:	29 APRIL 98
SCALE:	1:100
DESIGNER:	WASEF ADHIKARI
NO. OF SETS:	8 OF 5
DRAWING NO.:	98/04/WD1

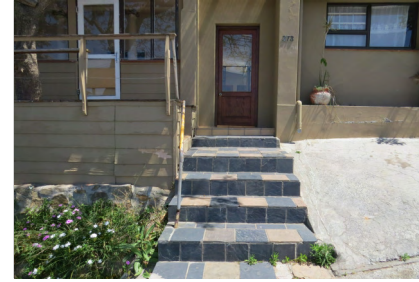
STREET ELEVATION



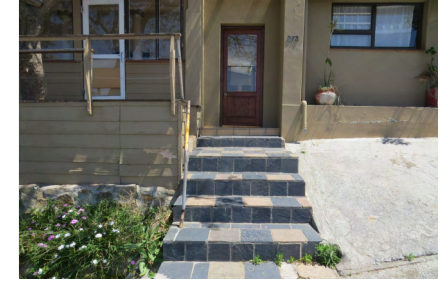
View from Longmarket Street



View from Longmarket Street



Main Entrance



Main Entrance

COURTYARD



Paved courtyard



Steps to unit



Steps to unit



Roof of unit from courtyard



Roof of unit from courtyard



Steps along boundary wall



View of unit 6



Mountain view



Steps to unit



Access to garage



Upper level of courtyard



Upper level of courtyard

RENNIE SCURR ADENDORFF ARCHITECTS

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 P O Box 16390 Vlaeberg 8018
 Tel (021) 423 0328 : Fax (021) 424 9396
 e-mail : cape@archrsa.com website : www.archrsa.com

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STREET ELEVATION AND COURTYARD

DRAWING

PROJECT: **DORP**

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

DRAWING

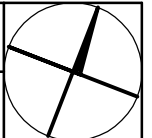
28-07-2016

DATE

REV

N/A

SCALE



UNIT 1



Double doors to living room



Kitchen



High window



Living room facing street



Bedroom



Kitchen



Living room



Double doors to living room

UNIT 2



Deck



Bedroom mountain view



Columns in Living room



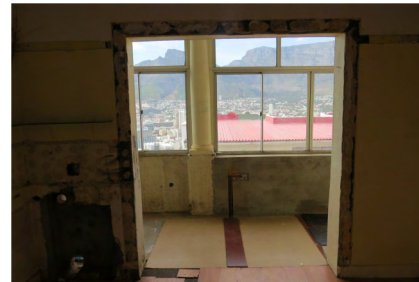
Double doors to living room



Bedroom



Double doors to living room



Bathroom



Bathroom

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UNIT 1 AND 2

DRAWING

PROJECT: DORP

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

DRAWING

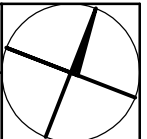
28-07-2016

DATE

REV

N/A

SCALE



UNIT 3



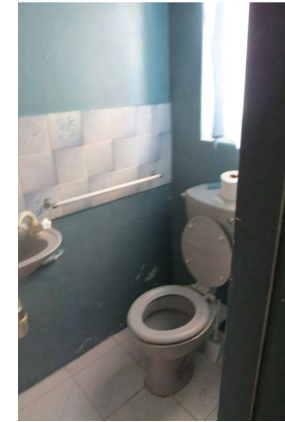
Entrance



Kitchen



Living room



Bathroom



Bathroom



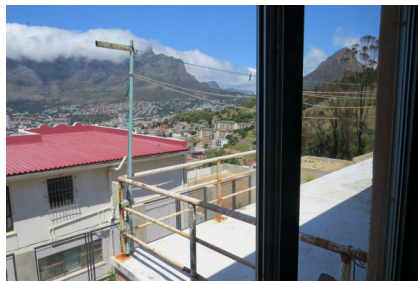
Bedroom



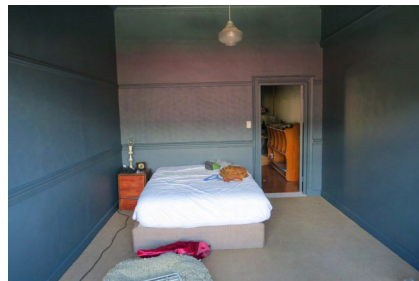
Bedroom



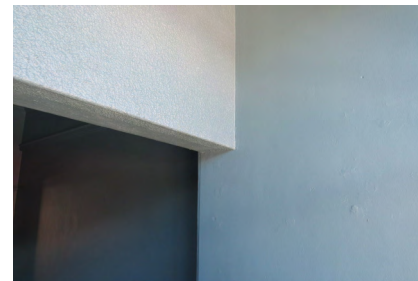
Bedroom



Bedroom view



Bedroom



Bedroom



Bedroom

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UNIT 3

DRAWING

PROJECT: **DORP**

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

DRAWING

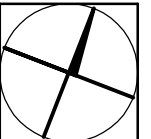
28-07-2016

DATE

REV

N/A

SCALE



UNIT 4



Entrance



Kitchen



Kitchen



Bathroom



Bathroom



Bathroom



Bedroom



Bedroom



Bedroom



Bedroom



Bedroom



Bedroom

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UNIT 4

DRAWING

PROJECT: **DORP**

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

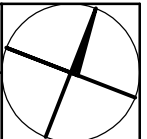
DRAWING

28-07-2016

DATE

N/A

SCALE



UNIT 5



Entrance



Living room



Living room



Door to store room



Kitchen



Kitchen



Living room



Bathroom



Store room



Store room



Store room



Store room

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UNIT 5

DRAWING

PROJECT: **DORP**

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

DRAWING

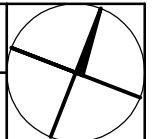
28-07-2016

DATE

REV

N/A

SCALE



UNIT 5



Passage



Store room



Store room



Store room



Bedroom



Bedroom



Bedroom



Bathroom door



Bathroom



Shower



Bathroom



Bathroom

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UNIT 5

DRAWING

PROJECT: DORP

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

DRAWING

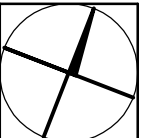
28-07-2016

DATE

REV

N/A

SCALE



UNIT 6



Entrance



Framed structure above unit



Second entrance



Framed structure above unit



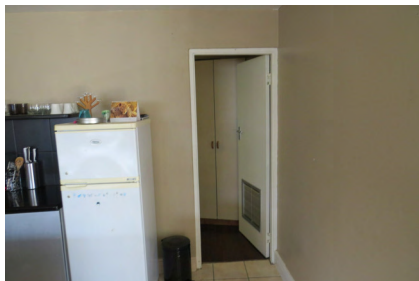
Living room



Living room



Kitchen



Store room



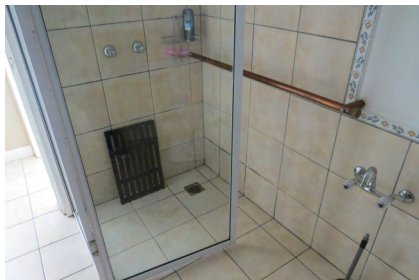
Store room



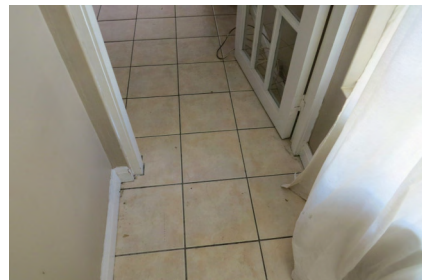
Passage



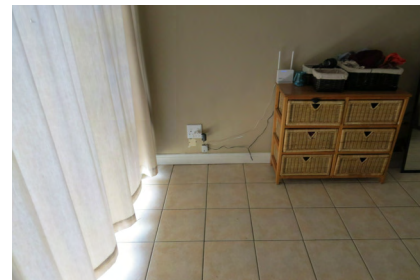
Bathroom



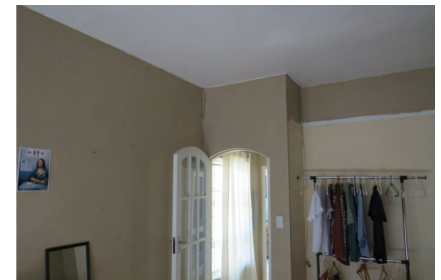
Bathroom



Bedroom



Bedroom



Bedroom

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UNIT 6

DRAWING

PROJECT: DORP

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

DRAWING

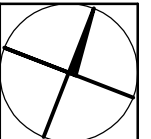
28-07-2016

DATE

REV

N/A

SCALE



WEST AND SOUTH ELEVATION



West elevation



West elevation



West / south elevation



West / south elevation

ADJACENT ERFES



Unfinished earth works



Retaining wall



Retaining wall



Retaining wall

VIEWS



View from site



View from site



View from site



View from site

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ELEVATIONS AND ADJACENT ERFES

DRAWING

PROJECT : **DORP**

CLIENT :

01586

PROJECT NO.

MR

DRAWN

C-0000

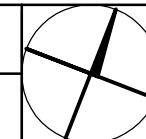
DRAWING

28-07-2016

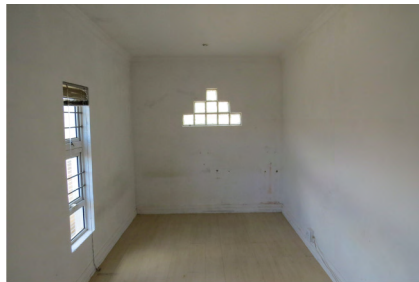
DATE

N/A

SCALE



GROUND FLOOR



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GROUND FLOOR

DRAWING

PROJECT: DORP

CLIENT:

01586

PROJECT NO.

MR

DRAWN

C-0000

DRAWING

28-07-2016

DATE

REV

N/A

SCALE

