

# NIEUWEDORP ALTERATIONS AND ADDITIONS

SAHRA CASE ID:

submitted in terms of Section (27) of the NHRA (1999) for  
ALTERATIONS AND ADDITIONS TO NIEUWEDORP HOMESTEAD, BOSCHENDAL FARM 11/1685, R310,  
STELLENBOSCH



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## 1.0 INTRODUCTION

### 1.1 Background

Sarah Winter Heritage Consultants has been appointed to undertake the heritage processes pertaining to the proposed alterations and additions to Nieuwedorp homestead, Farm 11/1685. Rennie Scurr Adendorff has assisted with this application given involvement elsewhere at Boschendal. As this property falls within the Founders Estate National Heritage Site (NHS), this application is submitted to the South African Heritage Resources Agency (SAHRA) in terms of Section 27 of the National Heritage Resources Act (Act 25 of 1999, NHRA).

### 1.2 Statutory Context

#### **Section 27 of the National Heritage Resources Act**

Farm 11/1685 is located within the Founders Estate NHS and is therefore protected in terms of Section 27 of NHRA. The proposed alterations to the Nieuwedorp homestead trigger the need for a permit of approval from SAHRA in terms of the 27 (18).

Section 27 (18) of the NHRA stipulates that, "No person may destroy, damage, deface, excavate, alter, remove from its original position, subdivide or change the planning status of any heritage site without a permit issued by the heritage resources authority responsible for the protection of such site." In terms of Section 2 (i) "alter" means "...any action affecting the structure, appearance or physical properties of a place or object, whether by way of structural or other works, by painting, plastering or other decoration or any other means."

#### **Applicable Other Legislation**

##### 1) Environmental Legislation

There are no triggers in terms of the National Environmental Management Act as the proposed development is below the relevant thresholds indicated in the Environmental Impact Assessment (EIA) Regulations, 2014 (as amended).

##### 2) Stellenbosch Municipal Zoning Scheme By-Law (SM ZSBL)

The property is located within the Dwars River Valley Rural Conservation Area. However, the proposed alterations do not require special consent from the municipality, as they do not involve any of the activities listed under a) to f) of Section 246 (2) of the ZSBL. More specifically they do not involve the "external demolition or alteration to an existing building or structure which is

visible from a public road" (emphasis added).

#### **Stellenbosch Heritage Inventory (2018)**

The Stellenbosch Heritage Inventory does not include Nieuwedorp as an individual heritage resource but refers to the Founders' Estates as an NHS located within Landscape Unit A07. Of relevance to this application are various Development Criteria for interventions within a farm werf context as extracted below:

- Respect traditional werf settlement patterns by considering the entire werf as the component of significance. This includes the backdrop of the natural landscape against which it is sited, as well as its spatial structure. Any development that impacts the inherent character of the werf component should be discouraged.
- Interventions on the werf must respect the layout, scale, massing, hierarchy, alignments, access, landscaping and setting.
- Historical layering must be respected and protected. Alterations and additions to conservation-worthy structures should be sympathetic to their architectural character and period detailing. Inappropriate 'modernisation' of conservation-worthy structures and traditional werfs should be prevented. Inappropriate maintenance can compromise historic structures. Heritage expertise is required where appropriate.
- Ensure visual harmony between historical fabric and new interventions in terms of appropriate scale, massing, form and architectural treatment, without directly copying these details. Distinguish old from new.

### 1.3 Study Methodology

The wider Boschendal Farm including the Founders Estates has been the subject of numerous heritage studies. This report has drawn on that body of work, in particular, the 2021 S27 submission for the Nieuwedorp Cottages / Kropman Village (RSA, Winter, 2021), the 2006 HIA for the Founders' Estates development (Baumann, Winter 2006), the 2013 Heritage Statement for the renovation and maintenance of the Nieuwedorp homestead and barn (Baumann, Winter & Jacobs 2013).

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## 1.4 Limitations

No limitations have been encountered in the compilation of this report.

## 1.5 Statement of Independence

None of the heritage consultant has any legal or personal ties to Boschendal or other professionals involved in this proposal, nor to any companies that may be involved in the process that is to follow. There is no financial gain tied to any positive outcome. Professional fees for the compilation of this document will be paid by Boschendal but are not linked to any desired outcome.

## 2.0 SITE DESCRIPTION

Portion 10 of Farm 1685, Boschendal is one of the 19 land portions resulting from a consolidation and subdivision application approved by SAHRA in 2008. It measures 20, 4926 hectares as per survey diagram attached as Annexure A.

The Nieuwedorp farmstead comprises the main house that dates to the early 20th century, a barn that dates to the 19th century, and the four semi-detached farm workers' cottages that date to the mid-C20th that were the subject of an application for alterations and additions in 2021; these are now known as Kropman Village. The main werf may also include the subsurface remains of an earlier homestead, as it is possible that the existing homestead is located on the footprint of the earlier homestead (ACO 2009). The werf is accessed by a farm road

Nieuwedorp homestead has distinctive Cape Revival features in terms of its H-shaped plan form and curvilinear 'holbol' gables with similarities to Champagne located approximately 1.5km to the east. Its twin front gables are a distinctive feature in the landscape with the backdrop of the Simonsberg. The renovation of the homestead was approved by SAHRA in 2014 (SAHRA Permit ID 1535).

A late 20th century garage structure is located immediately to the west of the homestead and has no heritage significance.



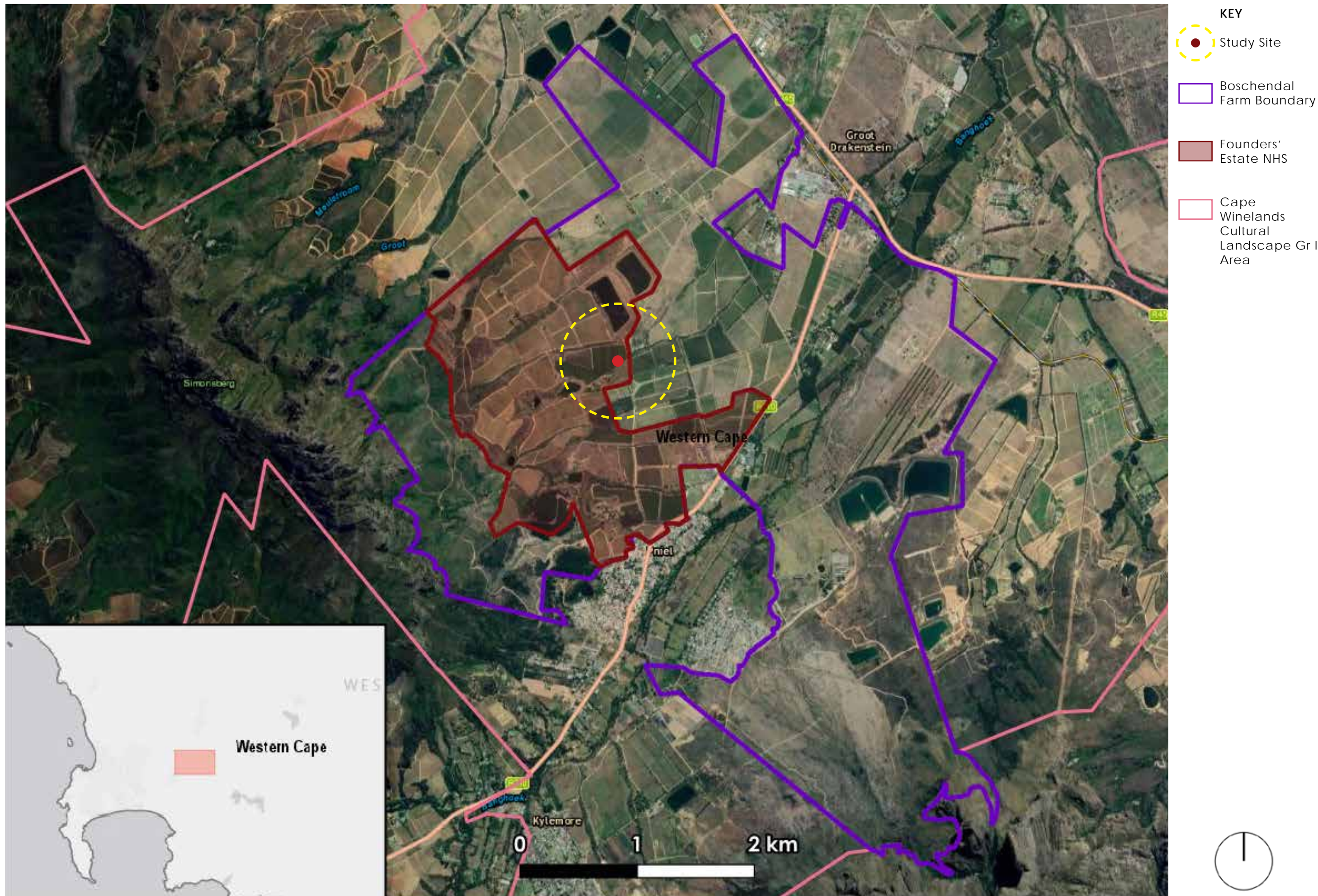
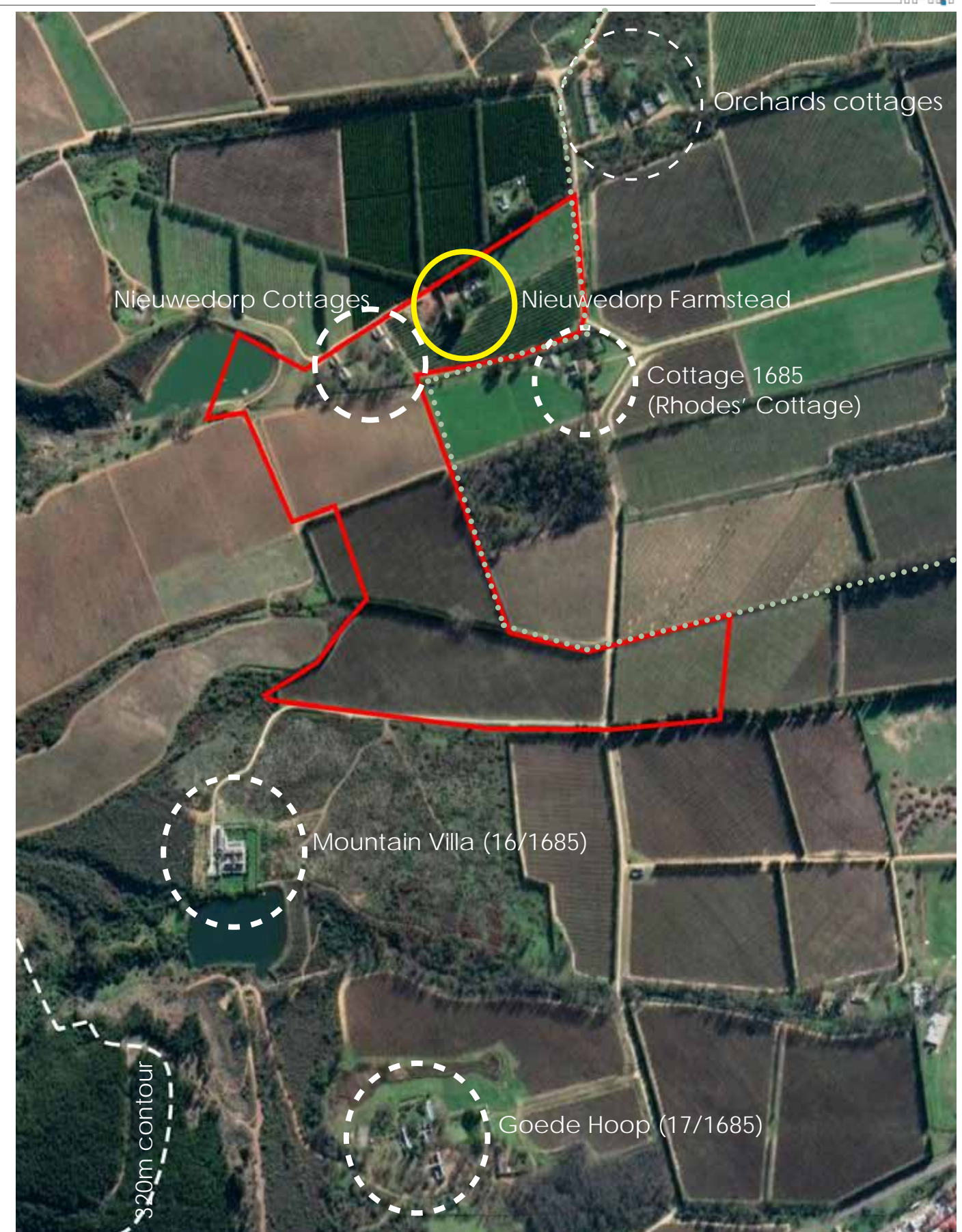
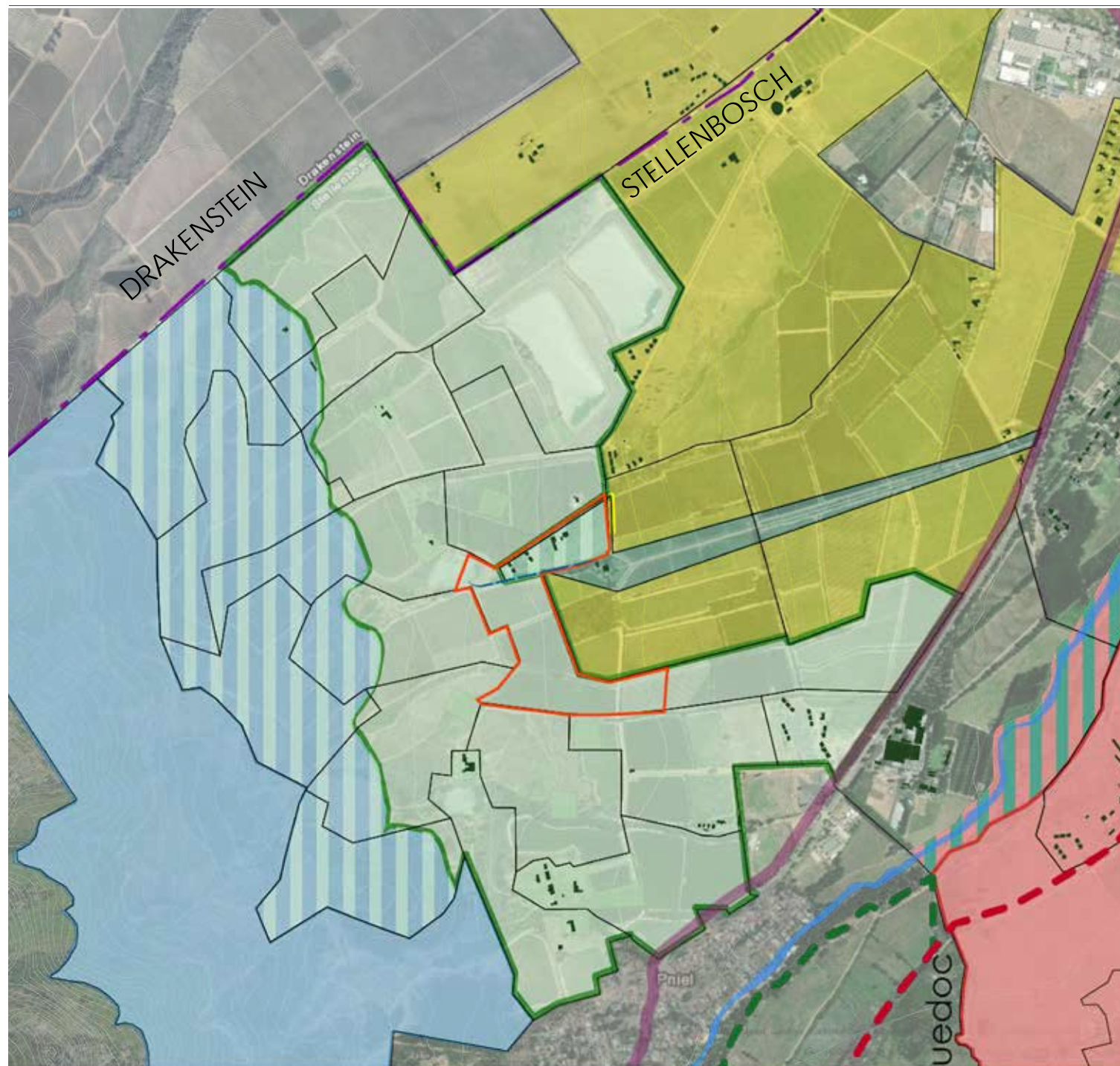


Figure 1. Locality Map (RSA, 2020).





- Founders' Estates boundary and extent of National Heritage Site
- Nieuwedorp, Portion 11 of Farm 1685, boundary
- Nieuwedorp Homestead

Figure 2. Location of Portion 11 of Farm 1685 within Founders Estates (RSA, 2021)

Figure 3. Location of Nieuwedorp Homestead within the Portion 11 of Farm 1685 (Source: Cape Farm Mapper).





Figure 4. Site Description; Nieuwedorp naming of parts, precinct scale (Source: Cape Farms Mapper)





Figure 5. Front facade of house (RSA, 2023)





Figure 6. Lounge (RSA, 2023)



Figure 8. Main bedroom and bathroom (RSA, 2023)



Figure 7. Lounge (RSA, 2023)



Figure 9. Barn (RSA, 2023)



### 3.0 BACKGROUND TO THE FOUNDERS' ESTATE

Boschendal (Pty) Ltd has acquired the rights to the subdivision and development of eighteen (18) so-called Founders' Estates. The Founders' Estates effectively comprise 18 different farms measuring between 21 and 44 hectares each with a Developable Area of 0.8 hectares per farm (i.e. one farmstead per farm) and the remaining farm being included in an agricultural lease area where the agricultural land is managed as a single entity including no cadastral expression of individual farms. This is in accordance with an approval by the Stellenbosch Municipality in 2005 issued under the Land Use Planning Ordinance (Ordinance 15 of 1989; LUPO).

The Founders' Estates was subject to a heritage assessment process and was approved by SAHRA in 2008 subject to a number of conditions. The status of compliance of these conditions was detailed in a report to SAHRA prepared by Sarah Winter dated October 2020. It should be noted the requirement for Design Guidelines for the Founders' Estates has been addressed and were approved in 2010. The requirement for an Archaeological Historical Residues Management Plan (AHRMP), a Conservation Management Plan (CMP) and Landscape Guidelines is currently being addressed. Draft Landscape Guidelines and a Draft AHRMP was submitted to SAHRA in 2020.



Figure 10. Before consolidation and subdivision 2006. Star marks Nieuwedorp (Source: Baumann, Winter 2006).



For the purposes of clarity for the Nieuwedorp application, it is important to note the following:

1. This application is a new Section 27 application for the alteration and addition of an existing structure.
2. The structure is located within the Developable Area for Founders Estates 11 as shown in Figure 12 below.
3. In terms of the approved Founders Estates Design Guidelines (2010) and the role of the Master Review Committee (MRC), the Nieuwedorp farmstead is subject to the MRC design review process.
4. The Design Guidelines further contains a number of overall objectives and principles, and guidelines that are applicable as set out in Section 6.0 below.



Figure 11. Developable Areas (marked with red dashed box) with the Founders Estates Portions. The Nieuwedorp farmstead is located within the Developable Area (highlighted in white) for FE 11 (RSA and Winter, 2021).

### 3.1 Applicable Design Guidelines

#### 1) Design, Planning and Architectural Guidelines for Historical Farmsteads (Goede Hoop and Nieuwedorp)

- A policy of minimal intervention to significant historical fabric should be adopted.

- Authenticity is a key tenet in their conservation and thus should correspond to the available facts, avoid conjecture and not distort the evidence.
- Alterations and additions should be of a neutral or harmonious nature; they should respect the physical context, historical character, scale and visual cohesion of the existing architecture and significant spaces, including detailing and finishes.
- Any physical intervention must take into account the potential and/or known archaeological sensitivity of the site.

#### 2) Overall Objectives and Principles

- The need for development to harmonise, complement and respond to the qualities of the broader landscape and also the unique features of each Founders' Estate.
- The principles of authenticity and integrity being applicable in terms of ensuring a positive response to all historical layers of the landscape as well as its role as a consolidated working farm as opposed to an ornamental, suburban or fragmented landscape.
- A positive response to the historical patterns in the landscape that have endured over time specifically the pattern of buildings in relation to topography, water and patterns of access; buildings did not occur randomly in the landscape but in response to a carefully considered and environmentally based set of structural principles.
- New development should be subordinate to the landscape in terms of scale, massing, architectural treatment and movement patterns.
- The addition of a new contemporary layer in the landscape but not at the expense of existing layers of heritage significance.

#### 3) Overall Design, Planning and Architectural Guidelines

- The emphasis should be on a rural building typology as opposed to an urban or a suburban typology; buildings should not compete or contrast sharply with the rural qualities in terms of massing, scale, height and architectural treatment.
- Foreign stylistic architectural expressions or imitation of historical Cape architecture are not permitted.
- Buildings shall be visually recessive in the landscape; they should be nestled into rather than being superimposed onto the landscape.
- Building forms should be fragmented with the main components orientated parallel to the contours; major plan form elements should be connected with minor plan form elements (verandas, pergolas and leanto structures) in order to reduce the scale and visual prominence of the built form.
- Draw on the local vernacular including the use of materials, plan form, roof



form, building height and width, wall to aperture relationships.

- Protect, retain and enhance buildings and landscape features of heritage value and contribute to the landscape character and sense of place.
- Natural features such as mountain backdrops, significant vegetation, slopes and water courses should be carefully considered in the design and planning of improvements.
- Retain the landscape setting of places including views towards and from a place, as well as historical and visual spatial relationships between places such as Rhodes Cottage (Cottage 1685) and Nieuwedorp.
- Do not introduce built form or landscaping patterns which erode the agricultural character of the working farm by establishing a clear interface between the agricultural components of the working farm and the farmstead domains.
- Maintain planting types and patterns which contribute to the aesthetic and historical character of the place such as tree lined avenues, windbreaks, tree canopies, forests, homestead gardens, cultivated fields.
- Protect the experiential quality of farm roads with careful consideration to the appropriate nature of boundary treatments, gateways, signage and road engineering interventions (road width, surfacing and edge treatments) in keeping with a rural landscape character.

### 3.2 Previous Approved Plans of Nieuwedorp Farmstead

Nieuwedorp homestead and barn were the subject of a NHRA S-27 application to SAHRA in 2013, for the repair and maintenance work to the homestead and barn, and renovation of the homestead. The work to the homestead was completed, but the work to the barn was not undertaken.



Figure 12. Nieuwedorp homestead (left); Barn building as at 2019 (right) (RSA, 2021, Winter, 2019)

## 4.0 HISTORICAL OVERVIEW OF THE SITE AND ITS CONTEXT

Nieuwedorp's land was granted in five parts from 1689, chronologically to Arnoldus Basson, Jacobus van As, Erasmus van Lier, Willem Basson and Pierre Meyer. Willem was the son of Ansela of Bengal. Once enslaved to van Riebeeck, she was later manumitted and transitioned to burgher society. She was the mother of Anna de Koning (born in slavery) and Jacobus van As. In 1701 the farm was a consolidation of five properties owned by Jacobus van As, who, like his mother, had acquired significant property and wealth. After his death in 1713 his estate was sold – most of it to Jacob de Villiers, son of Jacques De Villiers, owner of Boschendal in 1724. The De Villiers family now owned half of the Valley and retained control through the 18th and 19th centuries (Titlestad 2008). The land was predominantly producing grapes for wine-making.

In 1886 the outbreak of phylloxera virtually destroyed all the Cape vineyards, leaving many farmers bankrupt and the Cape economy in ruin. Nieuwedorp was one of 26 farms in the Drakenstein Valley to be acquired by Cecil John Rhodes from 1897 and consolidated under Rhodes Fruit Farms (RFF). RFF was initially established as an experimental and training centre for the development of a Cape fruit industry and was soon to become the centre of a thriving export industry (Baumann & Winter 2006; Titlestad 2008).

Herbert Baker's extensive architectural intervention in the Valley began at Rhodes' request with the Champagne homestead was built in 1900 as a RFF manager's residence designed by the Baker and Masey firm (Titlestad 2008). Baker also designed a cottage for Rhodes that was constructed adjacent to the site of the original, ruined Nieuwedorp homestead (its exact location is unknown). The long barn with stable manger forming part of the current Nieuwedorp farmstead dates to the late 18th/early 19th century and is probably associated with the original Nieuwedorp homestead.

The early 20th century valley landscape was altered by a dramatic shift from wine to fruit farming. It was also associated with the introduction of corporate farming methods and new employment opportunities resulting from the growth and diversification of the fruit industry. This necessitated the construction of additional farm managers' and workers' houses. The new homestead at Nieuwedorp, a farm manager's dwelling, was built in the 1920s and has similarities to Baker's design for Champagne.



De Beers took over RFF in 1925 and appointed an internal expert in the fruit industry, Alfred Appelyard, as Managing Director with the aim of consolidating and restructuring the business operation. In 1937 De Beers sold RFF to Abe Bailey and after his death in 1940 a syndicate of business interests acquired RFF and they owned and developed it for the next 28 years. Jack Manning was appointed Managing Director after the death of Appleyard in 1949. It was during the 1950s and 1960s that massive expansions and improvements were undertaken – new dams were constructed and irrigation doubled the productive agricultural area and increased yields by 700%, new workers cottages were constructed, transport was mechanized, refrigeration technology improved and the export markets boomed. By 1968 RFF employed hundreds of people and produced and packaged large scale export crops (Baumann & Winter 2006; Titlestad 2008). The four workers' cottages on Nieuwedorp date to this mid-20th century period (1938-1949).

In 1969 Anglo American and de Beers purchased RFF, retaining it for the next 31 years. In the 1970s and 1980s a number of cottage clusters were constructed on the estate: typically semi-detached, box-like structures with low pitched roofs and little or no detail. The units are generally arranged in rows or grouped loosely around communal open space depending on the size of the clusters, which may have as many as 30 structures.

In 1998 Amfarms disposed of its landholdings in the Dwars River Valley, and in 2003 a consortium of investors (Boschendal Pty Ltd) purchased 2242 hectares of these landholdings. Boschendal (Pty) Ltd still owns the estate to the current day.

By the time the landholdings were sold, farm employees of Amfarms, once resident in cottage clusters on Boschendal, had been relocated to Lanquedoc, and numerous workers' cottages, including the Nieuwedorp group, have been unoccupied until recently (Baumann, Winter 2006, 2013, 2016).

In 2013 Tony Tabatznik became a shareholder of Boschendal (Pty) Ltd and in 2018 he acquired the company as the sole shareholder. Since 2013 the broader Boschendal landscape has undergone significant further changes focused on the expansion and diversification of the hospitality, tourism and agricultural sectors. The emphasis is now on the diversification of the farm through regenerative farming practice, moving from monoculture to greater diversity.

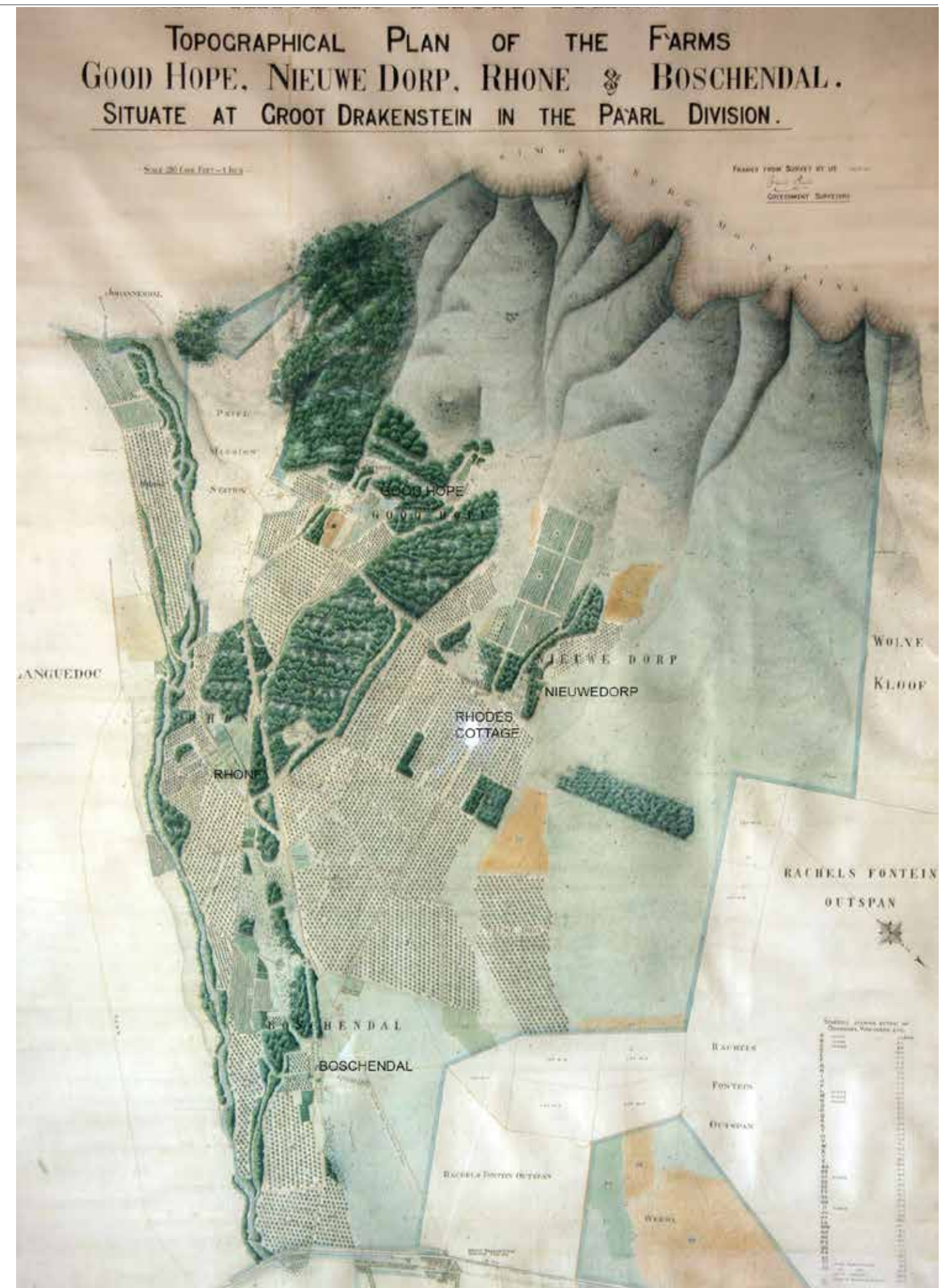


Figure 13. Extract of 1923 Topographical Plan of a portion of Rhodes Fruit Farms Ltd (Source: Surveyor General, Boschendal Collection).



Since the approval of the Founders' Estates in 2008, there has been limited development of the Founders' Estates. Only two of the 18 Founders' Estates were sold, namely FE 17 including the historical Goedehoop farm complex, and FE 16 (Mountain Villa) where a new farmstead was built and approved by SAHRA in 2012. FE 16 has recently been re-acquired by Boschendal (Pty) Ltd. Recently proposals for new homesteads at FE 9 and FE 10 have been tabled, with the new homestead at FE 9 having being approved by SAHRA in 2022. The adaptive reuse of the Nieuwedorp cottages (Kropman Village) has recently been completed. Plans for bulk services and infrastructure across the Founders' Estates is the subject of a current Section 27 permit application to SAHRA and a Basic Environmental Assessment.

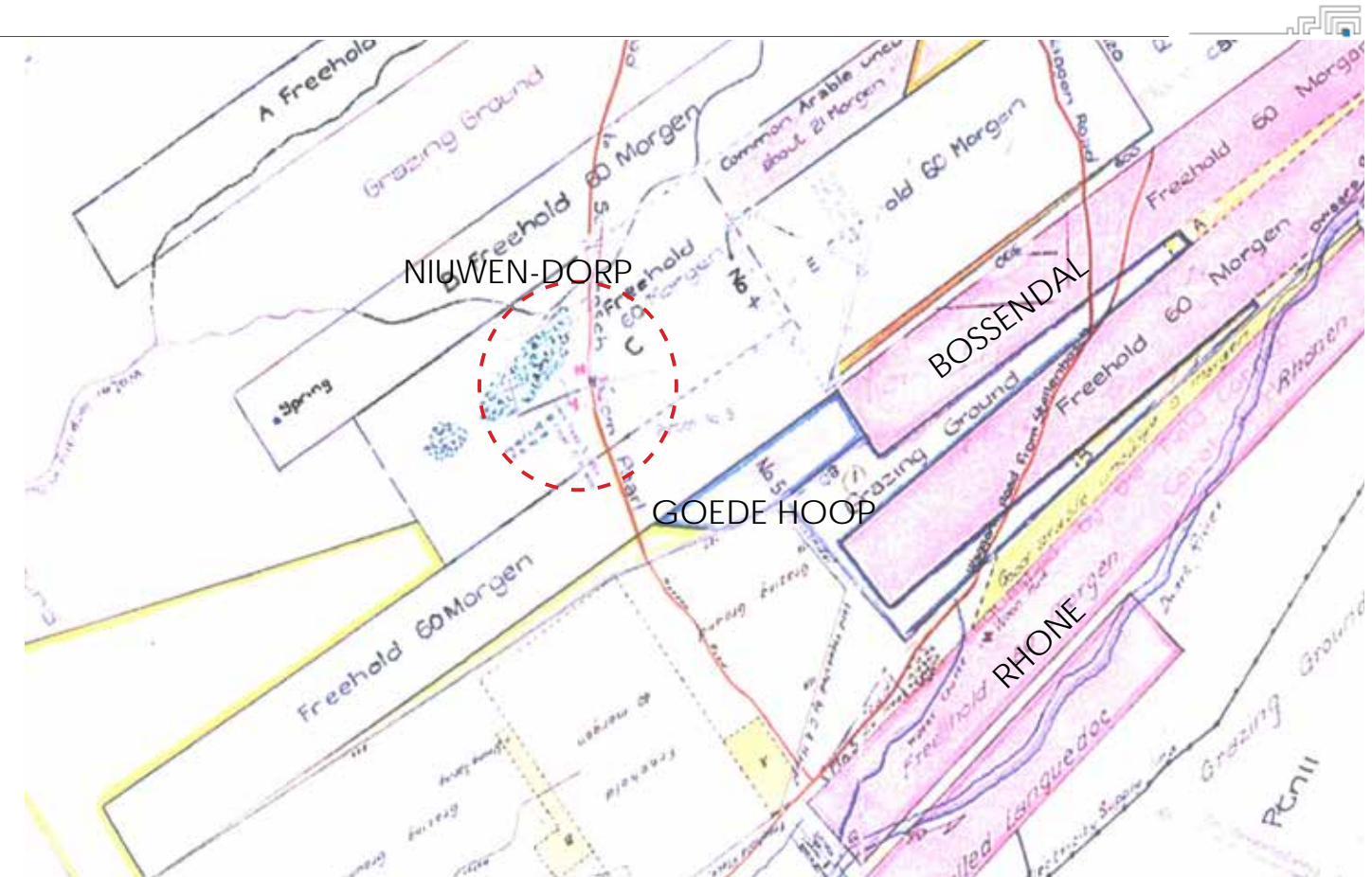


Figure 14. Extract, compilation of early cadastral grants. Location of Nieuwedorp (now Rhodes Cottage) and Nieuwedorp werf circled (Source: Titlestad HIA 2006).



Figure 15. Nieuwedorp homestead pre 1930s and long barn late 18th century/early 19th century (Source: CA AG7553).



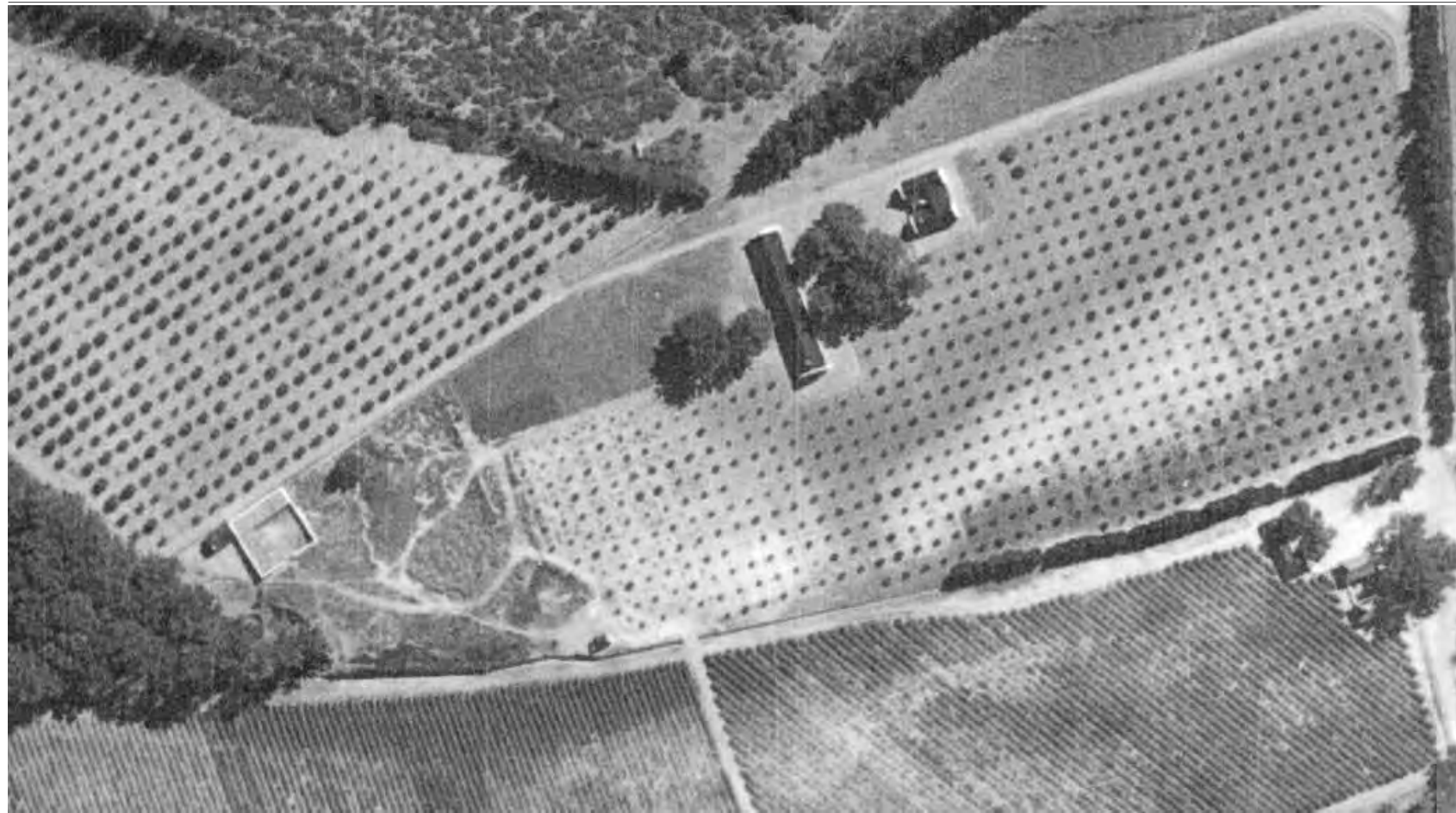


Figure 16. 1938. Shows built kraal form at top of werf area demonstrating an established settlement (Source: NGI 126\_081\_12251).

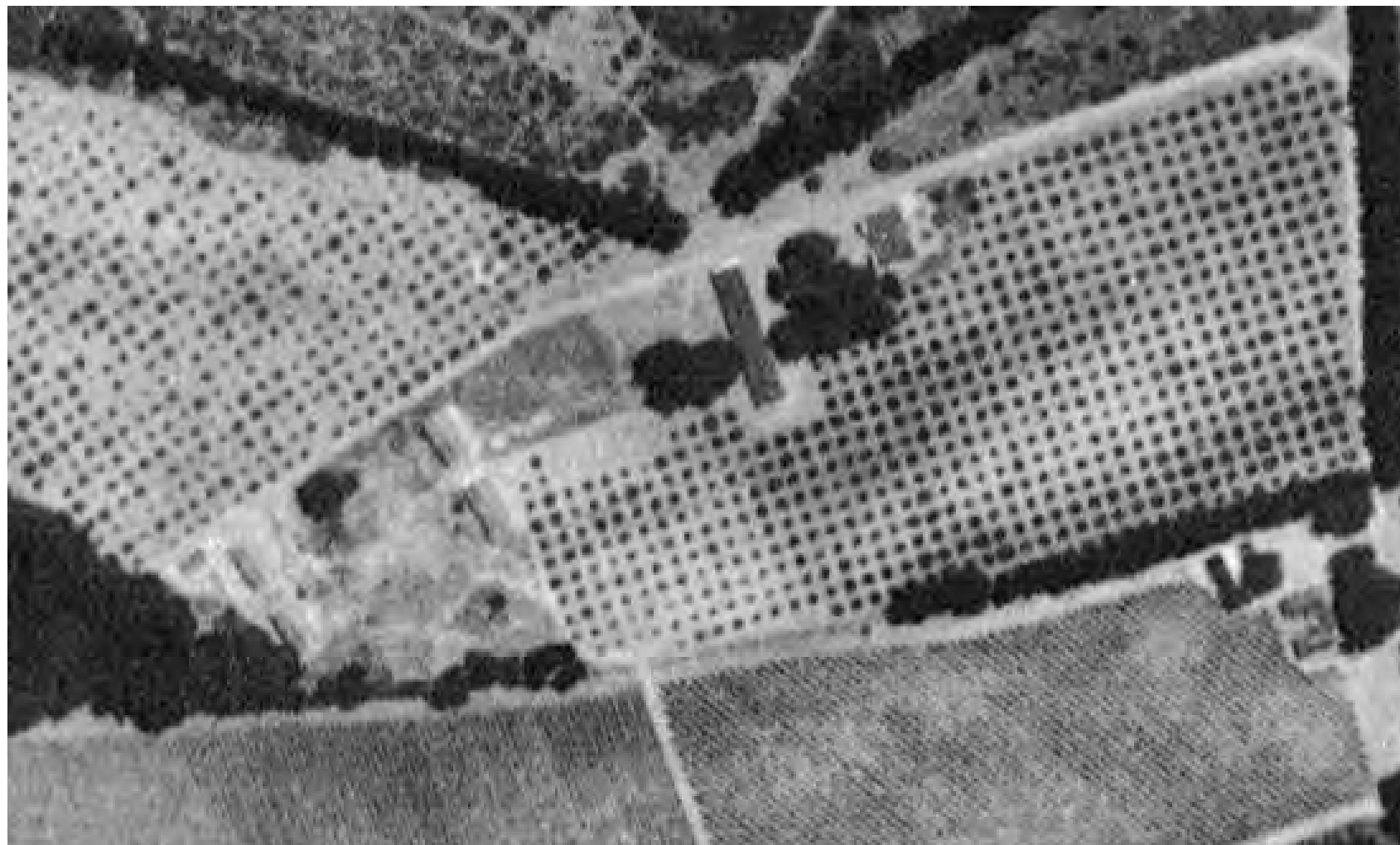


Figure 17. 1949. Shows wcottages in place, without added rear lean-to structures (Source: NGI 225\_016\_0331).



## 5.0 HERITAGE SIGNIFICANCE

The heritage significance of Nieuwedorp Farm needs to be considered at various scales as set out below.

### 5.1 Founders' Estate National Heritage Site

The significance of the Founders Estate, the portion of the Cape Winelands Cultural Landscape (CWCL) declared a National Heritage Site, is described as follows in the gazetted declaration:

*The Boschendal Founders Estate, Dwarsrivier Valley, Cape Winelands Cultural Landscape is a product of the interaction between the natural landscape of great scenic beauty, the tireless labour of a slave population, biodiversity and human activities and responses over a long period which have created features and settlement patterns that are equally celebrated for their beauty, richness and diversity. The Dwarsrivier Valley, more than any of the other CWCL landscapes is a showcase of the genius of the slave infused society of the Cape, with the majority of the slave descendants still working the soil. This cultural landscape encompasses a great variety of significant heritage resources, developed out of the interaction between peoples of many cultures with each other and the place. (Government Gazette Notice 31884, 13-02-2009)*

#### Historical value:

- It reflects a pattern of early colonial settlement and expansion during the late 17th and 18th centuries with an emphasis on agricultural production concentrated in the well-watered fertile valleys.
- The role of the landscape as role as both a pioneering and continuous agricultural base since late 17th century, when rectangular plots were granted at the foot slopes of Simonsberg in relation to the Berg and Dwars Rivers.
- Although almost entirely cadastrally redefined, the enduring nature of this role is evident in the continuity of the Goede Hoop and Nieuwedorp farms from the 17th century.
- A temporal and thematic layering of the landscape in terms of:
  - Land ownership patterns (colonial dispossession, freehold, quitrent, feudal, family networks, institutional/corporate)
  - Patterns of labour (slavery, indentured labour, wage labour, migrant labour) and related shifts from a feudal to a corporate to a democratic order.
  - Patterns of built form (18th century origins of Goede Hoop farm werf,

possible remains of 18th century Nieuwedorp farm werf and its later early 20th century expression, cottage clusters dating from the early 20th century onwards)

- The planted landscape (windbreaks, tree lined routes, forests, field patterns).
- The role of Goede Hoop farm werf as an agricultural entity dating to late 17th century & evidence of layering relating to shifting social-economic trends over time (livestock farming, wine production, fruit farming, labour, family networks).
- Historical associational linkages across the landscape in terms of ownership patterns with most of the farms being owned by extended family networks for more than a century and then farmed as a single entity since 1897 under Rhodes Fruit Farms, later Amfarms until 2003.
- The contribution of Goede Hoop and Nieuwedorp to a collection of historical farmsteads (Boschendal, Rhone, Rhodes Cottage, Champagne).
- The role of the landscape in the history of the fruit industry with the establishment of Rhodes Fruit Farms and its association with important figures in the development of the export fruit industry at the turn of the 20th century.
- The presence of a major corporate institution (Rhodes Fruit Farms-Amfarms) spanning more than a century and its associated impacts on the landscape in terms of farming, infrastructure, built form, patterns of labour and institutional memory.
- The incorporation of an early industrial mining landscape, possibly one of the earliest colonial-period in mines in South Africa; representation of a mid-18th century VOC mining operation linked to global trade and other VOC prospecting efforts at the Cape; layering of use over time from intensive mining activities to a place of refuge/retreat & 'passive' forms of natural resource utilisation.

#### Social value:

- Its associations with a farm working community who worked and inhabited the landscape for generations with remnant cottage clusters in the landscape being a tangible link with this history and occupying a conceptual space between the recognition of slavery and farm labour under apartheid, and a shift towards democracy.

#### Aesthetic Value:

- The cohesive and iconic visual quality of a broad agricultural sweep framed by the Simonsberg and forming a spectacular backdrop to a collection of historical set pieces located on the lower slopes (Goede Hoop, Rhodes

Cottage and Nieuwedorp).

- Views towards the landscape from the main movement network through the Dwars River Valley (R45 and R310).
- A coherent landscape structure in terms of an orthogonal field pattern reinforced by windbreaks and tree lined routes, a system of water courses feeding the Dwars and Berg Rivers and the movement network.
- The strong axis terminating at Rhodes Cottage (Cottage 1685) along the yellowwood avenue and linking the historical set piece with the Boschendal-Rhone Heritage Precinct.
- The historical movement route linking the historical set pieces of Goede Hoop, Rhodes Cottage, Nieuwedorp and Excelsior near the R45.
- Positive response in the form of a range of historical built form typologies (farmsteads, managers' houses and farm cottages) that reveal a sense of fit in the landscape in terms of a response to topographical conditions (following the contours, avoiding steep or visually exposed slopes, below the 320m contour), generally with limited footprint embedded in an agricultural landscape and located within a copse of trees.

#### **Architectural value:**

- The representative nature of the built form in terms of typology, hierarchy and historical layering.
- The intact and representative nature of Goede Hoop reflecting various stages in evolution of Cape farm werf tradition with strong evidence of historical layering and possessing a distinctive linear layout.
- The significance of Rhodes Cottage as a formal set piece in the landscape, its visual spatial linkages with Boschendal Rhone, its associations with the work of Herbert Baker and Rhodes Fruit Farms; an intact and representative example of the cottage typology with Arts and Crafts stylistic influences.
- The significance of Nieuwedorp with visual-spatial and historical linkages with Rhodes Cottage and having architectural significance in its own right.

#### **Archaeological Value:**

- The primary area of archaeological significance in the Founders' Estates is the Silvermine Landscape which has national and international significance.
- Of potential archaeological significance and sensitivity is the Nieuwedorp farmstead.

## 5.2 Grading

The Nieuwedorp farmhouse, barn and workers' cottages are included in the Grade I Founders Estate National Site proclamation (Annexure B), and also fall within the Grade I area of the Cape Winelands Cultural Landscape (Annexure C).

## 5.3 Nieuwedorp Farm Werf

The Nieuwedorp werf is of suggested Grade IIIA heritage value within the context of the NHS and has historical, architectural, aesthetic, social and scientific significance in terms of the following:

- The association of the farm with a pattern of early colonial settlement during the late 17th and 18th centuries with an emphasis on agricultural production concentrated in the well-watered fertile valleys of the region.
- Its dramatic setting with the backdrop of the Simonsberg, visual dominance of a productive agricultural landscape and views across the Valley; its careful placement in the landscape nestled into footslopes, in a copse of trees and overlooking the lands.
- Its visual-spatial and historical linkages with Rhodes Cottage (Cottage 1685) and their location in relation to the historical movement route linking the historical set pieces.
- Views towards the twin front gables of the homestead as a distinctive feature in the landscape.
- The historical layering of the farmstead; the early 20th century character of the homestead with its Cape Revival features, the long barn as predating the homestead to the late 18th early 19th century and the farm cottages dating to the mid-20th century.
- The associations of the homestead with the Rhodes Fruit Farms and architectural value in terms of its distinctive Cape Revival features and resemblance to the Baker designed Champagne homestead nearby.
- The high heritage significance of the long barn which has architectural value with emphasis on its proportions, shape and presence; historical layering in the form of distinctive early 20th century gable ends and corrugated iron roof, a much earlier wall construction and surviving interior features within the stables section (feed cribs, cobbled floor and stalls).
- The relatively informal layout of the farmstead with an absence of axial relationships and formal placement of buildings, and the manner in which the tree lined approach towards and through the farmstead is experienced as a sequence of spaces moving up the slope; the front façade of the homestead viewed across an agricultural field, the homestead and its treed garden setting, the farm yard with the strong presence of the long



barn with its impressive curvilinear gable end facing the road, an orchard zone of subtle separation between the farmstead and the farm cottages, moving up the slope as the four cottages are revealed in terms of their discrete scale and form and sense of being embedded in a an agricultural landscape and working farm (orchards, windbreaks and farm dam).

#### 5.4 Farm Cottages and Landscape Patterns

The heritage significance of the workers' cottages is largely contextual as a grouping in terms of their settlement qualities, relationship to the Nieuwedorp homestead and barn and landscape context. They have social historical significance as a representative example of farm workers' housing. Within a pattern of farm workers' housing on the estate dating the 20th century, they are a relatively early example.

Distinctive settlement qualities are based on a combination of their discrete scale and form representative of a farm cottage typology, their response to a sloping topography arranged in two building pairs stepped in relation to the slope and facing north-east with the backdrop of the Simonsberg.

The placement of the cottages in the landscape is very distinct in comparison to most of the other cottage clusters on the estate and which appear to be scattered randomly in the landscape. As a discrete grouping on the lower slopes of the Simonsberg and in relation to a stream, they also have a distinct relationship with the Nieuwedorp farmstead.

The cottages cannot be seen in isolation to the Nieuwedorp homestead and barn located below and to the east of the cottages. They are an integral component of the historical layering and settlement qualities of the farmstead as a whole including the experiential qualities of a sequence of spaces. The character of the treed space between the cottage pairs is loose and informal; no hard landscaping, no boundary treatments, no formal plantings, with a sense of being embedded in an agricultural context; part of a farm werf, surrounded by orchards and close to a farm dam.

#### 5.5 Archaeology

There are three areas of archaeological sensitivity within the Founders' Estates including the area of the Nieuwedorp homestead and its associated workers' cottages, as identified in the Draft Archaeological Residues Plan for the Founders Estates prepared by the Archaeological Contracts Office (2020; ACO).

Archaeological remains may include buried structures and domestic middens dating to the earlier and later colonial periods, all of which contribute to the understanding of the place (ACO 2013).

It should also be noted that the 1938 aerial shows an earlier kraal structure in the area of the four workers' cottages; this was likely demolished to allow for the construction of the cottages (Figure 16).

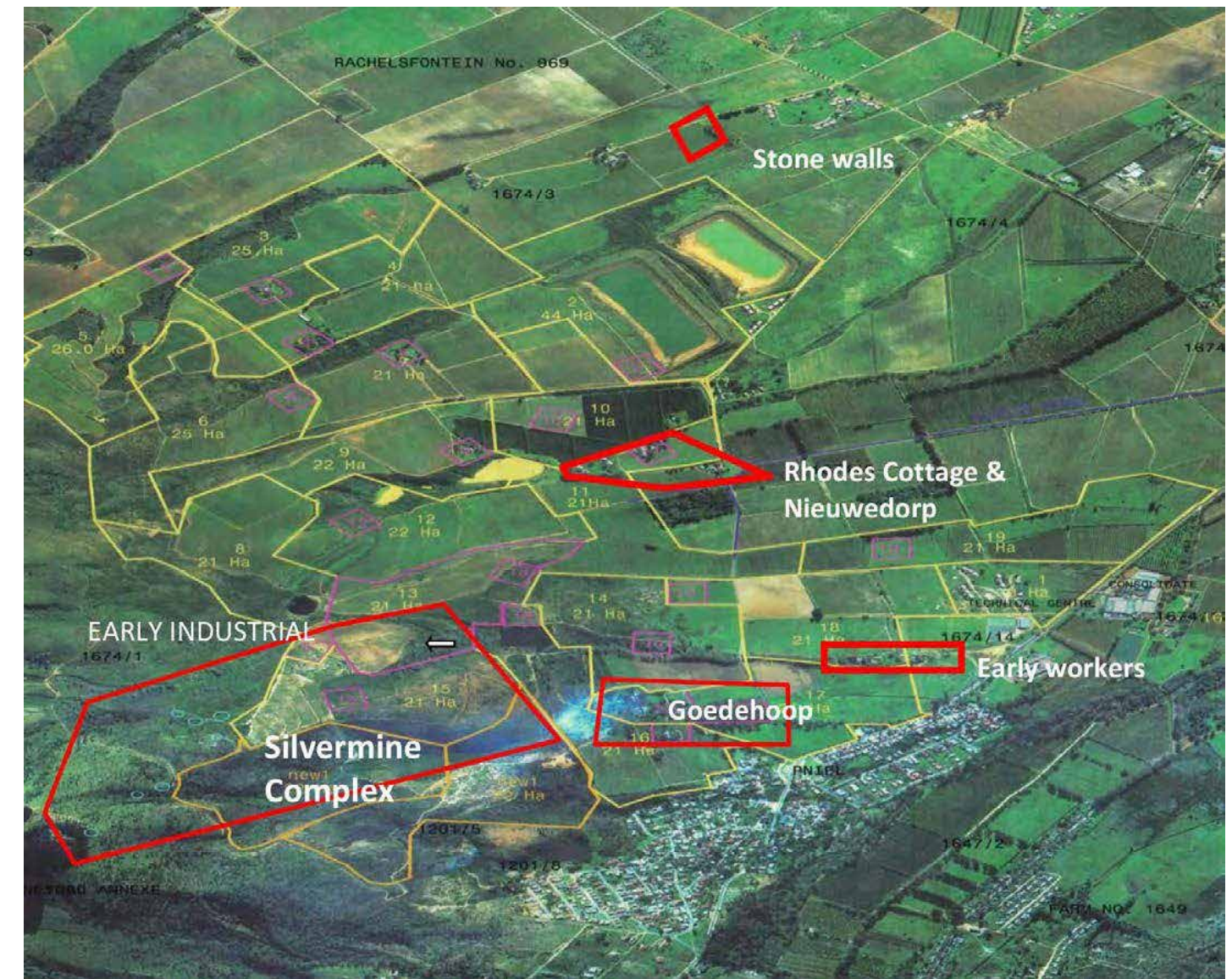


Figure 18. Area of Archaeological Sensitivity (Hart, 2013)

#### 5.6 Grading Summary

Grading of built form and landscape features within the Founders' Estates NHS;

- Nieuwedorp werf (homestead and barn): IIIA
- Nieuwedorp cottages: IIIC
- Stone lined water furrow with oak trees: IIIC



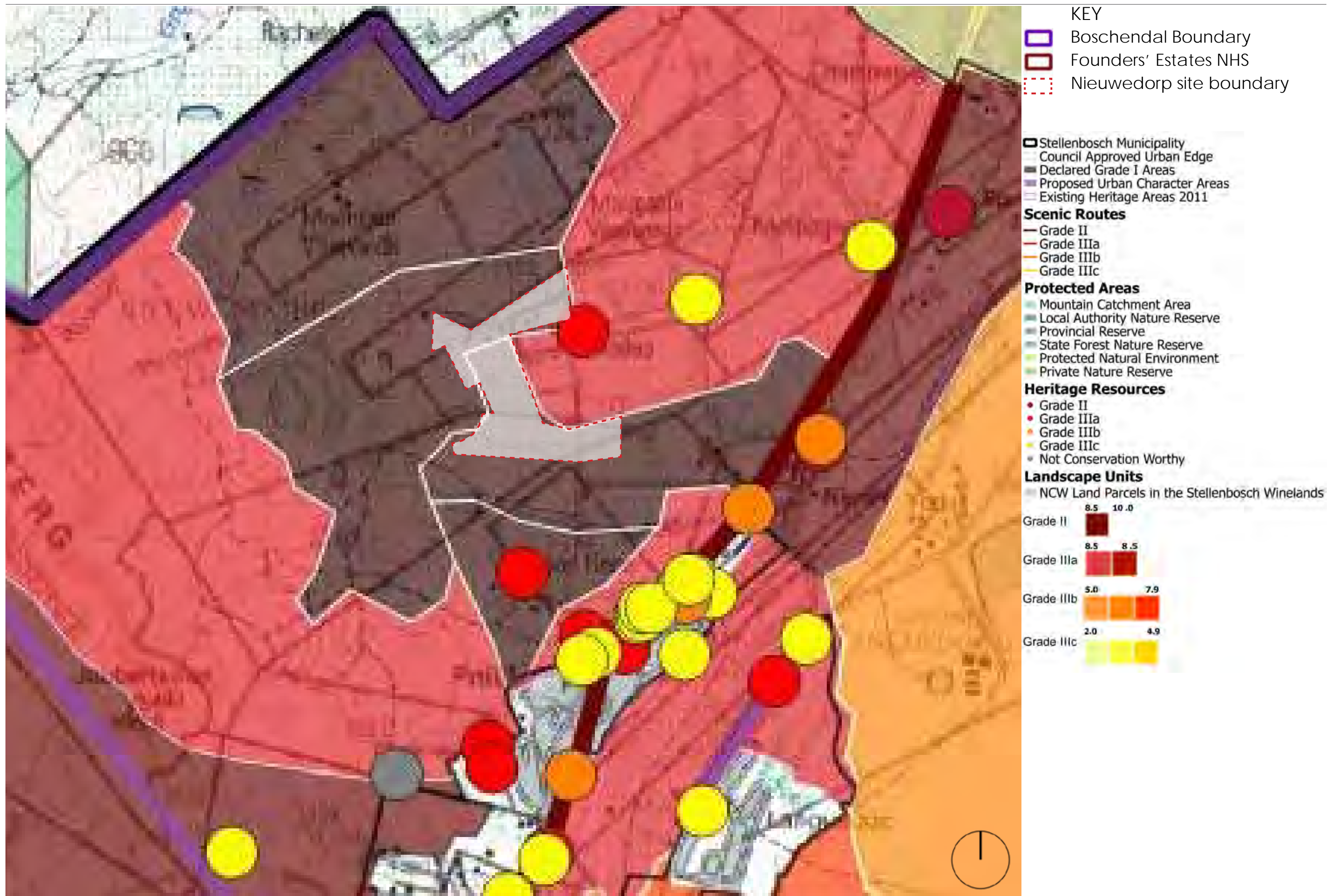


Figure 19. Stellenbosch Municipal Heritage Survey Map showing landscape gradings and heritage resources identified in the vicinity of Nieuwedorp, indicated in red (Todeschini and Jansen, 2017).





Figure 20. Heritage resources and cultural landscape features (RSA, Winter, 2021)



**SITE NAME: NIEUWEDORP**

**ADDRESS OF THE SITE**

FARM NAME	Nieuwedorp
FARM NUMBER	1685/11
CURRENT USE	Accommodation
ORIGINAL USE	Manager's Accommodation

**PROTECTION AND GRADING**

Curr. NHRA Protection	S.27
>60YRS?	Yes
PROPOSED GRADING	<b>Grade IIIA</b>
LANDSCAPE UNIT GRADE	Grade I
REVISED LU GRADE	Grade I



MAP (RSA, 2019)



SITE PHOTO

**SIGNIFICANCE**

Associational	High	Age	High
Architectural	High	Rarity	High
Archaeology	Medium	Scientific	Low
Representivity	High	Symbolic	Medium
Intangible	Medium		

**ARCHITECTURAL STYLE**

Cape Revival Style manager's house

**ARCHITECT/BUILDER**

British Colonial/RFF

**GROUPING WITH OTHER SITES**

Manager's Houses

**LATITUDE/LONGITUDE**

18°57'21.48" E      33°52'42.30" S

**SITE DESCRIPTION**

Twin gabled H-plan house with C20th layering including central verandah and exaggerated moulding on gables

**SITE HISTORY**

Manager's house after Baker style, may include earlier fabric

**CONTEXTUAL DESIGN**

Cultural landscape setting with camphor trees and relationship to earlier barn. Visual-spatial relationship with Rhodes Cottage and Champagne

**HERITAGE VULNERABILITY**

Elements in poor condition

**EVIDENCE OF DEMOLITION**

Extensive historical layering indicates some demolition

**STATEMENT OF SIGNIFICANCE**

Homestead has some architectural value in terms of its distinctive Cape Revival features and its visual-spatial connectivity and close resemblance to Champagne, albeit being a watered-down version of the original Baker design.

**INVASIVE ELEMENTS**

Rear courtyard unsympathetically enclosed

**REFERENCES**

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**RECORDING DATE** 2019/06/06 revised 2021/03/04



**SITE NAME: NIEUWEDORP**

**ADDRESS OF THE SITE**

FARM NAME	Nieuwedorp
FARM NUMBER	1685/11
CURRENT USE	Workshop
ORIGINAL USE	Barn

**PROTECTION AND GRADING**

Curr. NHRA Protection	S.34
>60YRS?	Yes
PROPOSED GRADING	<b>Grade IIIA</b>
LANDSCAPE UNIT GRADE	Grade I
REVISED LU GRADE	Grade I



MAP (RSA, 2019)



SITE PHOTO

**SIGNIFICANCE**

Associational	High	Age	High
Architectural	High	Rarity	High
Archaeology	Medium	Scientific	Medium
Representivity	Medium	Symbolic	Medium
Intangible	Medium		

**ARCHITECTURAL STYLE**

Dutch period barn

**ARCHITECT/BUILDER**

Dutch period

**GROUPING WITH OTHER SITES**

Farm Buildings

**LATITUDE/LONGITUDE**

18°57'14.86" E      33°52'44.82" S

**SITE DESCRIPTION**

Cape longhouse barn with very thick walls on stone base. End gables match farmhouse with exaggerated mouldings. Loft door and masonry stairs

**SITE HISTORY**

Part of Nieuwedorp farm complex; altered by Baker

**CONTEXTUAL DESIGN**

Part of Nieuwedorp werf

**HERITAGE VULNERABILITY**

Building in poor condition

**EVIDENCE OF DEMOLITION**

None

**STATEMENT OF SIGNIFICANCE**

Historic, aesthetic and possible archaeological significance due to age and appearance. Possible social significance related to potential early slave presence

**INVASIVE ELEMENTS**

Extensive alterations by Baker to match manager's house

**REFERENCES**

Aikman H. & Berman, A. 2005. Boschendal Heritage Assessment: Built Environment Survey and Evaluation. Unpublished report for Baumann and Winter Heritage Consultants. Aikman and Associates: Cape Town.  
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 Winter, S. 2013-2014. Review of Historical Built Environment. Unpublished report for Boschendal Ltd. Baumann and Winter Heritage Consultants: Cape Town.

**RECORDING DATE** 2019/06/06

**SITE NAME: NIEUWEDORP**

**ADDRESS OF THE SITE**

FARM NAME	Nieuwedorp
FARM NUMBER	1685/11
CURRENT USE	Vacant
ORIGINAL USE	Workers' Accommodation

**PROTECTION AND GRADING**

Curr. NHRA Protection	S-27
>60YRS?	Yes
PROPOSED GRADING	<b>Grade IIIC</b>
LANDSCAPE UNIT GRADE	Grade I
REVISED LU GRADE	Grade I



MAP (RSA, 2019)



SITE PHOTO (RSA, 2019)

**SIGNIFICANCE**

Associational	Medium	Age	Low
Architectural	Low	Rarity	Medium
Archaeology	Medium	Scientific	None
Representivity	Medium	Symbolic	High
Intangible	High		

**ARCHITECTURAL STYLE**

Mid-C20th farm worker cottages

**ARCHITECT/BUILDER**

Amfarms

**GROUPING WITH OTHER SITES**

Cottage clusters

**LATITUDE/LONGITUDE**

18°57'14.60" E      33°52'46.39" S

**SITE DESCRIPTION**

Four paired units within a stand of old oaks; built 1940s with later lean-to extension. Raised plinth, recessed entrance, large hearth. Typical of workers' accommodation

**SITE HISTORY**

Cottages build for workers in 1940s (TBC) by Amfarms. Old oaks on site and 1938 aerial indicates presence of earlier building settlement on site

**CONTEXTUAL DESIGN**

Utilises previously developed site. Paired cottages in elevated position on natural terracing behind homestead. Site bounded by road (north) and water furrow (south). Modest interface between cottages. Direct association with Nieuwedorp farm operations.

**HERITAGE VULNERABILITY**

Derelict but suitable for reuse as residential accommodation. Inappropriate reuse/ redevelopment will diminish social significance. Settlement has lost its functional use and any associated sense of community that may have existed at the time

**EVIDENCE OF DEMOLITION**

Pre-existing structure demolished prior to cottage construction

**STATEMENT OF SIGNIFICANCE**

Good, representational of workers' housing of mid-C20th, associated with a social layer that existed prior to resettlement of workers in 2003-2005. Social, symbolic and intangible significance.

**INVASIVE ELEMENTS**

None

**REFERENCES**

Aikman H. & Berman, A. 2005. Boschendal Heritage Assessment: Built Environment Survey and Evaluation. Unpublished report for Baumann and Winter Heritage Consultants. Aikman and Associates: Cape Town.  
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**RECORDING DATE** 2019/06/06 Revised 2021/03/04



## 6.0 PROPOSED HERITAGE INDICATORS AND GUIDELINES

The following heritage indicators are derived from the Boschendal Heritage Impact Scoping Report (Baumann et al., 2012)

The Boschendal Heritage Impact Scoping Report (Baumann et al., 2012) includes valuable mapping of “composite indicators” for the Groot Drakenstein-Simondium Valley. These maps were based on specialist studies, and developed through rigorous on-site analysis that has taken place over many years (Louw and Dewar, 2005; Pastor-Makhurane, 2005; Winter and Baumann, 2006; Dewar and Louw, 2007). They further served to inform the most recent heritage assessments of Boschendal (Baumann et al., 2017) and have been reviewed and supported by Heritage Western Cape in their assessment of the Boschendal Village application; as such they can be considered accepted base maps for further heritage analysis.

Two important issues underpin these indicators (Dewar and Louw, 2007). The first of these is the exceptionally high significance of the landscape which “demands that a conservative view must be taken to any development application, to ensure that the character and quality of the area as a totality is not compromised” (Dewar and Louw, 2007: 4).

The second is the necessary recognition that “the natural landscape is an essential part of the heritage of the area; the cultural landscape is a central dimension of the environment” and that “[t]hey therefore cannot be approached as separate processes” (Dewar and Louw, 2007: 4).

Baumann et al. (2015: 4) note the following regarding their approach to regional settlement formation:

*[It] was driven by a concern with authenticity...[and] to be authentic, settlement could not simply be scattered anywhere. Rather, each new development parcel should contribute to an emerging and strengthening system, where the different elements of the system lean synergistically on each other. The settlement system should relate to historical investments in infrastructure: the settlement zones should be concentrated within the zones of influence of two emerging, hierarchical, regional corridors effectively confining settlement to the periphery of the working farm.*

In terms of settlement the key principles identified were seen as being central to authenticity:

- maintaining the dominance of wilderness and the working agricultural landscape;
- maintaining and enhancing continuities (of green space and of movement);
- respecting the valley section – no development on ridge-lines, steep slopes or public view-cones; and building on the agricultural superblock.
- the overall approach is one of consolidation and integration, not scatter.

The Heritage and Cultural landscape map (Figure 27) identifies the historic farm werfs of the valley including inter alia Nieuwedorp. Any proposed work within this area should be limited, of low or no impact and should ultimately maintain and enhance heritage significance.

### 6.1 Site and Building Scale Interventions

Interventions to the Nieuwedorp homestead and associated landscape setting should be informed by the following indicators:

- The architectural composition of the main façade of the homestead, its landmark qualities and strong visual-spatial relationship to the agricultural lands below and historical movement route should be preserved as a primary heritage informant.
- Any new additions to the homestead should occur to the rear of the homestead yet remain subsidiary to the historical envelope of the H-plan, its distinctive gabled architecture and the modest scale of the building.
- The nature of new interventions should co-exist with the Cape Revival character of the homestead in terms of scale, proportions and materiality and yet still be legible as a new intervention.
- The removal of any internal historical walls should retain nibs forming part of the original layout in order to retain stability of the old walls and readability of the original rooms and fabric.
- Similarly, any openings formed should retain walling overhead as a “beam”, both to support different ceiling layouts and structural systems in the various rooms so as to avoid excessive structural interventions, and to retain the legibility of the layout.
- Period features in the form of windows, doors, floors should be retained with new joinery being date-stamped as per current heritage good practice.
- The removal of the masonry columns to the front veranda could be accommodated. While they provide a scale to the front façade they made more sense with the original (and assumed) open pergola before



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the covered veranda was installed.

- Changes to the front veranda façade should remain respectful of the overall architectural character of the building including its elevated plinth, prominent gabled bays located either side of a central veranda.
- Alterations to the non-conservation worthy garage structure should ensure that the building remains a background building to the werf ensemble and not obstruct the visual-spatial relationship between the historical homestead and barn.
- Opportunities exist to visually connect the homestead with its mountain setting and its placement on the foot slopes of the Simonsberg. Opportunities to open up this visual connection are compatible with a traditional response in terms a Cape vernacular built form.
- The significance of the historical barn to the rear of the homestead should not be overwhelmed by the scale and nature of interventions to the homestead and associated landscaping.
- The treed setting of the homestead should be retained as an integral component of the character of the overall landscape and its role in creating a sense of fit of the built form within the landscape.
- Landscaping interventions need to ensure that the rural character of the homestead remains in terms of planting patterns and hard and soft surfacing treatments.



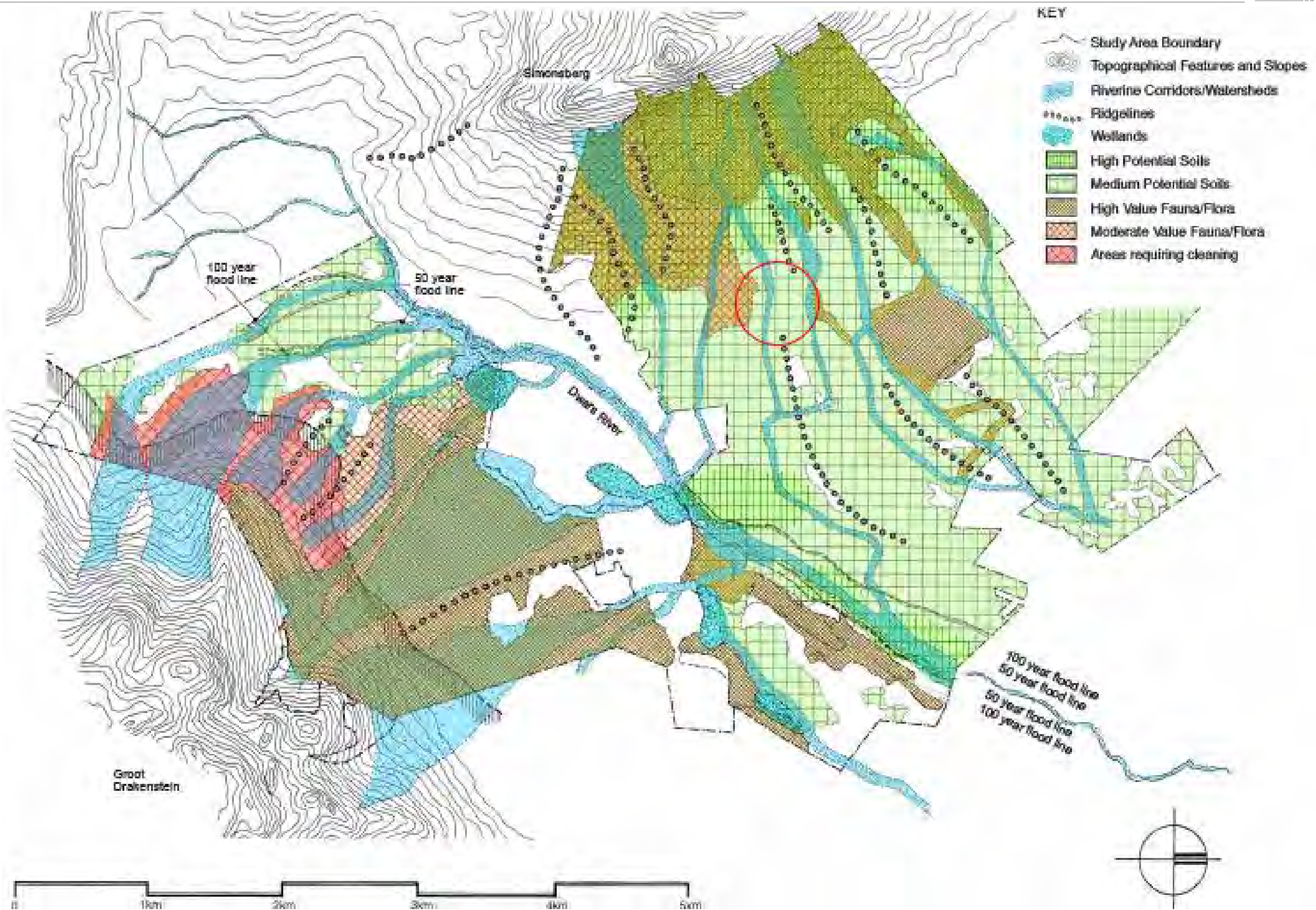


Figure 21. Natural landscape constraints and informants, Groot Drakenstein and Simondium valley (Source: Baumann et al. 2012).



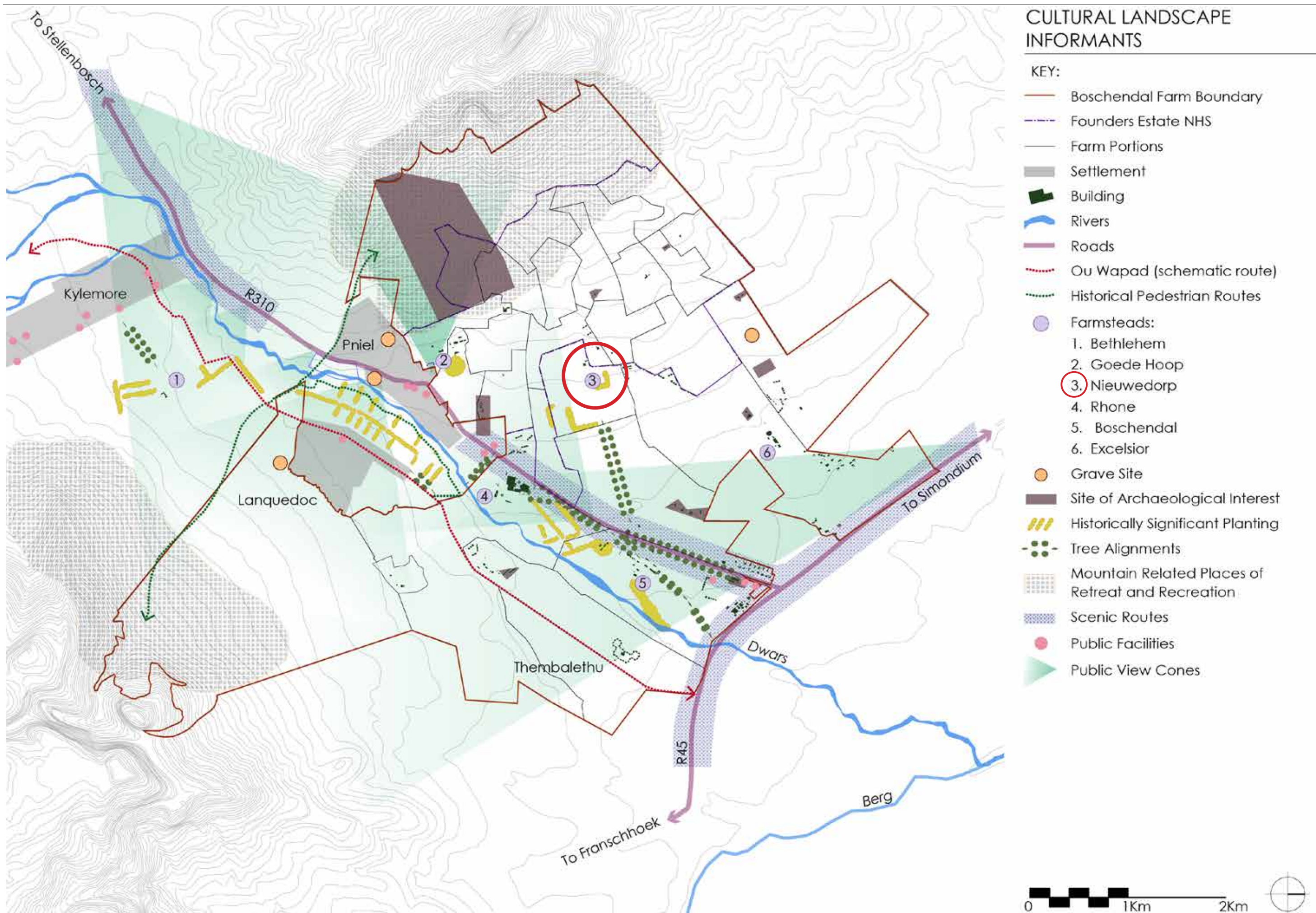


Figure 22. Cultural landscape informants (Source: RSA 2019).



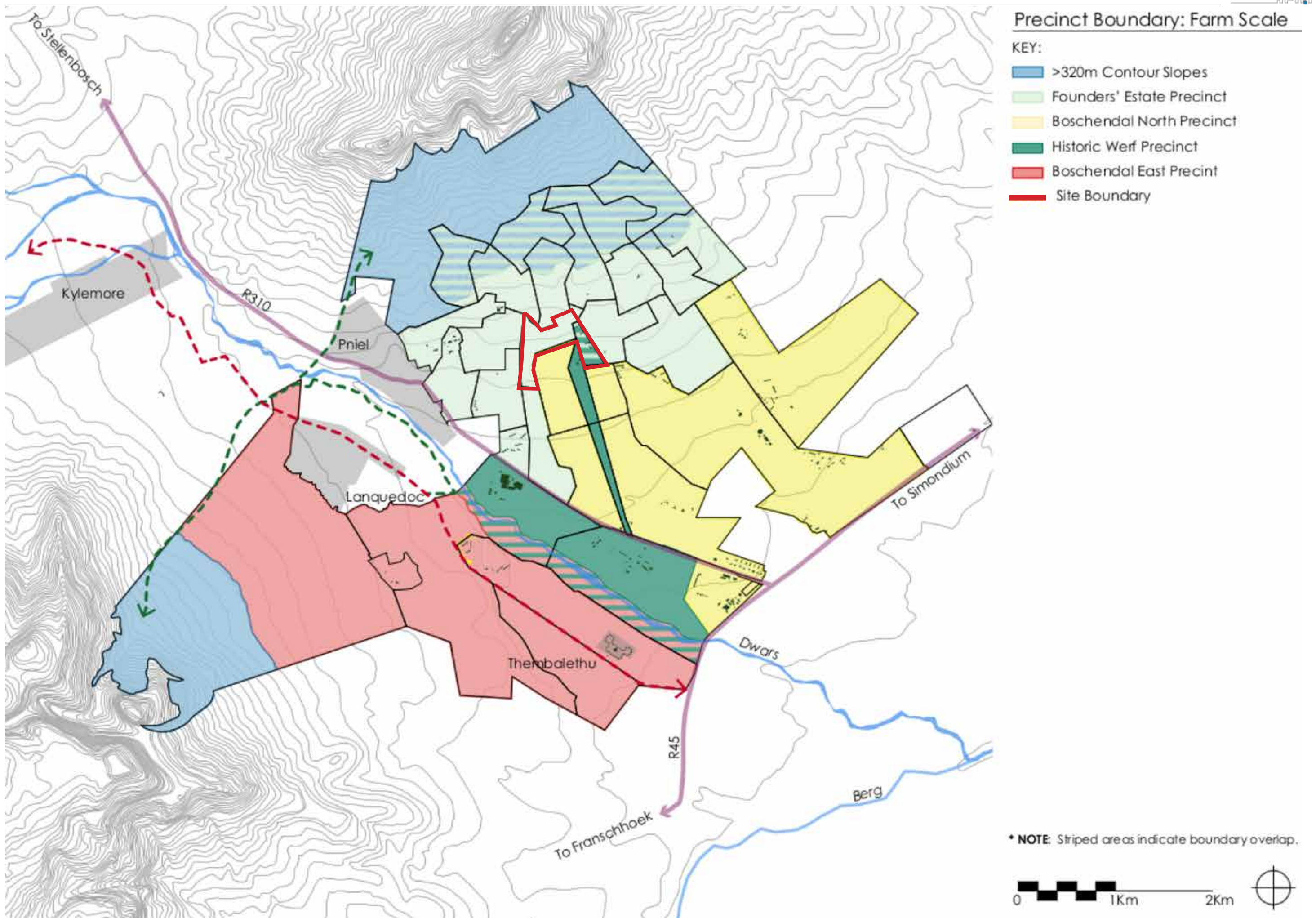


Figure 23. Boschendal farm precinct identified map (Source RSA 2019).



## 7.0 PROPOSED ACTIONS

The current proposal provides for a small extension to the existing, historic structure to provide an en suite bathroom to Bedroom 3, the bricking up of several openings within the historic house, and the creation of a new opening in an existing wall between the current kitchen and the breakfast nook. The dining room floor is to be raised in timber, and an existing fireplace wall is to be demolished. A new opening will be made in the wall between the dining room and living room, and the existing living room fireplace will be relocated. The existing facade windows onto the terrace will change position, and the stoep columns will be demolished; new stairs up to the building will be constructed.

To the rear of the historic house a new timber pergola will be built over the patio where existing external walls will be demolished.

The outbuilding will be reconfigured into a work from home study to the south, while the rear portions will comprise a garden shed and laundry, with the existing courtyard partly enclosed for a washing line. The existing parapet of this building will be raised, and a new corrugated mono-pitched roof will be installed.

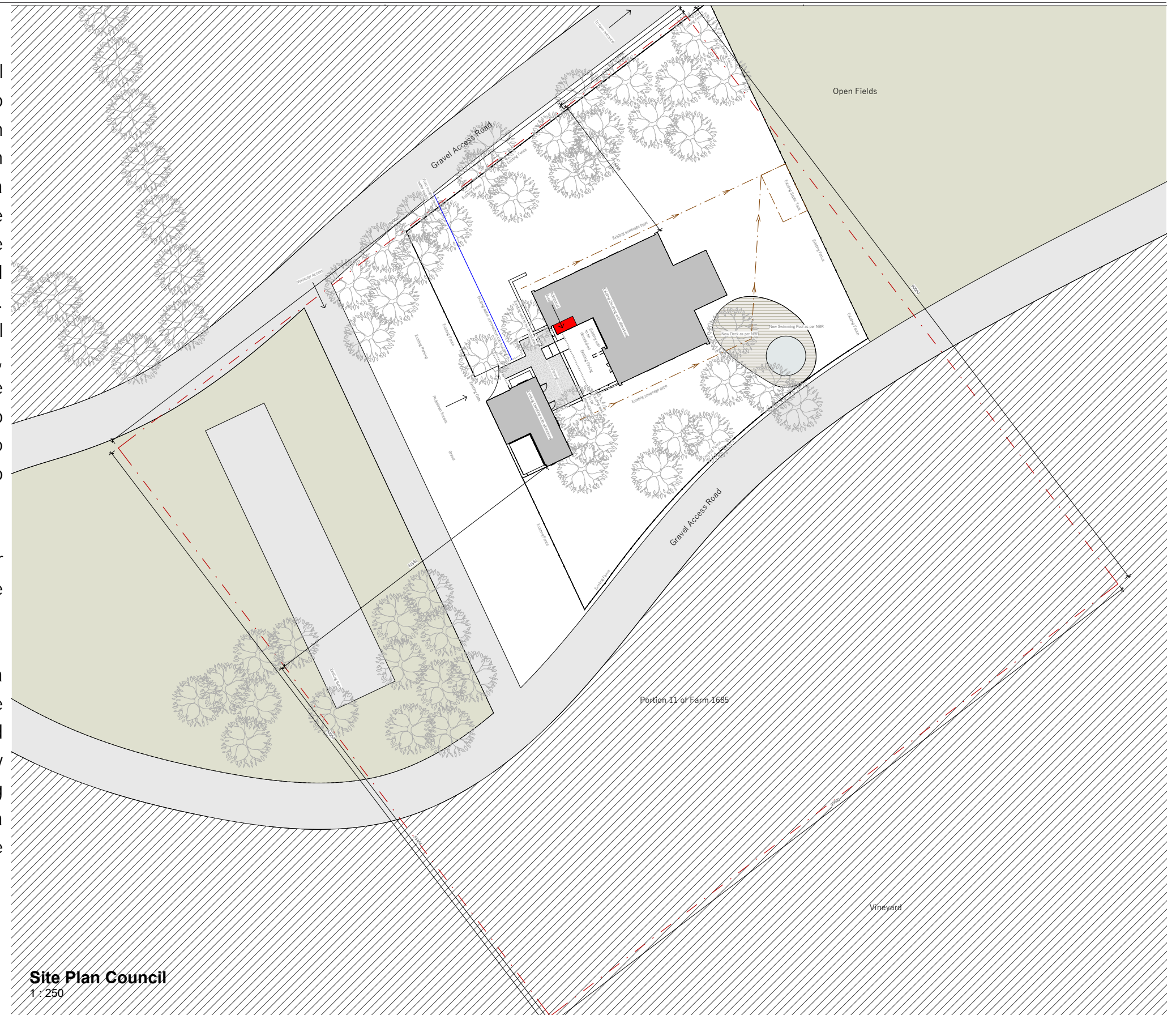


Figure 24. Site Plan (StudioMAS, 2023)



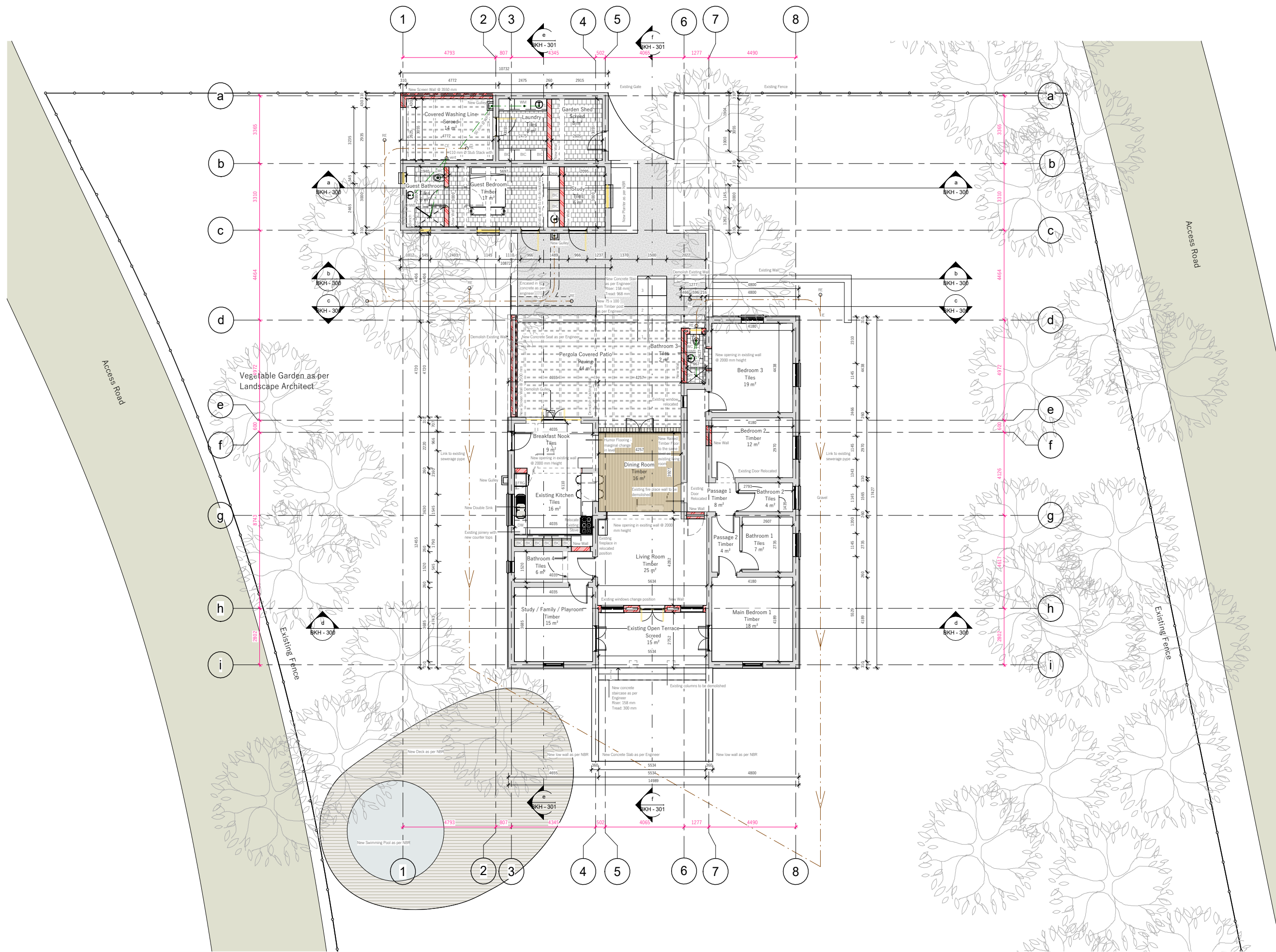
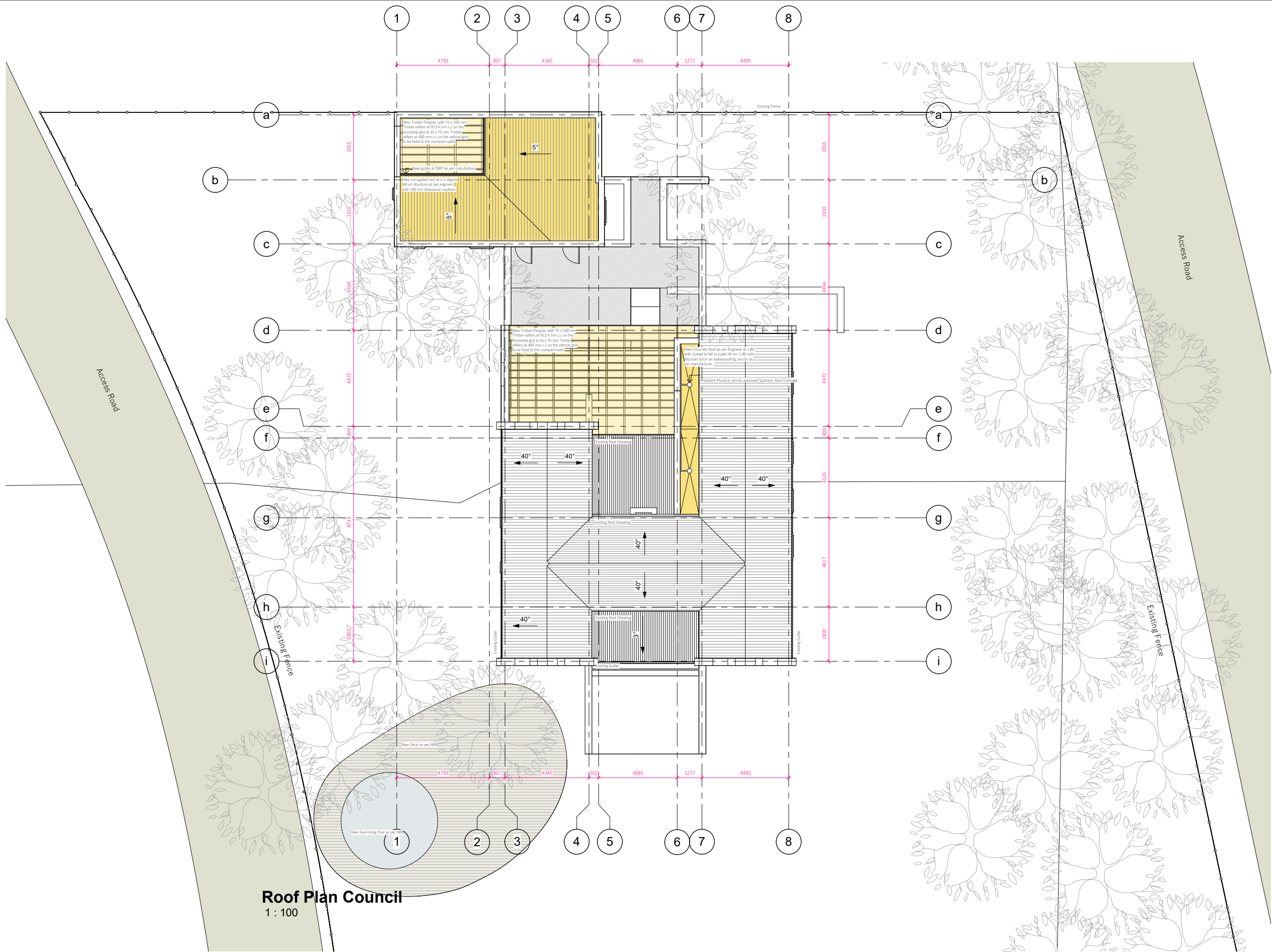


Figure 25. Floor Plan (StudioMAS, 2023)





**Roof Plan Council**  
1 : 100

Figure 26. Roof Plan (StudioMAS, 2023)



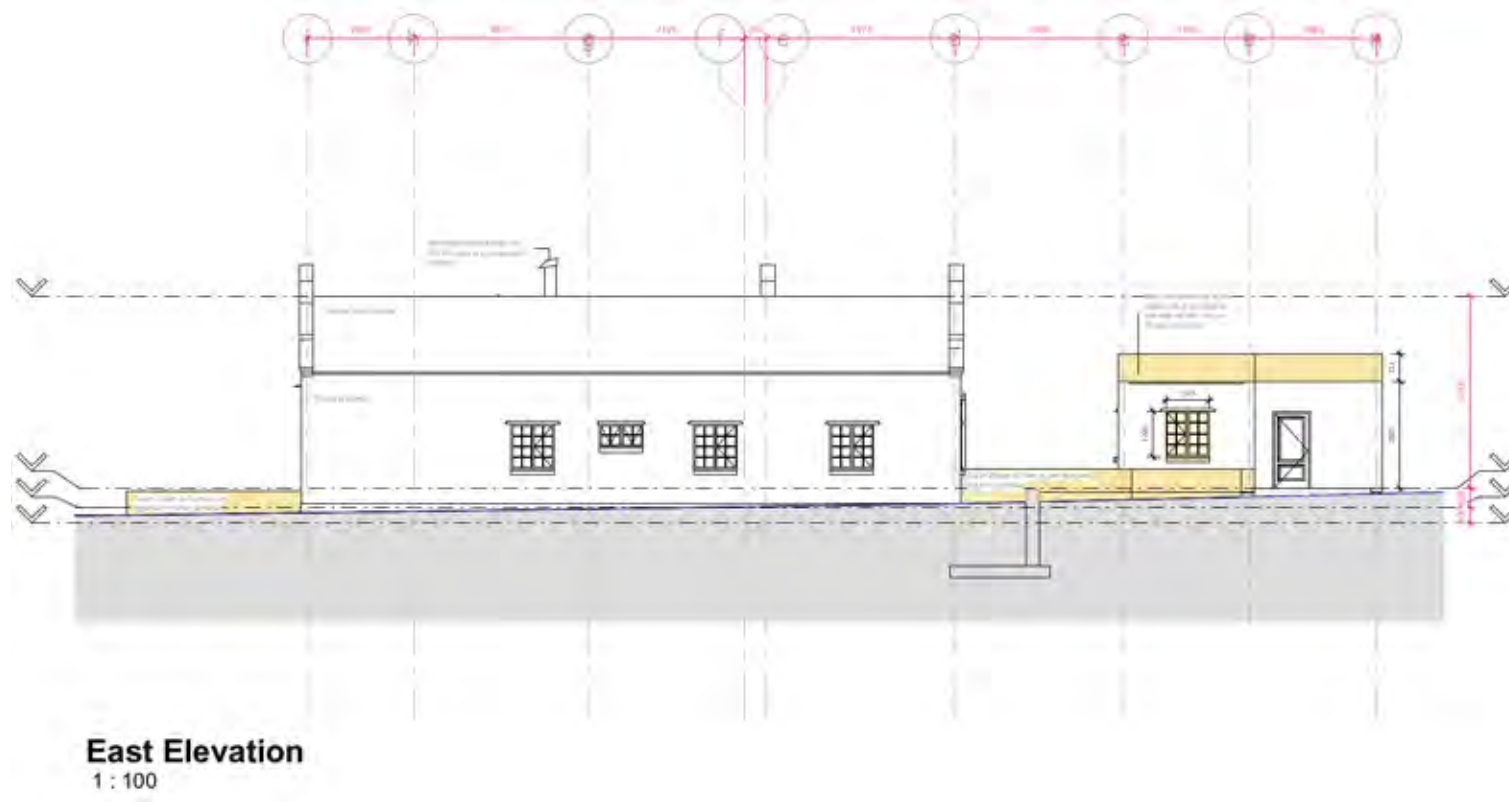
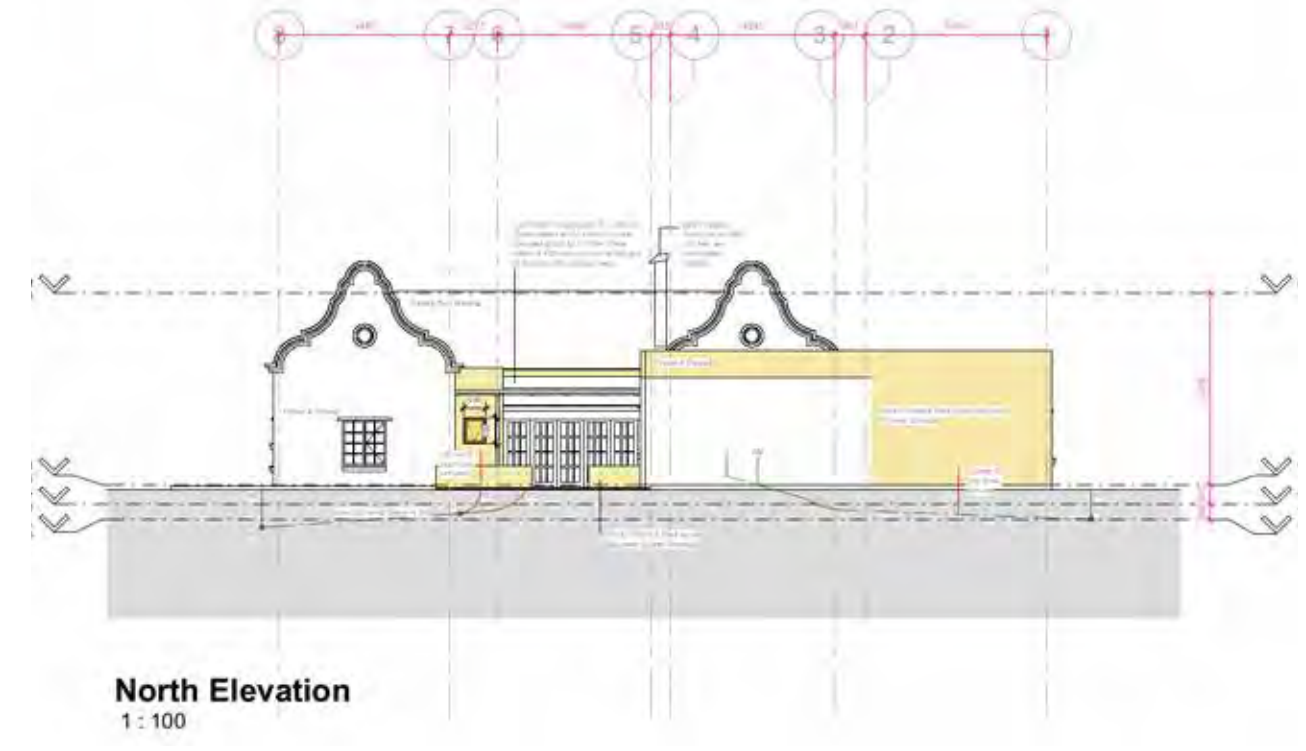
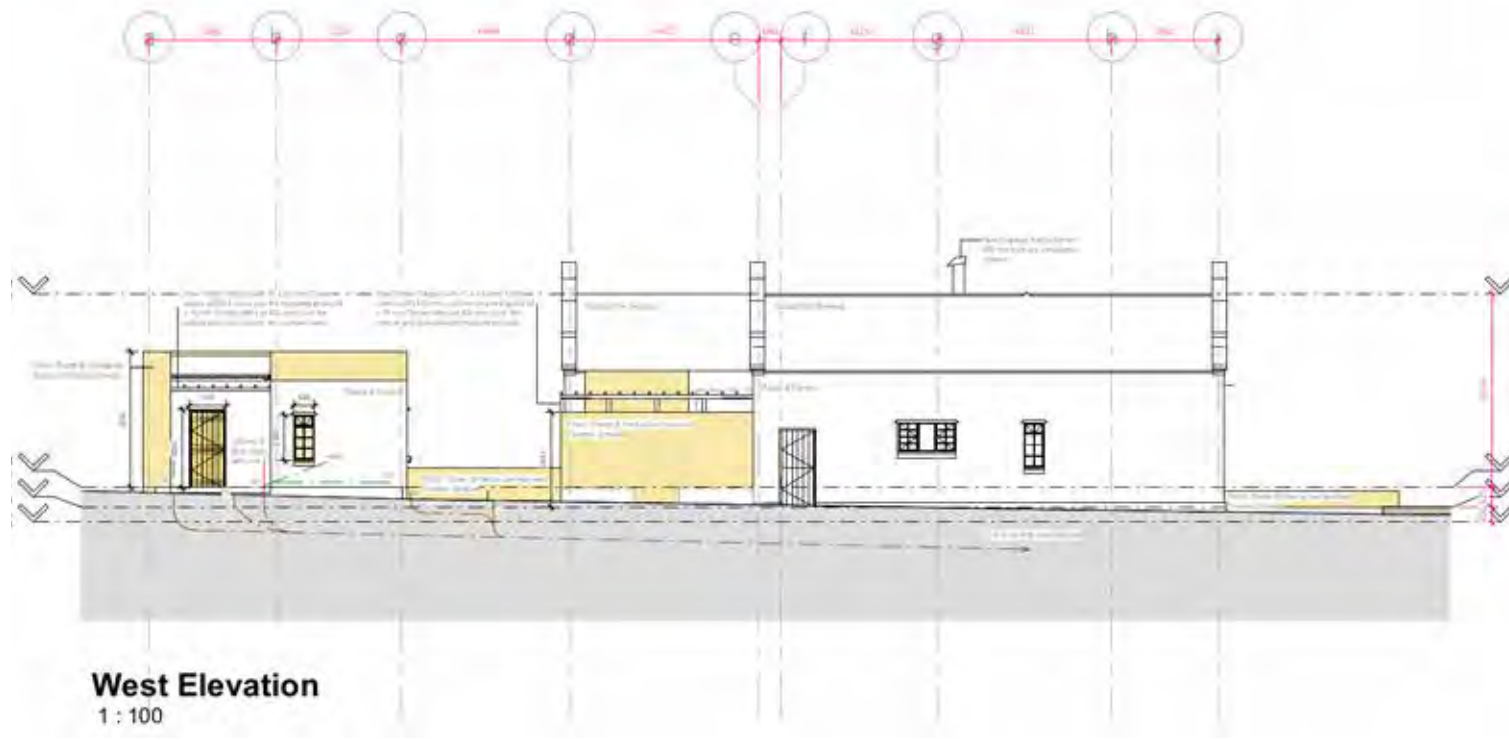


Figure 27. Elevations (StudioMAS, 2023)



## 8.0 ASSESSMENT OF HERITAGE IMPACTS

The proposed interventions adhere to the Founders Estates Design Guidelines and the heritage indicators at the broader landscape scale in terms of the following:

- There is minimal intervention to the architectural composition of the homestead with the historical envelop of the building remaining largely intact.
- Alterations and additions are visually discrete being located to the rear of the homestead and the visually prominent front façade being largely unchanged.

- The additions to the rear of the homestead appropriately scaled being subsidiary to the historic core.
- The architectural treatment of the new work is in harmony with the architectural character of the historical homestead and its rural built form typology.
- The relationship between the homestead and its landscape setting is not impacted.

At the site and building scale, the proposed interventions respond positively to the heritage indicators as tabulated below:

HERITAGE INDICATOR	POSITIVE/ NEGATIVE	COMMENT
1. The architectural composition of the main façade of the homestead, its landmark qualities and strong visual-spatial relationship to the agricultural lands below and historical movement route should be preserved as a primary heritage informant.	Positive	The proposed interventions do not impact the architectural composition of the main façade of the homestead and its landmark qualities.
2. Any new additions to the homestead should occur to the rear of the homestead yet remain subsidiary to the historical envelope of the H-plan, its distinctive gabled architecture and the modest scale of the building.	Positive	The proposed additions are largely located to the rear of the homestead and remain subsidiary to the historical core with the overall modest scale of the building retained.
3. The nature of new interventions should co-exist with the Cape Revival character of the homestead in terms of scale, proportions and materiality and yet still be legible as a new intervention.	Positive	The new interventions are in harmony with the historical character of the homestead and will be legible as a new invention, e.g. new timber pergola, window proportions to north facing façade of garage. All new joinery should be date stamped. The relocation of existing period windows and creation of a new central door on the front façade will retain the 3 bay character of the central veranda.
4. The removal of any internal historical walls should retain nibs forming part of the original layout in order to retain stability of the old walls and readability of the original rooms and fabric.	Positive	The proposed internal alterations make provision for the retention of nibs thus retaining the legibility of the original layout.
5. Any new openings should retain walling overhead as a "beam", both to support different ceiling layouts and structural systems so as to avoid excessive structural interventions, and to retain the legibility of the layout.	Positive	The proposed internal alterations adhere to the principle of retaining "beams".
6. Period features in the form of windows, doors, floors should be retained with new joinery being date-stamped as per current heritage good practice.	Positive	Significant period features have been retained with the two period windows on the front veranda façade being relocated either side of a new central door. All new joinery should be date stamped.
7. The removal of the masonry columns to the front veranda could be accommodated.	Positive	The removal of the masonry columns does not impact the heritage significance of the homestead. While the provide scale to the front façade they made more sense with the original (and assumed) open pergola before the covered veranda was installed.



8. Changes to the front veranda façade should remain respectful of the overall architectural character of the building including its elevated plinth, prominent gabled bays located either side of a central veranda.	Positive	The proposals to the front veranda façade respond positively to the overall character of the homestead. The relocation of existing period windows and creation of a new central door on the front façade will retain the 3 bay character of the central veranda.
9. Alterations to the non-conservation worthy garage structure should ensure that the building remains a background building to the werf ensemble and not obstruct the visual-spatial relationship between the historical homestead and barn.	Positive	The proposals to the non-conservation worthy garage structures ensure that the structure is a background building within the werf ensemble and does not obstruct the visual-spatial relationship between the historical homestead and the barn.
10. Opportunities exist to visually connect the homestead with its mountain setting and its placement on the foot slopes of the Simonsberg.	Positive	The proposals serve to enhance and visually connection of the homestead to the backdrop of the Simonsberg by opening up mountain views from the rear to the homestead and framed by a pergola addition.
11. The significance of the historical barn to the rear of the homestead should not be overwhelmed by the scale and nature of interventions to the homestead and associated landscaping.	Positive	The proposals are of a subsidiary scale and nature in terms of the relationship of the homestead to barn.
12. The treed setting of the homestead should be retained as integral component of the character of the overall landscape and its role in creating a sense of fit of the built form within the landscape.	Positive	The intention is to retain the mature trees forming part of the treed setting of the werf.
13. Landscaping interventions need to ensure that the rural character of the homestead remains in terms of planting patterns and hard and soft surfacing treatments.	Undetermined	The landscaping interventions have not yet been detailed and are subject to a Landscape Plan being submitted as a condition of approval.
14. Any trenching or earthmoving outside of the existing building footprint to be subject to archaeological monitoring.	Undetermined	This should be included as a condition of approval.

## 9.0 PUBLIC CONSULTATION

The Heritage Statement is to be submitted to the following local registered heritage conservation bodies for comment:

- Pniel Heritage and Cultural Trust
- Franschoek Heritage and Ratepayers Association
- Stellenbosch Interest Group
- Stellenbosch Heritage Foundation
- Drakenstein Heritage Foundation

Given the location of the site within the Dwars River Valley Rural Conservation Area in terms of the SM ZSBL, the Heritage Statement will also be submitted to the Stellenbosch Municipality Heritage Section of the Department of Spatial Planning, Heritage and Environment for comment.



## 10.0 RECOMMENDATIONS AND CONCLUSION

The Nieuwedorp homestead is located within the Founders' Estate NHS. The werf is of suggested Grade IIIA heritage value within the context of a Grade I cultural landscape and NHS.

Heritage indicators identified at the overall landscape, site and building scales have been formulated to guide the design development process and ensure that the alterations and additions to the homestead minimise impacts on the architectural composition, historical fabric, landscape setting of the homestead and its relationship to the barn.

The proposed interventions adhere to the Founders' Estates Design Guidelines and the heritage indicators at the broader landscape scale. At the site and building scale, the proposed interventions respond positively to the heritage indicators

It is recommended that the MRC endorse the proposals and that a permit be issued by SAHRA subject to the following conditions:

- A Landscape Plan be submitted in accordance with the SAHRA approved Founders Estates Design Guidelines and Draft Landscape Guidelines.
- Any trenching or earthmoving outside of the existing building footprint to be subject to archaeological monitoring.
- A close out report be submitted to SAHRA within 30 days of practical completion of the proposed works.

## LIST OF FIGURES

Figure 1. Locality Map (RSA, 2020).

Figure 2. Location of Portion 11 of Farm 1685 within Founders Estates (RSA, 2021)

Figure 3. Location of Nieuwedorp Homestead within the Portion 11 of Farm 1685 (Source: Cape Farm Mapper).

Figure 4. Site Description; Nieuwedorp naming of parts, precinct scale (Source: Cape Farms Mapper)

Figure 5. Front facade of house (RSA, 2023)

Figure 6. Lounge (RSA, 2023)

Figure 7. Lounge (RSA, 2023)

Figure 8. Main bedroom and bathroom (RSA, 2023)

Figure 9. Barn (RSA, 2023)

Figure 10. Before consolidation and subdivision 2006. Star marks Nieuwedorp (Source: Baumann, Winter 2006).

Figure 11. Developable Areas (marked with red dashed box) with the Founders Estates Portions. The Nieuwedorp farmstead is located within the Developable Area (highlighted in white) for FE 11 (RSA and Winter, 2021).

Figure 12. Nieuwedorp homestead (left); Barn building as at 2019 (right) (RSA, 2021, Winter, 2019)

Figure 13. Extract of 1923 Topographical Plan of a portion of Rhodes Fruit Farms Ltd (Source: Surveyor General, Boschendal Collection).

Figure 14. Extract, compilation of early cadastral grants. Location of Nieuwedorp (now Rhodes Cottage) and Nieuwedorp werf circled (Source: Titlestad HIA 2006).

Figure 15. Nieuwedorp homestead pre 1930s and long barn late 18th century/ early 19th century (Source: CA AG7553).

Figure 16. 1938. Shows built kraal form at top of werf area demonstrating an established settlement (Source: NGI 126\_081\_12251).

Figure 17. 1949. Shows wcottages in place, without added rear lean-to structures (Source: NGI 225\_016\_0331).

Figure 18. Area of Archaeological Sensitivity (Hart, 2013)

Figure 19. Stellenbosch Municipal Heritage Survey Map showing landscape gradings and heritage resources identified in the vicinity of Nieuwedorp. indicated in red (Todeschini and Jansen, 2017).

Figure 20. Heritage resources and cultural landscape features (RSA, Winter, 2021)

Figure 21. Natural landscape constraints and informants, Groot Drakenstein and Simondium valley (Source: Baumann et al. 2012).

Figure 22. Cultural landscape informants (Source: RSA 2019).

Figure 23. Boschendal farm precinct identified map (Source RSA 2019).



Figure 24. Site Plan (StudioMAS, 2023)  
Figure 25. Floor Plan (StudioMAS, 2023)  
Figure 26. Roof Plan (StudioMAS, 2023)  
Figure 27. Elevations (StudioMAS, 2023)

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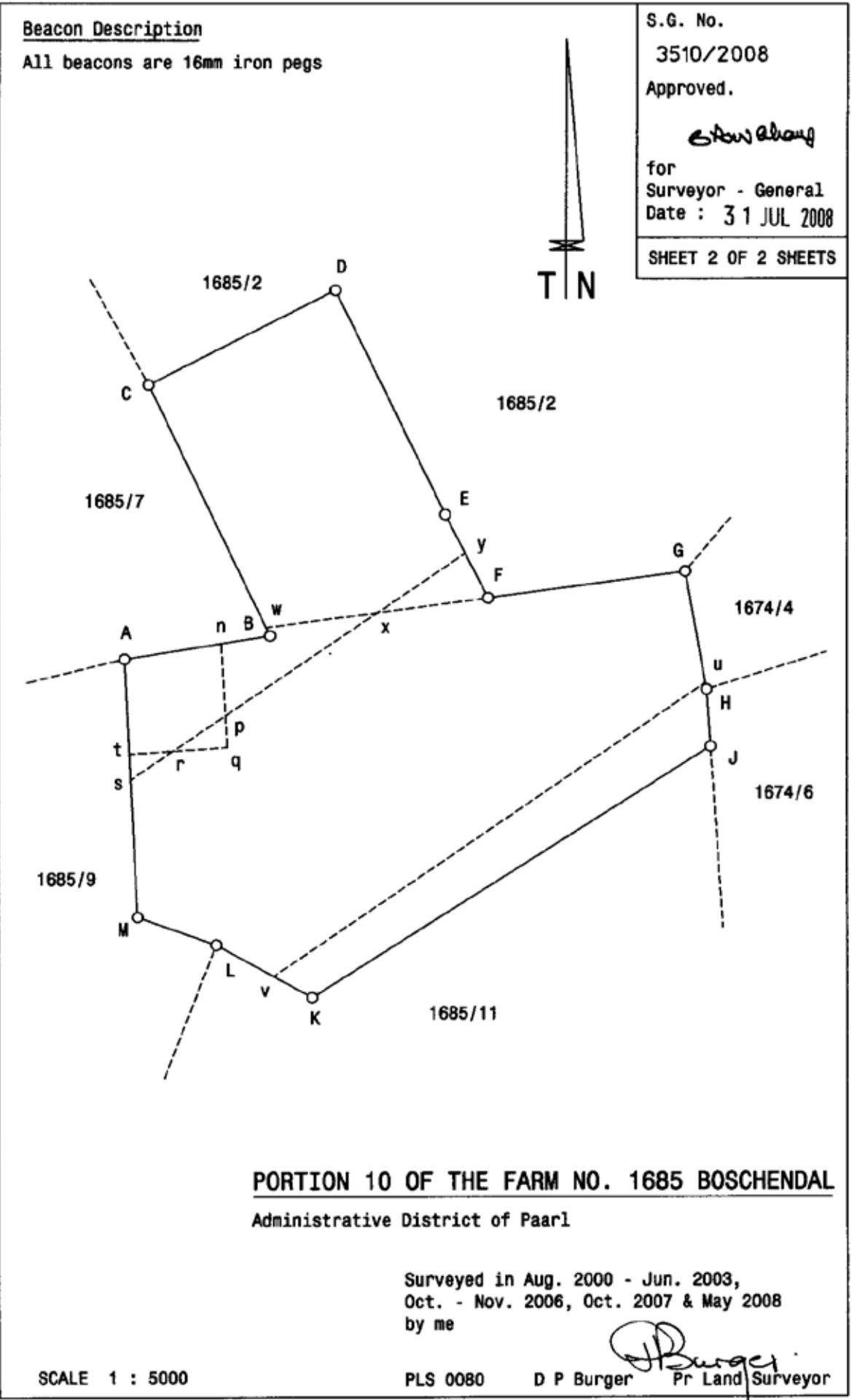
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# ANNEXURES



Annexure A: Survey Diagram (S.G. 3510/2008)

Friedlaender, Burger & Volkmann - Land Surveyors



10  
FARM 1685/24 PAARL

S



9/2/069/0041

**GOVERNMENT NOTICES  
GOEWERMENTSKENNISGEWINGS**

**DEPARTMENT OF ARTS AND CULTURE  
DEPARTEMENT VAN KUNS EN KULTUUR**

No. 120

13 February 2009

**SOUTH AFRICAN HERITAGE RESOURCES AGENCY**

*DRAFT*

**GOVERNMENT GAZETTE NOTICE FOR THE DECLARATION OF  
A PART OF THE CAPE WINELANDS CULTURAL LANDSCAPE,  
DWARSRIVIER VALLEY, BOSCHENDAL FOUNDERS ESTATE,  
TO BE PUBLISHED IN THE GOVERNMENT GAZETTE AS A  
NATIONAL HERITAGE SITE**

**DECLARATION OF THE BOSCHENDAL FOUNDERS ESTATE a  
portion of THE CAPE WINELANDS CULTURAL LANDSCAPE AS A  
NATIONAL HERITAGE SITE**

By virtue of the powers vested in the South African Heritage Resources Agency in terms of section 27 (5) of the National Heritage Resources Act no 25 of 1999 (the act), SAHRA hereby declares a PORTION OF THE CAPE WINELANDS CULTURAL LANDSCAPE, identified as BOSCHENDAL FOUNDERS ESTATE, DWARSRIVIER VALLEY, STELLENBOSCH IN THE BOLAND REGION, WESTERN CAPE PROVINCE, A NATIONAL HERITAGE SITE.

**STATEMENT OF SIGNIFICANCE**

The CWCL is significant because of its idyllic setting, rich history associated with living heritage *and* a distinctive cultural and natural environment *with* unique planned landscapes boasting an architectural and aesthetic form unique to South Africa. To the naked eye, it appears as an open-air museum. Exhibiting magnificent cultural treasures ranging from fine historic monuments, small towns and villages with a rich Cape vernacular architectural tradition, to routes of high scenic value 'dotted' with low hills and valleys. The **Boschendal Founders Estate, Dwarsrivier Valley, Cape Winelands Cultural Landscape** is a product of the interaction between the natural landscape of great scenic beauty, the tireless labour of a slave population, biodiversity and human activities and responses over a long period which have created features and settlement patterns that are equally celebrated for their beauty, richness and diversity. The Dwarsriver Valley, more than any of the other CWCL landscapes is a showcase of the genius of the slave-infused society of the Cape, with the majority of the slave descendents still working the soil. This cultural landscape encompasses a great variety of significant heritage resources, developed out of the interaction between peoples of many cultures with each other and with the place. The Cape Winelands has played an important role in the cultural development, economy and evolution of the local community and the nation, and is of local, provincial, national and international significance. At an international level, the CWCL is a physical manifestation that reflects the achievements of both slaves and their masters.

**DESCRIPTION**

The following properties are included in the protected area:

	<b>FARM NO.</b>	<b>ERF</b>	<b>FARM NAME</b>	<b>OWNER</b>	<b>TITLE DEED</b>	<b>EXTENT</b>
<b>1</b>	1674/2		Boschendal	Boschendal Ltd	T17501/2004	166.4995H
<b>2</b>	1674/5		Boschendal	Boschendal Ltd	T17501/2004	123.2548H
<b>3</b>	1674/8		Boschendal	Boschendal Ltd	T17501/2004	50.2598H
<b>4</b>	1674/9		Boschendal	Boschendal Ltd	T17501/2004	80.1969H





**GOVERNMENT NOTICES  
GOEWERMENTSKENNISGEWINGS**

**DEPARTMENT OF ARTS AND CULTURE  
DEPARTEMENT VAN KUNS EN KULTUUR**

**No. 205**

**27 February 2009**

**THE SOUTH AFRICAN HERITAGE RESOURCES AGENCY**

**CORRECTION NOTICE**

By virtue of the powers vested in the South African Heritage Resources Agency in terms of section 27 (5) of the National Heritage Resources Act, No. 25 of 1999 (the Act), hereby deletes the word "DRAFT" in both Government Notice Nos. 120 and 121 published in *Government Gazette* No. 31864 of 13 February 2009.



**Government Gazette  
Staatskoerant**

REPUBLIC OF SOUTH AFRICA  
REPUBLIEK VAN SUID-AFRIKA

Vol. 524 Pretoria, 27 February 2009 No. 31925  
Februarie

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No. 516

3 June 2005

**SOUTH AFRICAN HERITAGE RESOURCES AGENCY**

**PROVISIONAL PROTECTION OF THE CAPE WINELANDS CULTURAL LANDSCAPE AS A HERITAGE RESOURCE**

By virtue of the powers vested in the South African Heritage Resources Agency in terms of section 29 (1) of the National Heritage Resources Act no 25 of 1999 ( the Act ), read with section 29 (1) (a) (iii) of the Act , the properties described in the schedule hereunder are hereby provisionally protected for a period of two years .

**SCHEDULE**

**1. Description**

A PORTION OF THE CAPE WINELANDS CULTURAL LANDSCAPE, COMPRISING IDAS VALLEY, STELLENBOSCH; THE DWARSRIVER VALLEY, STELLENBOSCH; SIMONSBERG NATURE RESERVE, STELLENBOSCH; AND A PORTION OF GROOT DRAKENSTEIN-SIMONDUM, DRAKENSTEIN VALLEY IN THE BOLAND REGION.

2. The following properties are hereby included in the protected area:

Description of properties + extent of sites

**IDAS VALLEY**

	FARM/ ERF NO.	FARM NAME	TITLE DEED	EXTENT
1.	50	Klippias Rivieren	T4554/1967	51.9426H
2.	50/1	Klippias Rivieren	T4554/1967	51.9426H
3.	53	Rustenburg	T4554/1967	205m71r
4.	55	Rustenburg	T4553/1967	18.2659H
5.	55/4	Rustenburg	T4554/1967	6.2605H
6.	56	Schoongezicht	T4554/1967	216.7362H
7.	56/1	Schoongezicht	T4554/1967	58.2533H
8.	105	Rustenburg	T4554/1967	252.4870H
9.	106	Heather Hill	T4554/1967	34.7620H
10	106/1	Heather Hill	T35962/1998	1.1140H
11	106/2	Heather Hill	T24288/1973	8949sqm
12	107	Consolidated Farm High Rustenburg	T27503/1966	40.8827H
13	107/1	Consolidated Farm High Rustenburg	T26458/1970	1.5243H
14	108	Rustenburg	T4554/1967	2.6933H
15	109	Rustenburg	T4554/1967	6.3769H
16	111	Farm 111	T91909/1999	1.2215H
17	111/1	Farm 111	T42187/2003	5253sqm
18	111/5	Farm 111	T105723/2004	2.5H
19	111/7	Farm 111	T28822/1994	1.6738H
20	111/8	Farm 111	T3205/1965	6998sqm
21	111/9	Farm 111	T80412/1996	1.0802H
22	111/10	Rustenburg Road	T64912/1991	1706.SQM
23	112	Farm 112	T40310/1990	4.9308H

22 No. 27614

GOVERNMENT GAZETTE, 3 JUNE 2005

24	123	Idas Valley & Nazarith	T4554/1967	85m 49241f
25	123/9	Idas Valley & Nazarith	T46964/2004	2613sqm
26	157	Farm 157	T4554/1967	45m253r
27	159/1	Glenelly	T4554/1967	1m 282r30f
28	164/1	Idas Valley Proper	T88170/2000	3.5179H
29	164/2	Idas Valley Proper	T4554/1967	9m254sqrd
30	164/3	Idas Valley Proper	T4554/1967	9m 192sqrd
31	164/4	Idas Valley Proper	T23171/1989	1.2564H
32	164/5	Idas Valley Proper	T34349/1971	1927sqm
33	165/1	Idas Valley Proper	T8261/1950	170.4148m
34	167	Lindani	T8261/1950	16.6696m
35	1067	Farm 1067	T39253/1975	43.1598H
36	1075/3	Undosa	T28886/1975	6.10H
37	1075/6	Ida's Valley	T28890/1975	6.8947H
38	1092	Farm 1092	T28891/1975	14.79H
39	1274	Heather Cottage	T35138/1988	1.3224H
40	1408/1	Rust en Vrede Trust	T77197/2001	
41	1408/9	Kelsey Farm (Pty) Ltd	T65565/2004	17.7857H
42	1408/10	Kelsey Farm (Pty) Ltd	T65566/2004	12.2331H
43	167,4	Lindani	T15756/1968	4,0.001M
44	167,6	Lindani	T8642/1968	3,4217H

**DWARS RIVER VALLEY**

Including the certain portions (as identified below) of the historical settlements of Pniel, Lanquedoc Johannesdal and Kylemore

1)	FARM ERF NO	FARM NAME	TITLE DEED NO	EXTENT
1	153	Old Bethlehem	T17499/2004	78.2330h
2	153,7	Old Bethlehem	T17499/2004	11.7002h
3	153,1	Old Bethlehem	T17499/2004	13.1701h
4	153,4	Old Bethlehem	T17499/2004	27.6944h
5	153,5	Old Bethlehem	T17499/2004	28.5183h
6	153,6	Old Bethlehem	T17499/2004	91.5997h
7	153,2	Old Bethlehem	T17499/2004	20.2962h
8	153,9	Old Bethlehem	T17499/2004	17.8637H
9	153,10	Old Bethlehem	T17499/2004	21.2846H
10	153,11	Old Bethlehem	T17499/2004	19.1588H
11	153,12	Old Bethlehem	T17499/2004	69.6436H
12	153,13	Old Bethlehem	T17499/2004	29.8347H
13	1674	Boschendal	T17496/2004	2.5903H
14	1173*	Boschendal	T81716/1993	25.6688H
15	1173/6	Rhonen+Lanquedoc	T41201/1989	4640.00sm
16	1171	Farm 1171	T86619/2002	10.2925H
17	1172	Farm 1647	T2464/2002	568.7646
18	1170/7	Normandy	T93366/1995	134.5194ha
19	1170/4	Now erf 9262, Kuilsriver	T2464/2002	568.7646ha
20	1170/8	Normandy	T100180/2000	
21	1170	Normandy	T56463/2004	27.79H
22	1202/1	Farm 1202	T50583/1995	2.89H
23	1219	Kyk in de pot	T3571/1981	9100.sqm
24	1218	Kyk in de pot	T3571/1981	6.6H
25	1218/1	Kyk in de pot	T5540/1998	1429.sqm



26	140	Kylemore	T17238/1962	8.5161H
27	140/2	Kylemore	T67628/2004	2019.sqm
28	151	Kylemore	T56137/1983	1.75H
29	150	France	T67628/2004	9.1286H
30	149	Murray	T67628/2004	3.9291H
31	146/1	Parsley	T19119/1978	1.58.8H
32	147/8	Roode Hek	T12893/1978	3541.sqm
33	147/5	Roode Hek	T78442/1993	7435.sqm
34	1345	Rust en Vrede	T28468/2001	1.3778H
35	124/62	Rust en Vrede	T26531/1974	1.7676H
36	124/37	Rust en Vrede	T6574/1965	3128.sqm
37	124/64	Rust en Vrede	T36469/1979	1.71.92H
38	1206	Farm 1206	T72735/1992	1.73H
39	1206/3	Farm 1206	T15407/2002	2.41H
40	1207/1	Farm 1207	T2237/1998	1.11.35H
41	1207	Farm 1207	T301/1999	R1.99H
42	1208	Farm 1208	T44656/1992	3.27H
43	1209	Johannesdal	T15122/1979	5.74H
44	1209/1	Johannesdal	T30834/1976	1.92H
45	1204	Farm 1204	T12487/1960	5F69sqm
46	1210	Farm 1210	T3808.1996	3.42H
47	1211	Farm 1211	T41518/1975	R1.29H
48	1211/1	Farm 1211	T650/1990	1.54H
49	1331	Zeven Rivieren	T27699/1994	213.15H
50	1202	Farm 1202	T12487/1969	54.83H
51	1173	Boschendal	T17496/2004	2.5H
52	1281/1	Farm 1281	T64312/2004	85.066H
53	1281	Farm 1281	T30826/1998	84.5H
54	1674/1	Boschendal	T17501/2004	200H
55	1201/5	Farm 1201	T26206/2001	5.2H
56	1201/8	Farm 1201	T67304/1995	7.56H
57	1193/4	Boschendal	T17496/2004	2.5H
58	1193/5	Boschendal	T17496/2004	2.5H
59	1194/8	De Goede Hoop	T4964/1895	4262sqm
60	961/1	Farm 961	T80436/1999	2.456H
61	969	Rachelsfontein	T7263/1904	84M
62	966/5	Wolwekloof	T2158/1965	145.8H
63	1647	Boschendal	T17496	2.5903H
64	1647/2	Farm 1647	T17500/2004	69.2H
65	1647/1	Farm 1647	T17499/2004	49.537H
66	1647/3	Farm 1647	T17495/2004	8.7H
67	1674/8	Boschendal	T17501/2004	50.H
68	1674/9	Boschendal	T17501/2004	80.1969H
69	1674/6	Boschendal	T17499/2004	42H
70	974	Farm 974	T61045/1991	9.9234H
71	1674	Boschendal	T17496/2004	2.5H
72	1674/9	Boschendal		80.1969H
73	975	Farm 975	T61045/1991	
74	976	Farm 976	T61045/1991	1.1594h
75	977	Rachelsfontein	T17289/1987	6997.sqm
76	1674/5	Boschendal	T1750/2004	123.2H
77	1674/2	Boschendal	T1750/2004	166.H
78	1674/4	Boschendal	T17499/2004	165.2H
79	1674/7	Boschendal	T17499/2004	106.H

80	1674/10	Boschendal	T17501/2004	106H
81	1674/11	Boschendal	T17499/2004	76.H
82	1674/1	Boschendal	T17501/2004	200.042H
83	1674/6	Boschendal	T17499/2004	42.4H
84	1674/8	Boschendal	T17501/2004	50.2H
85	116/1	Farm 116	T82569/2002	10.9H
86	1674/3	Boschendal	T17499/2004	115.912H
87	1674/12	Boschendal	T17501/2004	188.3H
88	1674/14	Boschendal	T17502/2004	9.9H
89	1674/13	Boschendal		341.94H
90	1173/2	Rhonen & Lanquedoc	T9361/1906	143sqrd
91	1007/2	Wetevreden	T9364/1906	594Sgrd
92	1169	Farm 1169	T21721/1991	79.3368H
93	1165	Farm 1165	T28080/1984	21.58
94	1162/9	Farm 1162	T41009/1987	27H
95	1162/10	Farm 1162	T4315/1988	16.39H
96	1162/8	Farm 1162	T19292/1999	4.3298H
97	116	Farm 116	T74091/2000	35.H
98	1509	Farm 1509	T86155/1993	54.H
99	1510	Farm 1510	T86154/1993	92.42H
100	978/3	Tonis Fontyn	T32944/1991	1.17H
101	978/5	Tonis Fontein	T48094/1994	3.42H
102	982/2	Werda	T89555/1997	4.28H

SIMONSBERG FOREST RESERVE

	FARM/ERF NO	FARM NAME	TITLE DEED NO	EXTENT
1.	967	Farm 967	T15758/1903	200sqrd
2.	46	Wegda	T55462	106.56H
3.	1201	Boschendal	T17496/2004	2.5903H
4.	1217	Farm 1217	T71275/1997	25H
5.	1217/1	Farm 1217	T22352/1999	17.57H
6.	1217/2	Farm 1217	T77685/1991	3..91H

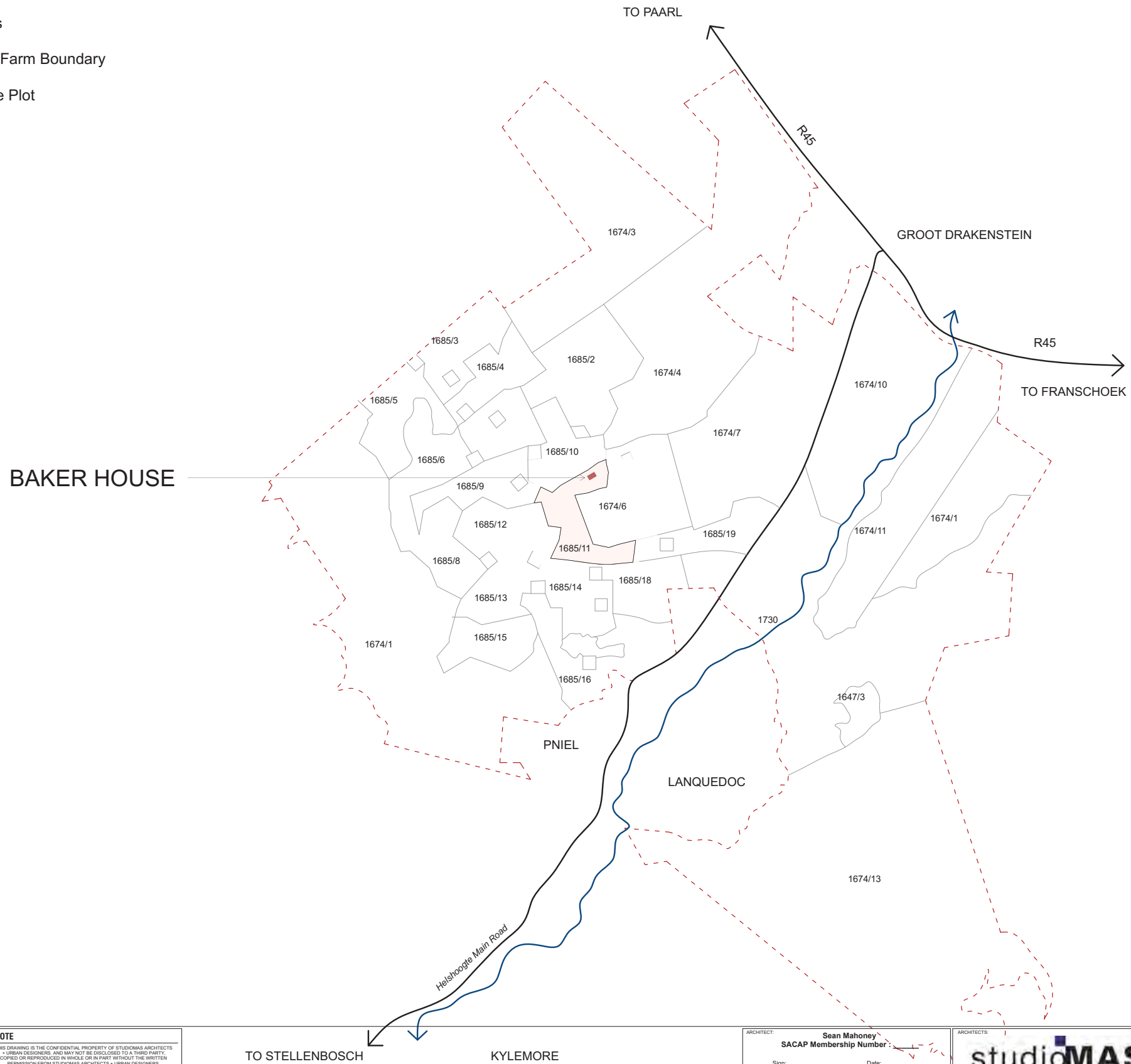
GROOT DRAKENSTEIN-SIMONDIUM

	FARM/ERF NO	FARM NAME	TITLE DEED NO	EXTENT
1	968	Le Plaisir Merle	T2158/1965/1904	593M
2	1264	Antonisfontein	T36385/1988	37.7H
3	1264/1	Antonisfontein	T18276/1980	12.1/H
4	945	Farm 945	T8366/1977	5.6272H
5	1477	Farm 1477	T104005/2002	18.9H
6	1221	Watervliet	T96982/1997	41.09H
7	941	Nieuwe Hoop	T29425/2000	21.64H
8	1223	Nieuwe Hoop	T29425/2000	26.207H
9	1223/1	Nieuwe Hoop	T65512/2000	20.414H



**KEY**

- Major Roads
- Boschendal Farm Boundary
- Baker House Plot



2: studioMAS - professional studioMAS project to Boschendal Farm 1685 Stellenbosch Estate 2023.rvt

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 The contractor shall in all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No. 85 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941.  
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 All work to be executed by competent persons qualified for the specific trade.

TO STELLENBOSCH

KYLEMORE

ARCHITECT: **Sean Mahoney**  
 SACAP Membership Number: \_\_\_\_\_  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN:  
**Owner**  
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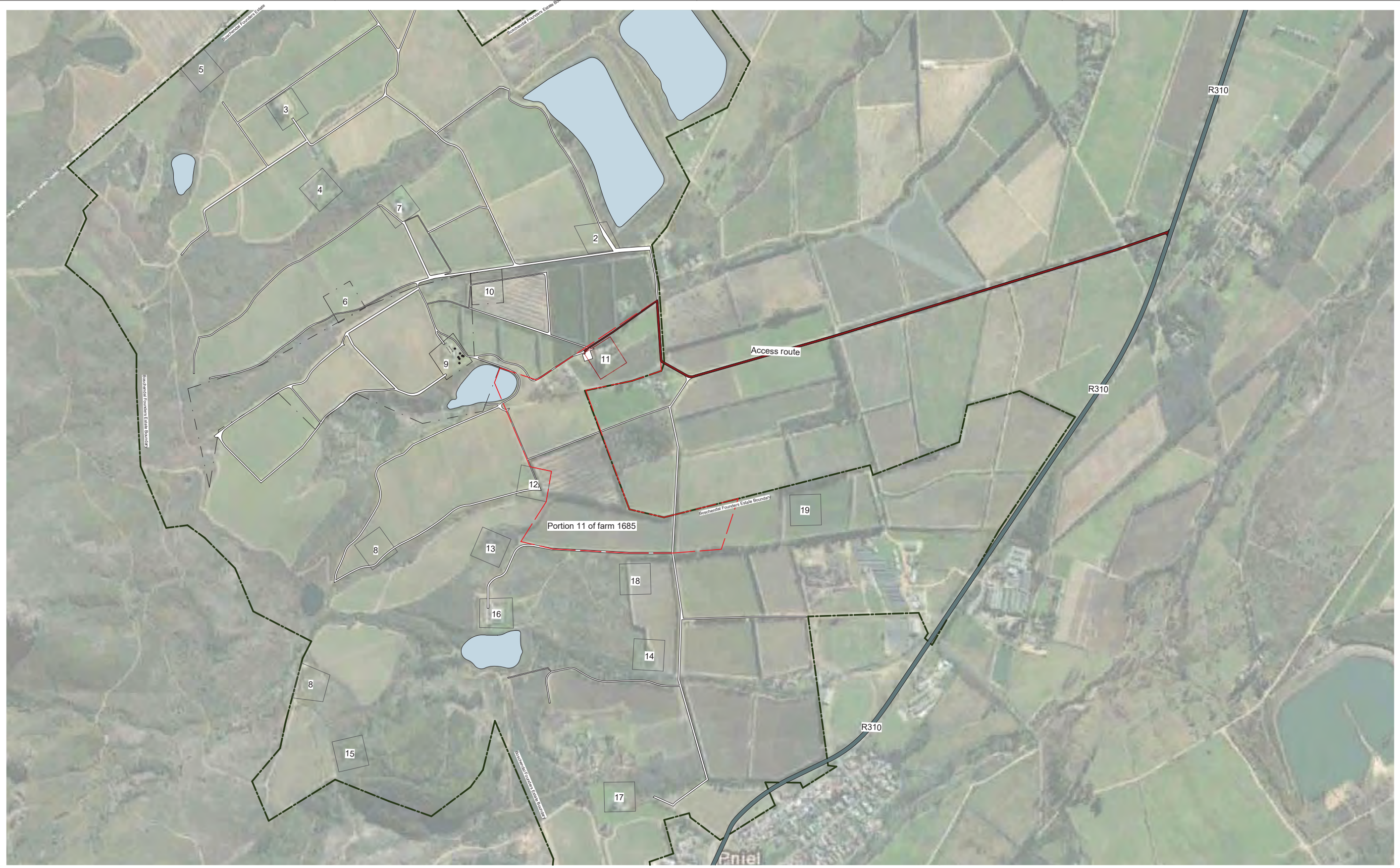
PROJECT: **Boschendal Baker House: Building Alterations**

Portion 11 of Farm 1685

SHEET DESCRIPTION			
Unnamed			
DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/16	@ A1
Dwg No.		Project Status	
BKH-M-		001	







2: studioMAS architectural studios/1685 - project/Boschendal Baker House/2023/1685

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 The contractor shall set up, document and maintain a quality assurance and quality control system. All materials and workmanship, whether their source, meet the requirements of the Specification. Should the Contractor or any of his sub-contractors be certified to the SANS 9000 family of standards then monitor these works accordingly.

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 All dimensions and levels must be checked on site by the contractor before putting work in hand.  
 All work to be executed by competent persons qualified for the specific trade.

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 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

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PROJECT: **Boschendal Baker House: Building Alterations**  
 Portion 11 of Farm 1685

SHEET DESCRIPTION: **Locality and Access**

Author	Checked	Date	Scale
		2023/03/16	1:5000 @ A1
<b>Dwg No.</b>		<b>Project Status</b>	
<b>BKH-M-002</b>			







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**Note:**  
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 SACAP Membership Number : \_\_\_\_\_  
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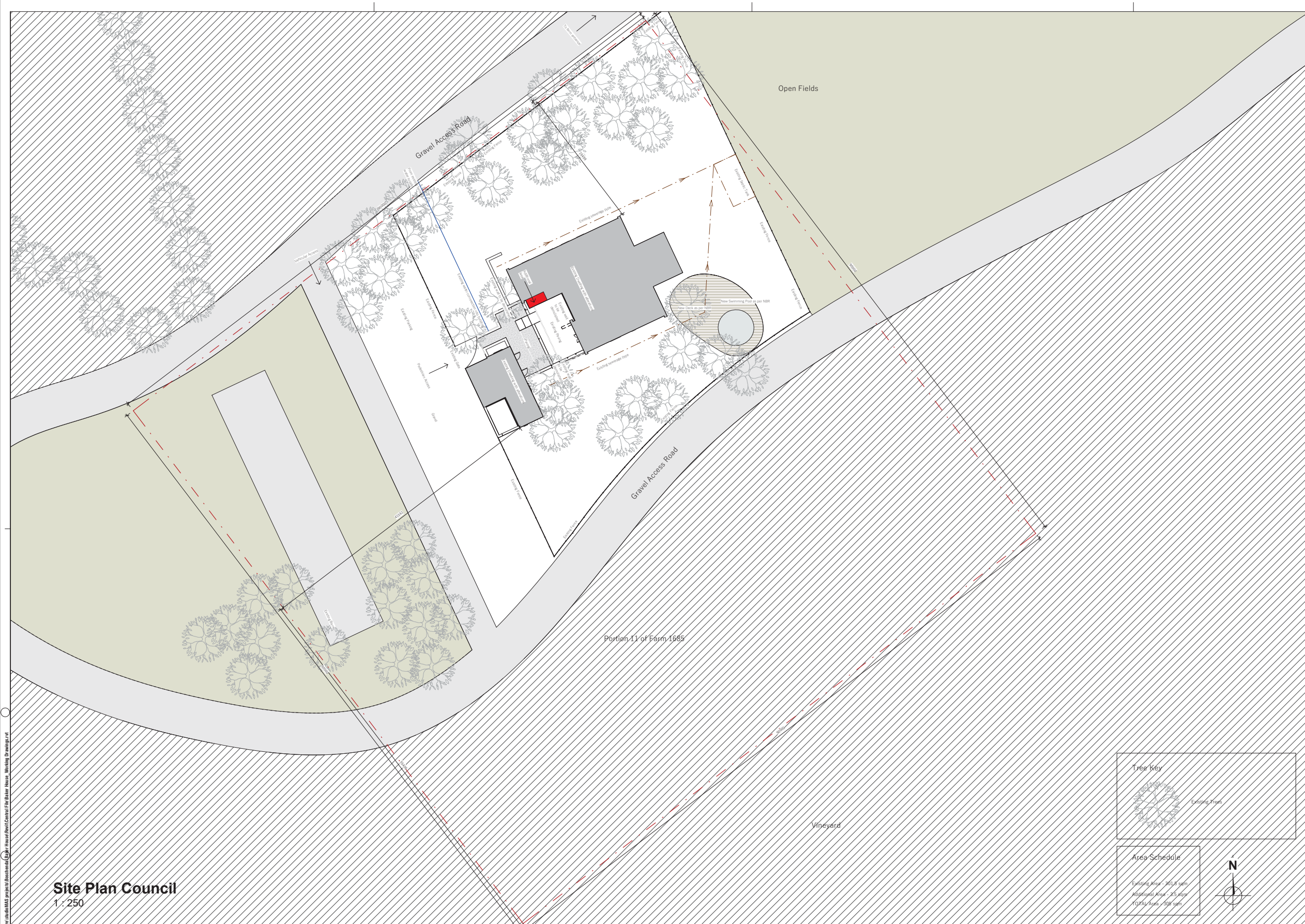
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PROJECT: **Boschendal Baker House: Building Alterations**  
 Portion 11 of Farm 1685

SHEET DESCRIPTION			
Proposed Development Plan			
DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/16 12:31:25 PM	1:1000 @ A1
Dwg No.		Project Status	
<b>BKH-M-</b>	<b>003</b>		





**GENERAL NOTES**

**GENERAL NOTES & SPECIFICATION:**  
Contractor must verify all levels and dimensions on site before commencing work or shop drawings. All discrepancies and/or errors to be reported to Architect immediately. **DO NOT SCALE THE DRAWINGS. IF INFORMATION IS REQUIRED CALL THE ARCHITECT.** This drawing to be read in conjunction with all relevant Consultant's drawings. All builders work to comply with the National Building Regulations (SANS 10400)

**STRUCTURAL DESIGN**  
Structural design to comply with SANS 10400 Part B  
Complete structural system to be as per structural engineer design and specification.

**FOUNDATIONS**  
All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
**Brickwork to comply with SANS 10400 Part K**  
**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickwork to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center's, approx. every 2nd parapet. All External wall cavities to contain SABS approved insulation board as required by XA report.  
**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
Drywall partitioning per manufacturer spec.  
**LINTELS and BEAMS**  
Precast lintels built over openings exceeding 1.2m (max 3m) to have min 4 courses brickwork and brickwork over  
**DPM/DPC**  
All DPM's/DPC's to all walls to be of high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
**All floors to comply with SANS 10400 Part J**  
Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand blinding on hardcore as per engineers spec.  
All suspended slabs to engineers spec.

**ROOF**  
**All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L.**  
All structural elements to be: Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification. Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
**Risers, treads, landings and balustrades to comply with SANS 10400 Part M where applicable.**  
All stairs to have handrails and balustrades on both sides @ min 1m above fl.

**HANDRAILS AND BALUSTRADES:**  
**To comply with SANS 10400 Part D, Part M & Part S.**  
All balustrades to be min 1m high above fl. Fixing details to structural engineer's specification.

**DOORS**  
All external doors to be weatherproof as per SANS 10400  
Door/window frames to be sealed to later spec.

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
Door/window frames to be sealed to later spec.

**GLAZING:**  
**All glazing to comply with SANS 10400 Part N.**  
Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
**Naturally lit and ventilated to comply with SANS 10400 Part O**  
Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
**Plumbing items and drainage to comply with SANS 10400 Part P**  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gutters to have minimum depth of 450mm. All scuppers must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

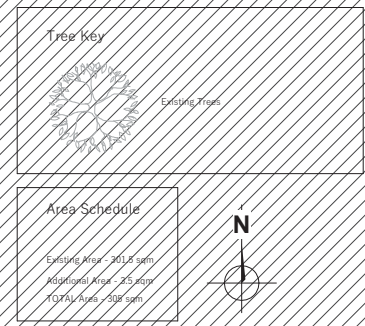
**STORMWATER DISPOSAL**  
**Stormwater disposal to comply with SANS 10400 Part R.**  
Fullbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**  
**Fire safety to comply with SANS 10400 Part T**  
National Design as per Fire Engineer

**STORMWATER DISPOSAL**  
**Stormwater disposal to comply with SANS 10400 Part R.**  
Fullbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**SPACE HEATING**  
**Space heating to comply with SANS 10400 Part V.**  
Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**  
**Building to comply with SANS Part D**  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate thereon shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.



**Site Plan Council**  
1:250

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The contractor shall in all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No 95 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941.  
The contractor shall at all times maintain a quality assurance and quality control system. In accordance with SANS 9001:2001, able to be checked to the satisfaction of the Architect. All materials and workmanship, whether first source, must meet the requirements of the Specification. Should the Contractor or any of his sub-contractors be certified to the SANS 9000 family of standards then monitor these works accordingly.  
All work to be executed by competent persons qualified for the specific trade.

Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

**ARCHITECT:** Sean Mahoney  
SACAP Membership Number : \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

**CLIENT SIGN:**  
**Owner**  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

**STRUCTURAL ENGINEER SIGN:**  
**Engineer Name**  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

**ARCHITECTS:**  
**studioMAS**  
architecture & urban design

JOHANNESBURG  
Tel: (011) 486 2979 Fax: (011) 486 5395  
Countryside on Oxford Road, St. Oliver Rd, Forest Town, 2193

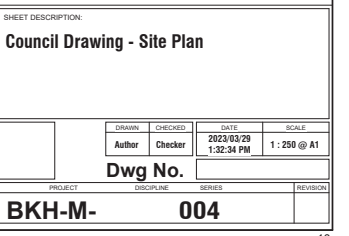
CAPE TOWN  
Tel: (021) 461 6297 Fax: (021) 461 9568  
5 Constitution Street, Zornbomstein, Cape Town, 7825  
www.studiomas.co.za

**PROJECT:** Boschendal  
Boschendal Baker House : Building Alterations

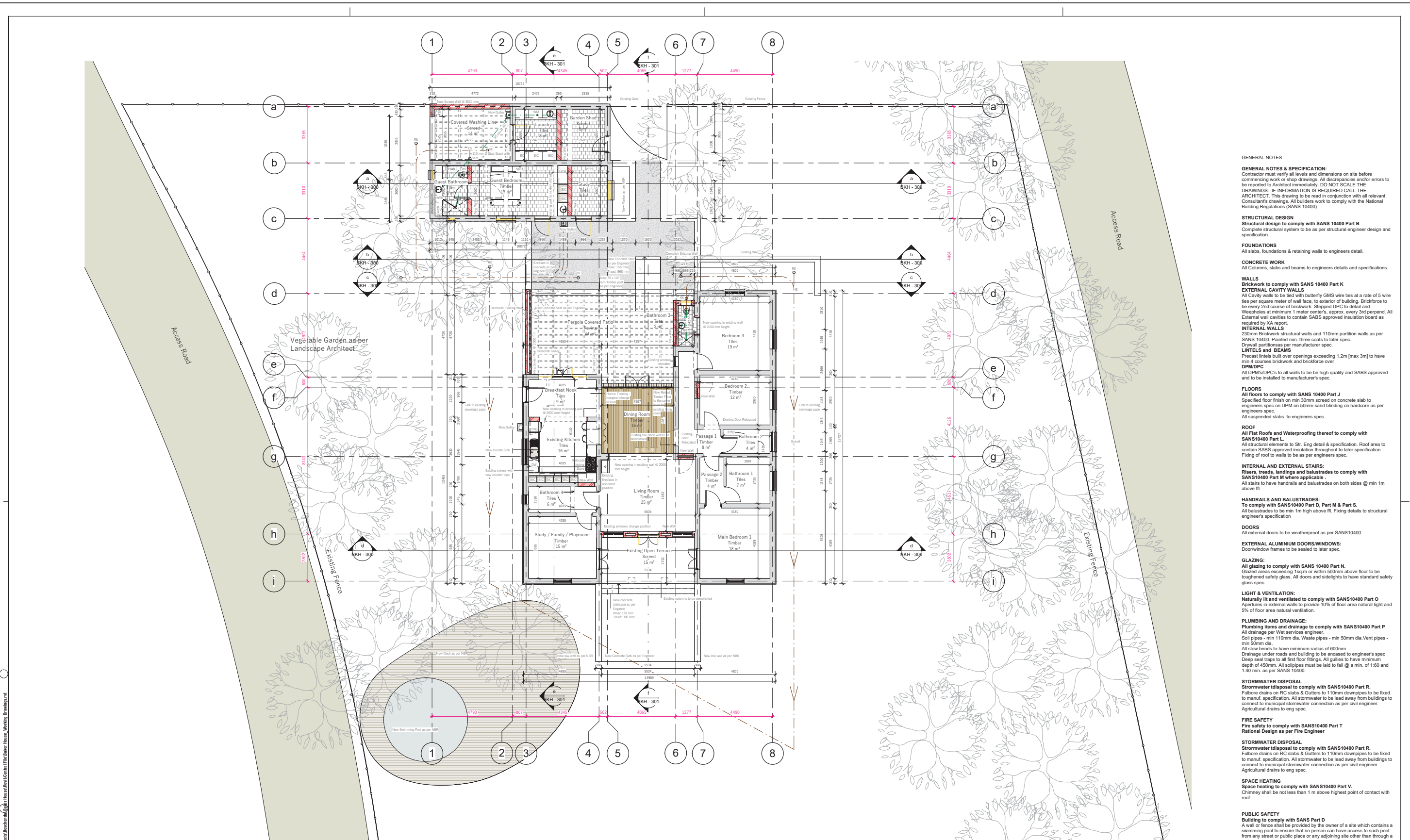
**SHEET DESCRIPTION:**  
Council Drawing - Site Plan

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/29	1:250 @ A1

**Dwg No.**  
BKH-M-004







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**STRUCTURAL DESIGN**  
 Structural design to comply with SANS 10400 Part B  
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**FOUNDATIONS**  
 All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
 All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
 Brickwork to comply with SANS 10400 Part K  
**EXTERNAL CAVITY WALLS**  
 All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center's approx. every 3rd parapet. All External wall cavities to contain SABS approved insulation board as required by XA report.  
**INTERNAL WALLS**  
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**FLOORS**  
 All floors to comply with SANS 10400 Part J  
 Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand binding on hardcore as per engineers spec.  
 All suspended slabs to engineers spec.

**ROOF**  
 All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L.  
 All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
 Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
 Risers, treads, landings and balustrades to comply with SANS 10400 Part M where applicable.  
 All stairs to have handrails and balustrades on both sides @ min 1m above II

**HANDRAILS AND BALUSTRADES:**  
 To comply with SANS 10400 Part D, Part M & Part S.  
 All balustrades to be min 1m high above II. Fixing details to structural engineer's specification.

**DOORS**  
 All external doors to be weatherproof as per SANS 10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
 Door/window frames to be sealed to later spec.

**GLAZING:**  
 All glazing to comply with SANS 10400 Part N.  
 Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
 Naturally lit and ventilated to comply with SANS 10400 Part O  
 Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
 Plumbing items and drainage to comply with SANS 10400 Part P  
 All drainage per V&E services engineer.  
 Soil pipes - min 110mm dia. Waste pipes - min 50mm dia Vent pipes - min 50mm dia.  
 All slow bends to have minimum radius of 600mm  
 Drainage under roads and building to be encased to engineer's spec  
 Deep seal traps to all first floor fittings. All gutters to have minimum depth of 40mm. All pipes must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL**  
 Stormwater disposal to comply with SANS 10400 Part R.  
 Furber drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
 Agricultural drains to eng spec.

**FIRE SAFETY**  
 Fire safety to comply with SANS 10400 Part T  
 Rational Design as per Fire Engineer

**STORMWATER DISPOSAL**  
 Stormwater disposal to comply with SANS 10400 Part R.  
 Furber drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
 Agricultural drains to eng spec.

**SPACE HEATING**  
 Space heating to comply with SANS 10400 Part V.  
 Chimney shall be not less than 1 m above highest point of contact with roof.

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 Building to comply with SANS Part D  
 A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate thereon shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

**1 Ground Floor Plan Council**  
 1:100

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REV	DATE	DRAWN	DESCRIPTION

**General**  
 All work is to be done in accordance with the National Building Regulations.  
 All materials and workmanship are to comply with the relevant S.A.S. codes and or the specified international codes where applicable in the Architectural specifications. Where relevant South African National Standards, British Standards, BS codes of practice, or Agreement Certificates applicable to the design exists, the recommendations and requirements of such documents to be considered a minimum standard for the works.  
 The contractor shall at all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No 85 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941.  
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 All work to be executed by competent persons qualified for the specific trade.

**Note:**  
 This drawing must be read in conjunction with all the relevant drawings, schedules and specifications from studioMAS and all other consultants related to the project.  
 All portions of the works related to any services or consultants information to be done in accordance with the National Building Regulations.  
 This drawing is not to be scaled. Figured dimensions to be used. All dimensions are in millimetres unless otherwise stated.  
 All dimensions and levels must be checked on site by the contractor before putting work in hand.

**ARCHITECT:** Sean Mahoney  
 SACAP Membership Number: \_\_\_\_\_  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

**CLIENT SIGN:**  
 Owner: \_\_\_\_\_  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

**STRUCTURAL ENGINEER SIGN:**  
 Engineer Name: \_\_\_\_\_  
 Sign: \_\_\_\_\_ Date: \_\_\_\_\_

**ARCHITECTS:**

**studiomas**  
 architectura & urban design

JOHANNESBURG  
 Tel: (011) 480 2979 Fax: (011) 646 5309  
 Courtyards on Oxford Road, 29 Oxford Rd, Forest Hill, 2193

CAPE TOWN  
 Tel: (021) 461 9297 Fax: (021) 461 9508  
 5 Constitution Street, Zonnebloem, Cape Town, 7925  
 www.studiomas.co.za

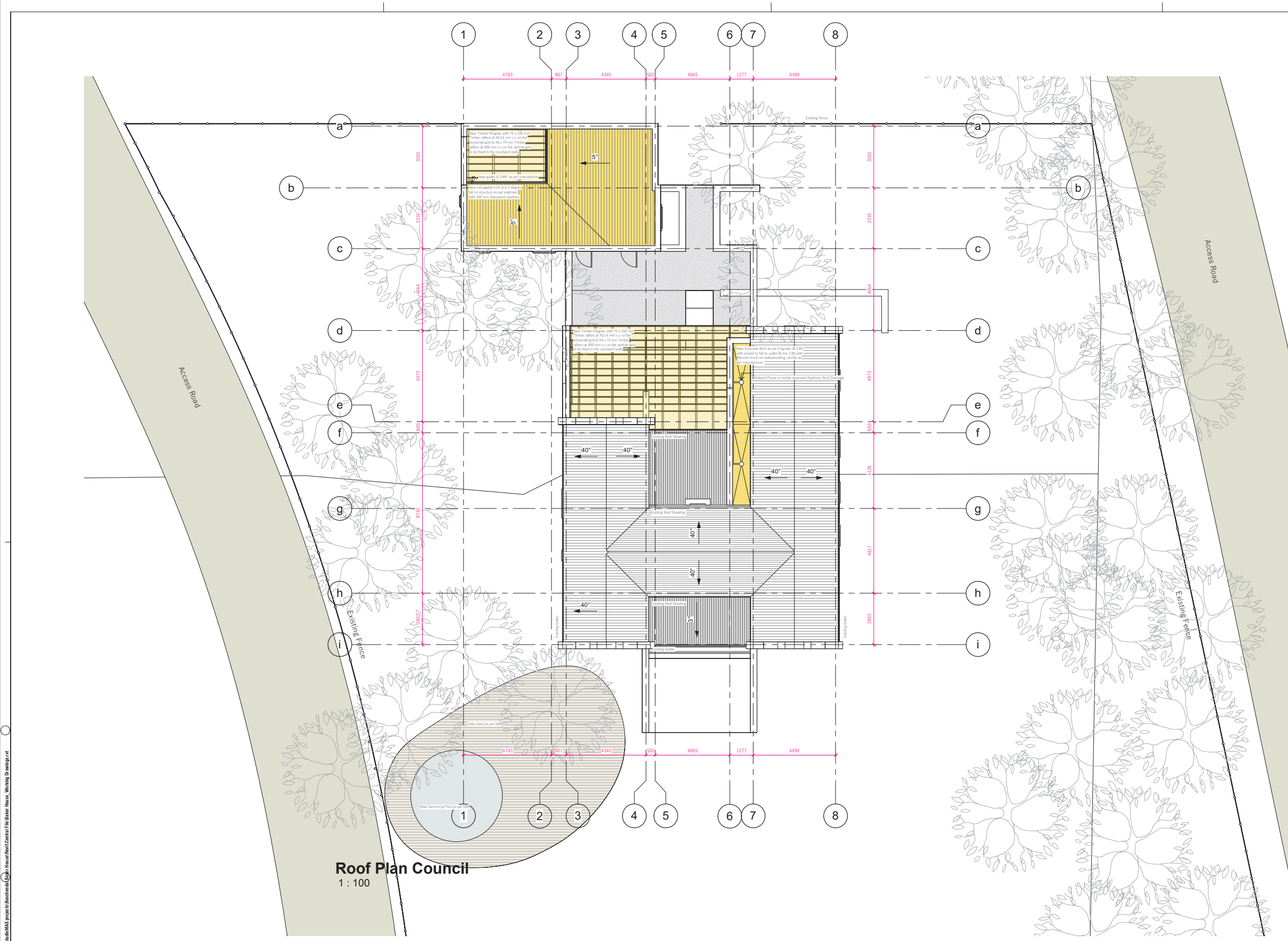
**PROJECT:** Boschendal  
 Boschendal Baker House : Building Alterations

**SHEET DESCRIPTION:**  
 Council Drawing - Floor Plan

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/28	1:100 @ A1

**Dwg No.**  
**BKH-M-100**





**GENERAL NOTES**

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**CONCRETE WORK**  
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**WALLS**  
Brickwork to comply with SANS 10400 Part K  
**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork. Stepped DPC to detail and Weepholes at minimum 1 meter center's, approx. every 3rd parapet. All External wall cavities to contain SABS approved insulation board as required by XA report.  
**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
Drywall partitions per manufacturer spec.  
**LINTELS AND BEAMS**  
Precast lintels built over openings exceeding 1.2m (max 3m) to have min 4 courses brickwork and brickforce over  
**DPM/DPC**  
All DPM's/DPC's to all walls to be of high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
All floors to comply with SANS 10400 Part J  
Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand blinding on hardcore as per engineers spec.  
All suspended slabs to engineers spec.

**ROOF**  
All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L.  
All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification. Fixing of roof to walls to be as per engineers spec.

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To comply with SANS 10400 Part D, Part M & Part S.  
All balustrades to be min 1m high above fl. Fixing details to structural engineer's specification.

**DOORS**  
All external doors to be waterproof as per SANS 10400  
Door/window frames to be sealed to later spec.

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
Door/window frames to be sealed to later spec.

**GLAZING:**  
All glazing to comply with SANS 10400 Part N.  
Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
Naturally lit and ventilated to comply with SANS 10400 Part O  
Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
Plumbing items and drainage to comply with SANS 10400 Part P  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
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Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gutters to have minimum depth of 450mm. All spigots must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL**  
Stormwater disposal to comply with SANS 10400 Part R.  
Fullere drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**  
Fire safety to comply with SANS 10400 Part T  
Rational Design as per Fire Engineer

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Building to comply with SANS Part D  
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**Roof Plan Council**  
1:100

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Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: Sean Mahoney  
SACAP Membership Number: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: \_\_\_\_\_  
Owner: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: \_\_\_\_\_  
Engineer Name: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS: **studioMAS**  
architecture & urban design

JOHANNESBURG  
Tel: (011) 486 2979 Fax: (011) 486 5393  
Courtyards on Oude Road, 2nd Floor Bldg. Forest Town, 2153

CAPE TOWN  
Tel: (021) 461 9297 Fax: (021) 461 9558  
5 Constitution Street, Zonnebaai, Cape Town, 7925  
www.studiomas.co.za

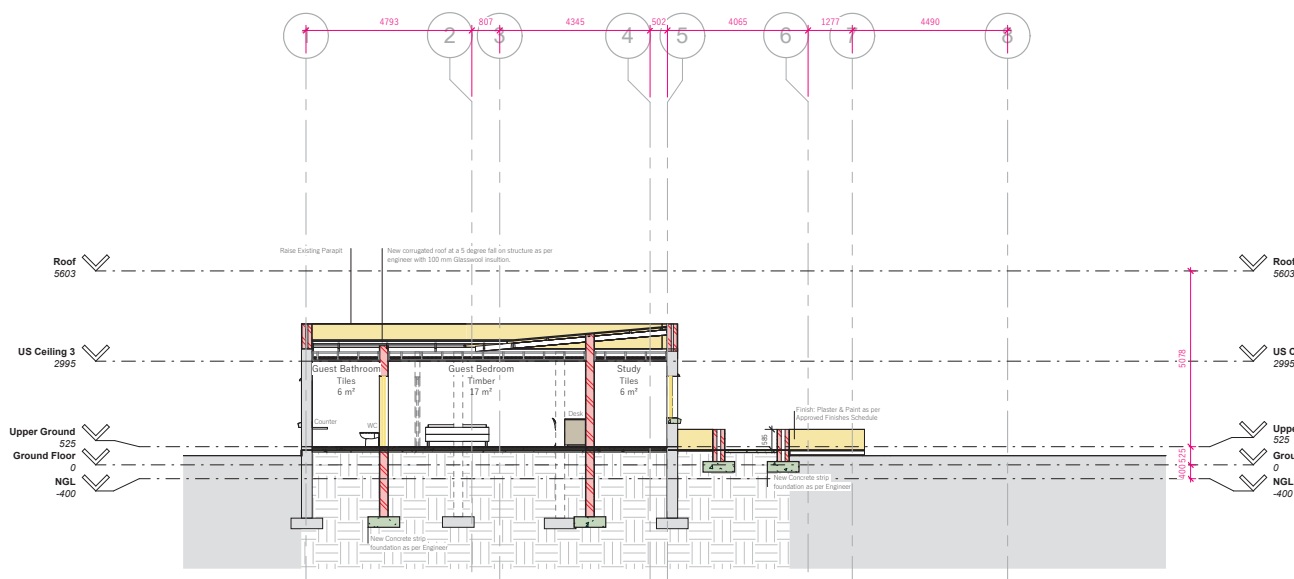
PROJECT: **Boschendal**  
Boschendal Baker House : Building Alterations

SHEET DESCRIPTION:  
**Council Drawing - Roof Plan**

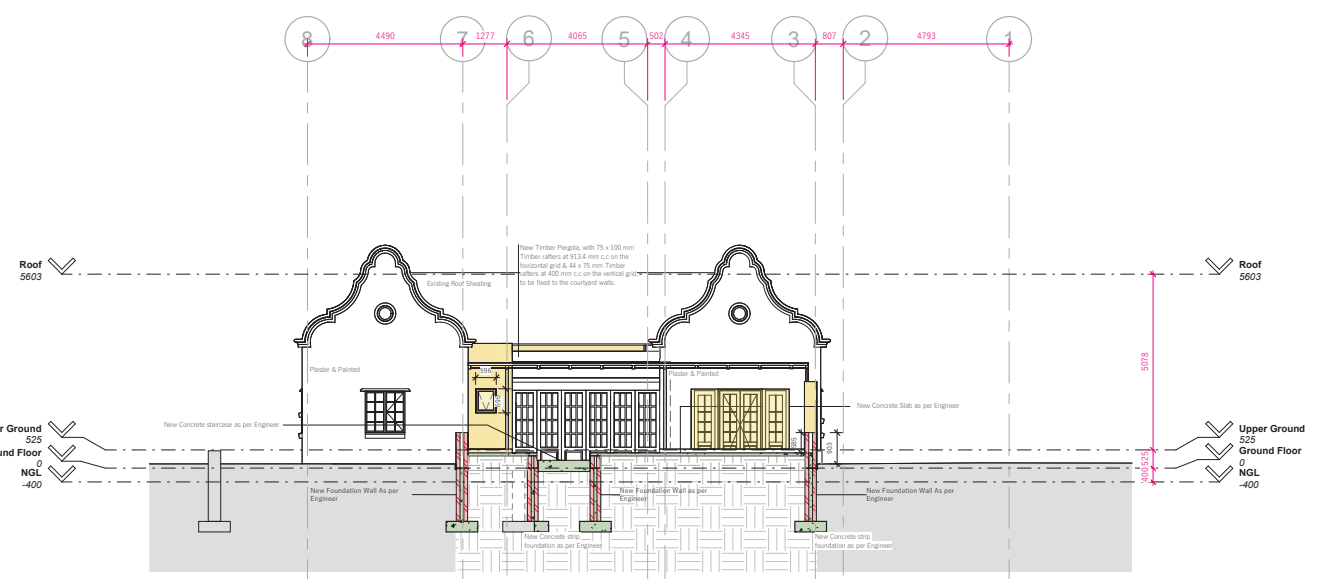
DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/29	1:100 @ A1

Dwg No. **BKH-M-101**

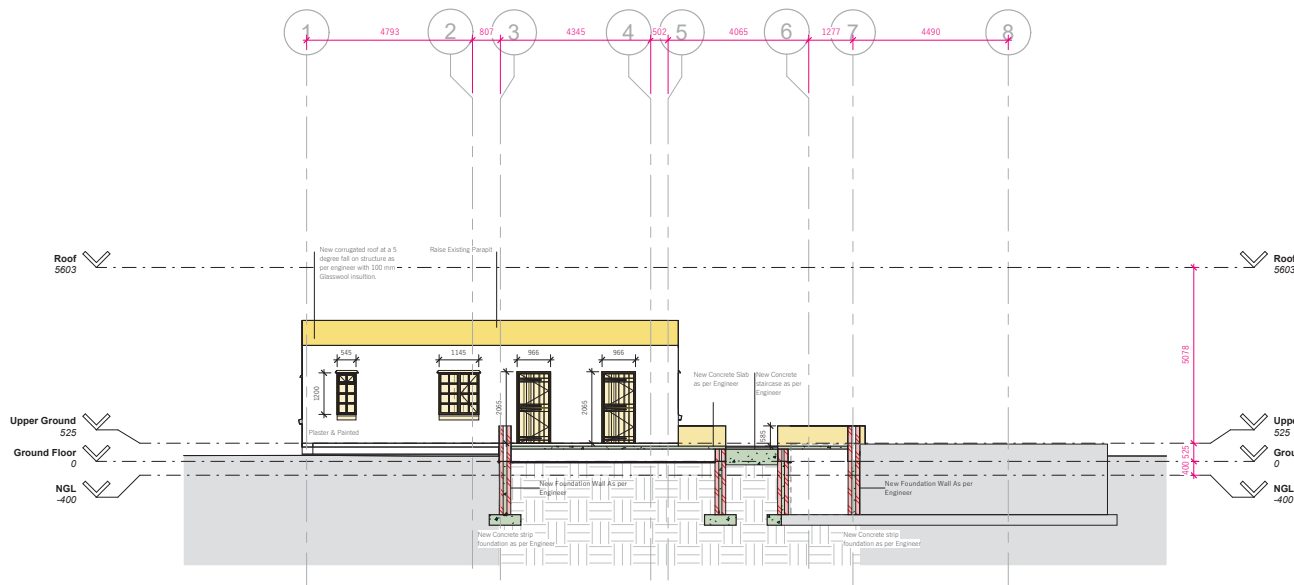




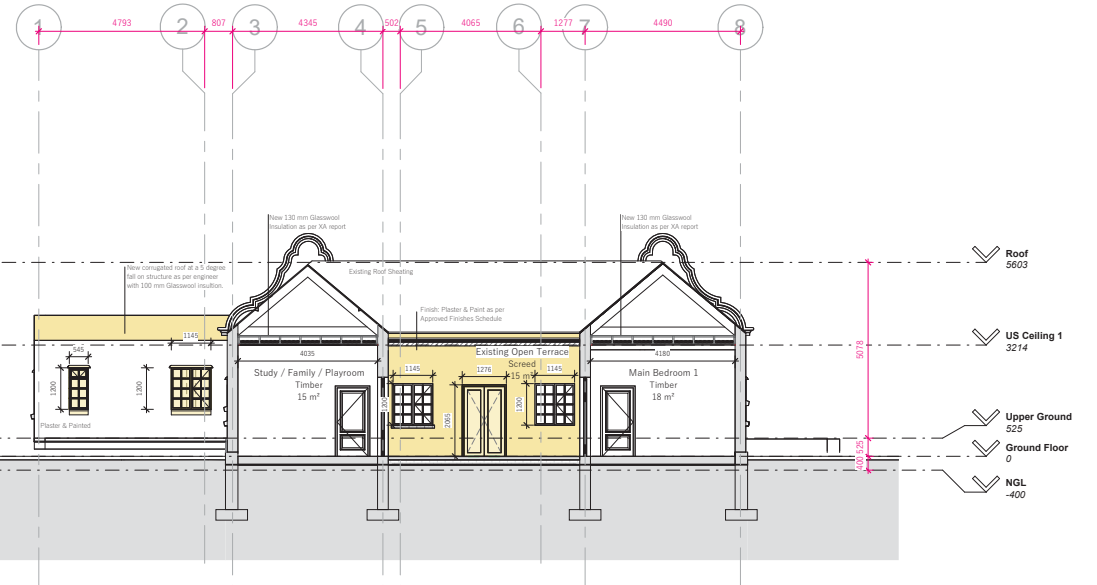
**Section A**  
1 : 100



**Section C**  
1 : 100



**Section B**  
1 : 100



**Section D**  
1 : 100

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**ROOF**  
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All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
Fixing of roof to walls to be as per engineers spec.

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Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
Plumbing items and drainage to comply with SANS10400 Part P  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gullies to have minimum depth of 450mm. All soilpipes must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL**  
Stormwater disposal to comply with SANS10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**  
Fire safety to comply with SANS10400 Part T  
Rational Design as per Fire Engineer

**STORMWATER DISPOSAL**  
Stormwater disposal to comply with SANS10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**SPACE HEATING**  
Space heating to comply with SANS10400 Part V.  
Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**  
Building to comply with SANS Part D  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

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**General**  
All work to be done in accordance with the National Building Regulations.  
All materials and workmanship are to comply with the relevant S.A.S. codes and or the specified international codes where applicable in the Architectural specifications. Where relevant South African National Standards, British Standards, BS codes of practice, or Agreement Certificates applicable to the design exists, the recommendations and requirements of such documents to be considered a minimum standard for the project.  
The contractor shall at all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No 85 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941.  
The contractor shall set up, document and maintain a quality assurance and quality control system, in accordance with SANS 9001/ISO 9001, able to be checked to the satisfaction of the Architect, that all materials and workmanship, whatever their source, meet the requirements of the Specification. Should the Contractor or any of his sub-contractors be certified to the SANS 9000 family of standards then monitor these works accordingly.

**Note:**  
This drawing must be read in conjunction with all the relevant drawings, schedules and specifications from studioMAS and all other consultants related to the project.  
All portions of the works related to any services or consultants information to be done in accordance with the National Building Regulations.  
This drawing is not to be scaled. Figured dimensions to be used. All dimensions are in millimetres unless otherwise stated.  
In this drawing:  
All work to be executed by competent persons qualified for the specific trade.

**Revision Schedule**

REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: **Sean Mahoney**  
SACAP Membership Number : \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: \_\_\_\_\_  
Owner: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: \_\_\_\_\_  
Engineer Name: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS:

**studioMAS**  
architecture & urban design

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Tel: (011) 486 2979 Fax: (011) 646 5309  
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Tel: (021) 461 9297 Fax: (021) 461 9508  
5 Constitution street, Zonnebloem, Cape Town, 7925  
www.studiomas.co.za

PROJECT: **Boschendal**

**Boschendal Baker House : Building Alterations**

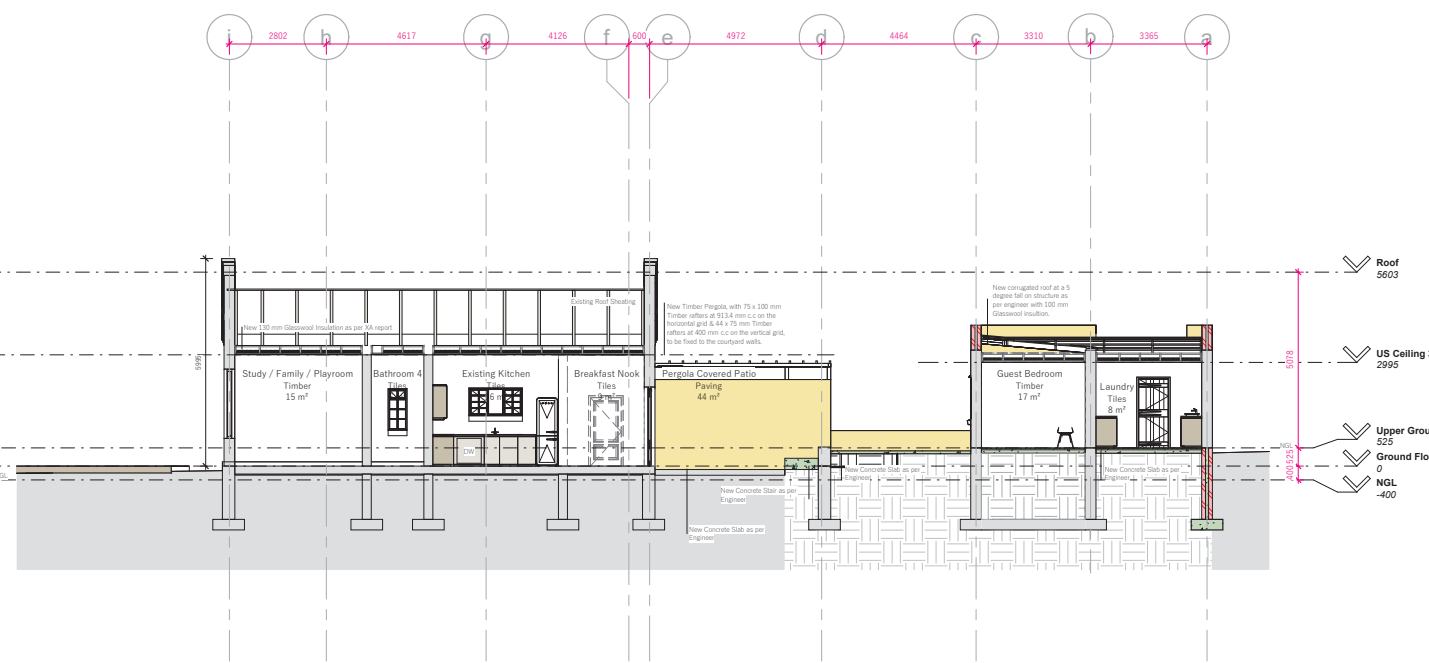
SHEET DESCRIPTION:  
**Council Drawing - Sections**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/28	1 : 100 @ A1

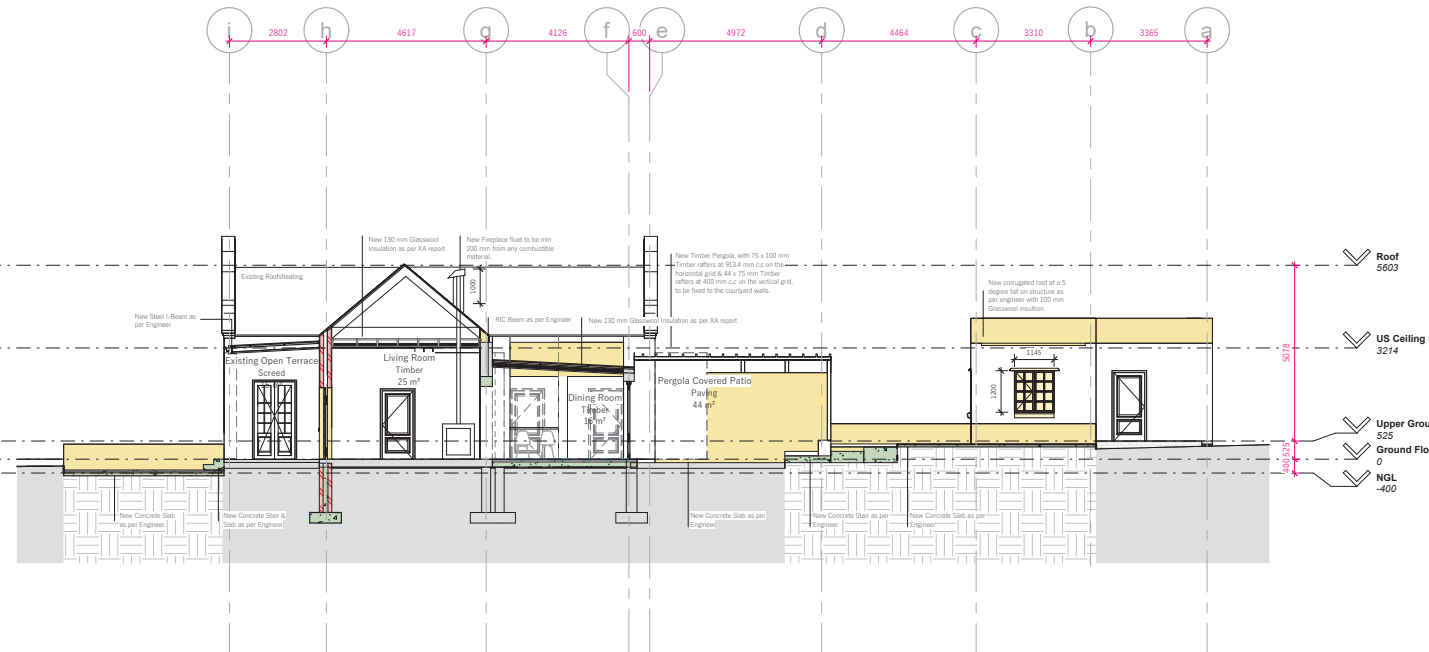
Dwg No. **BKH-M-200**



**1 Section E**  
1 : 100



**2 Section F**  
1 : 100



**GENERAL NOTES**

**GENERAL NOTES & SPECIFICATION:**  
Contractor must verify all levels and dimensions on site before commencing work or shop drawings. All discrepancies and/or errors to be reported to Architect immediately. **DO NOT SCALE THE DRAWINGS. IF INFORMATION IS REQUIRED CALL THE ARCHITECT.** This drawing to be read in conjunction with all relevant Consultant's drawings. All builders work to comply with the National Building Regulations (SANS 10400)

**STRUCTURAL DESIGN**  
Structural design to comply with SANS 10400 Part B  
Complete structural system to be as per structural engineer design and specification.

**FOUNDATIONS**  
All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
All Columns, slabs and beams to engineers details and specifications.

**WALLS**  
Brickwork to comply with SANS 10400 Part K  
**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickwork to be every 2nd course of brickwork. Stopped DPC to detail and Weepholes at minimum 1 meter center's, approx. every 3rd parapet. All External wall cavities to contain SABS approved insulation board as required by XA report.  
**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec.  
Drywall partitioning per manufacturer spec.  
**LINTELS and BEAMS**  
Precast lintels built over openings exceeding 1.2m (max 3m) to have min 4 courses brickwork and brickforce over  
**DPM/DPC**  
All DPM's/DPC's to all walls to be of high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**  
All floors to comply with SANS 10400 Part J  
Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand blinding on hardcore as per engineers spec.  
All suspended slabs to engineers spec.

**ROOF**  
All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L.  
All structural elements to be as per Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification. Fixing of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**  
Risers, treads, landings and balustrades to comply with SANS 10400 Part M where applicable.  
All stairs to have handrails and balustrades on both sides @ min 1m above fl.

**HANDRAILS AND BALUSTRADES:**  
To comply with SANS 10400 Part D, Part M & Part S.  
All balustrades to be min 1m high above fl. Fixing details to structural engineer's specification.

**DOORS**  
All external doors to be weatherproof as per SANS 10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**  
Door/window frames to be sealed to later spec.

**GLAZING:**  
All glazing to comply with SANS 10400 Part N.  
Glazed areas exceeding 1sq.m or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**  
Naturally lit and ventilated to comply with SANS 10400 Part O  
Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**  
Plumbing items and drainage to comply with SANS 10400 Part P  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gutters to have minimum depth of 450mm. All solums must be laid to fall @ a min. of 1:50 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL**  
Stormwater disposal to comply with SANS 10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**  
Fire safety to comply with SANS 10400 Part T  
Rational Design as per Fire Engineer

**STORMWATER DISPOSAL**  
Stormwater disposal to comply with SANS 10400 Part R.  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**SPACE HEATING**  
Space heating to comply with SANS 10400 Part V.  
Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**  
Building to comply with SANS Part D  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate thereon shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

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**General**  
All work is to be done in accordance with the National Building Regulations. All materials and workmanship are to comply with the relevant S.A.S. codes and/or the specified international codes where applicable in the Architectural specifications. Where relevant South African National Standards, British Standards, BS codes of practice, or Agreement Certificates applicable to the design exists, the recommendations and requirements of such documents to be considered a minimum standard for the works.  
The contractor shall in all aspects of the works comply with the provisions of the Occupational Health and Safety Act, 1993 (Act No 95 of 1993) and any regulations promulgated in terms of that Act or the Factories Machinery and Building Works Act of 1941.  
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All work to be executed by competent persons qualified for the specific trade.

Revision Schedule			
REV	DATE	DRAWN	DESCRIPTION

ARCHITECT:	Sean Mahoney SACAP Membership Number : _____ Sign: _____ Date: _____
CLIENT SIGN:	Owner Sign: _____ Date: _____
STRUCTURAL ENGINEER SIGN:	Engineer Name Sign: _____ Date: _____

ARCHITECTS:

**studio MAS**  
architecture & urban design

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Tel: (011) 486 2979 Fax: (011) 486 5399  
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5 Constitution Street, Zonnebloem, Cape Town, 7925  
www.studiomas.co.za

PROJECT:

**Boschendal**

Boschendal Baker House : Building Alterations

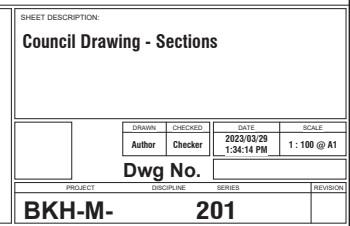
SHEET DESCRIPTION:

**Council Drawing - Sections**

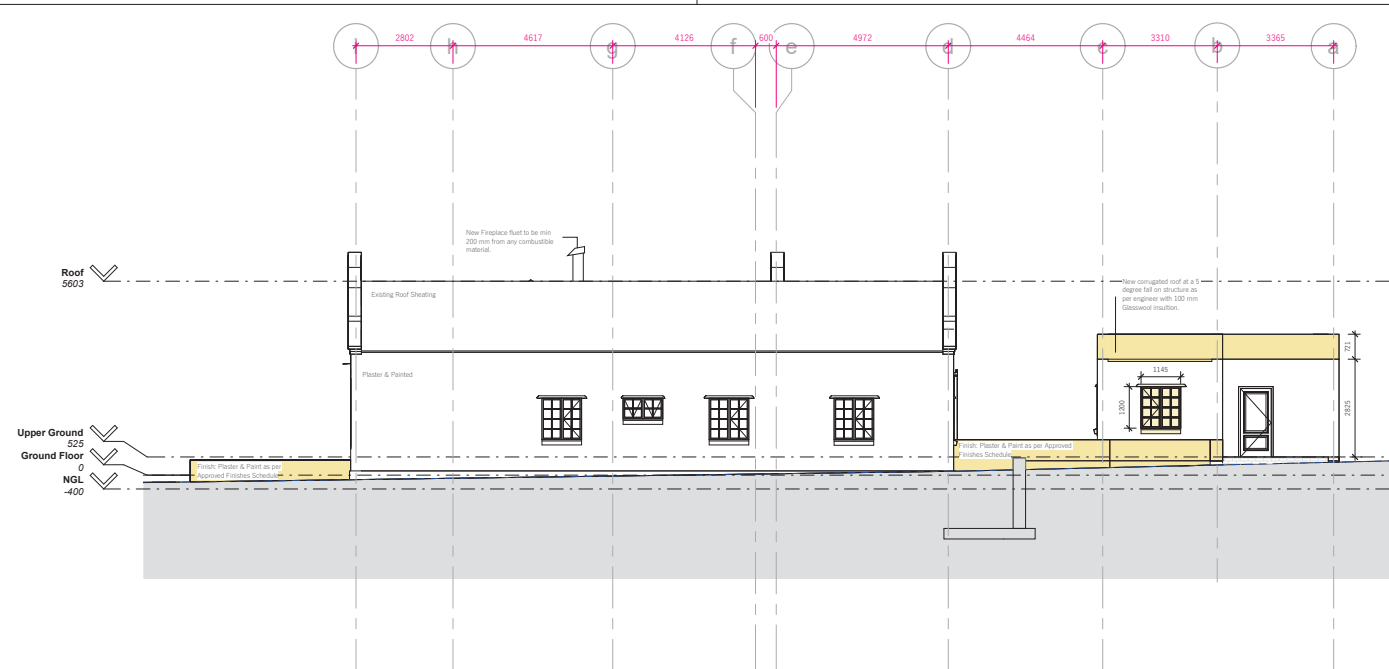
DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/29	1:100 @ A1

**Dwg No.**

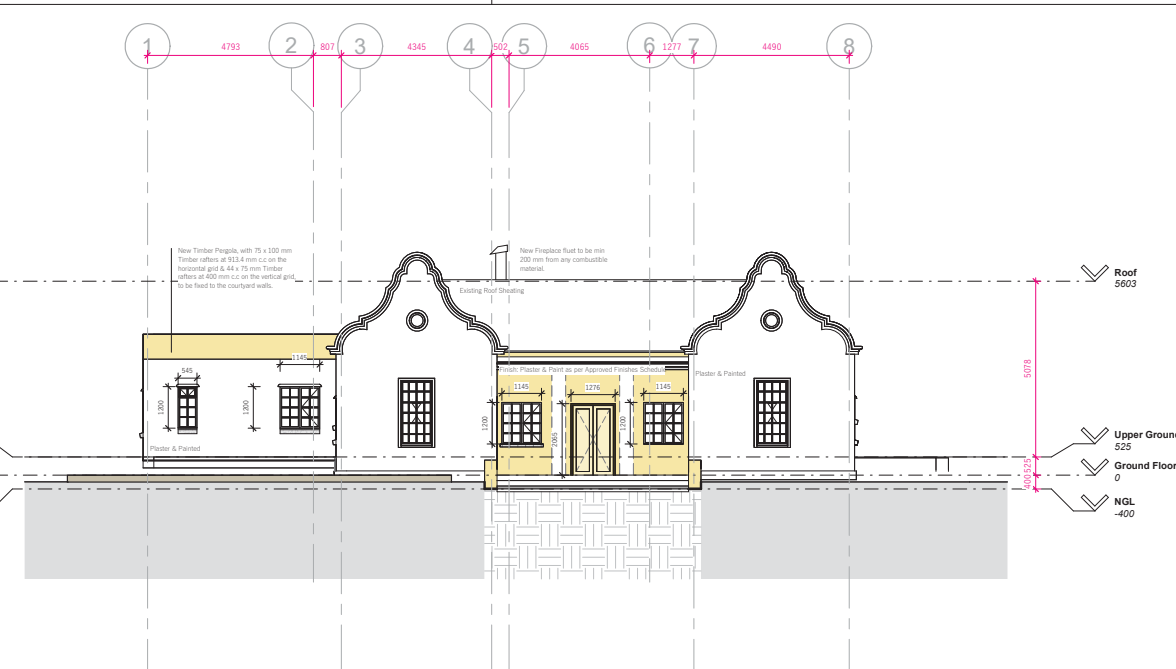
**BKH-M- 201**



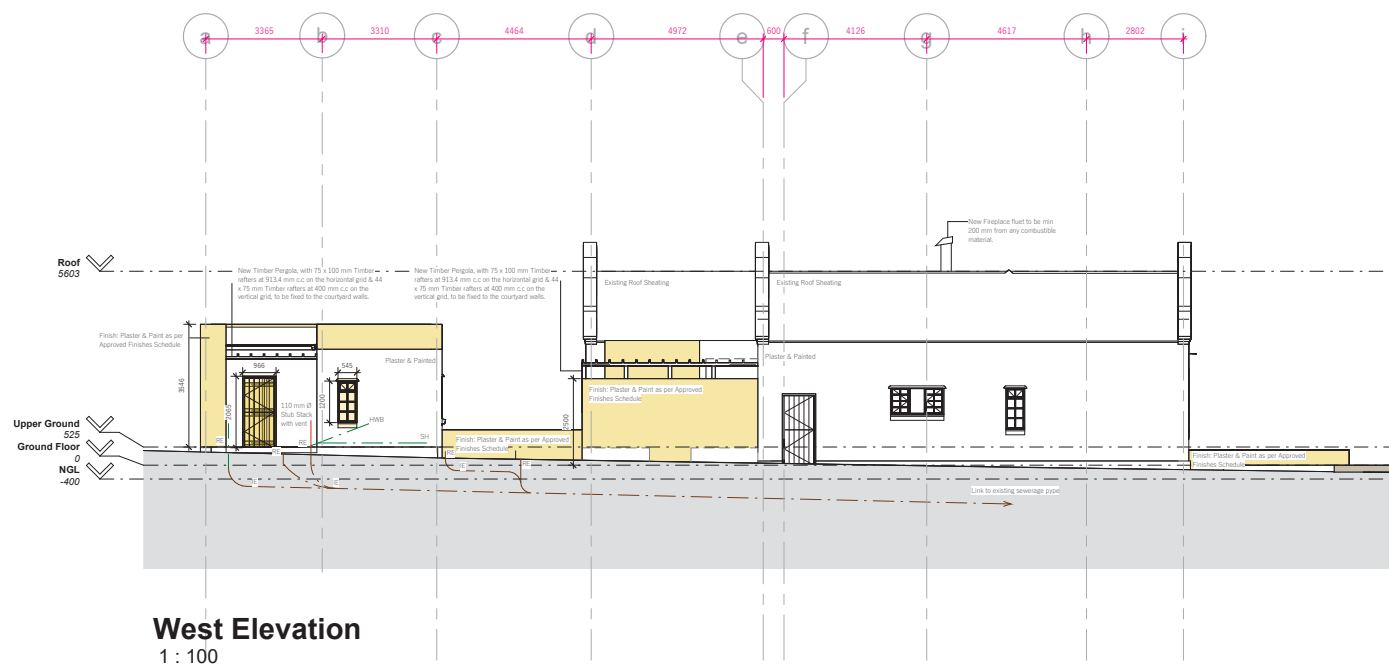




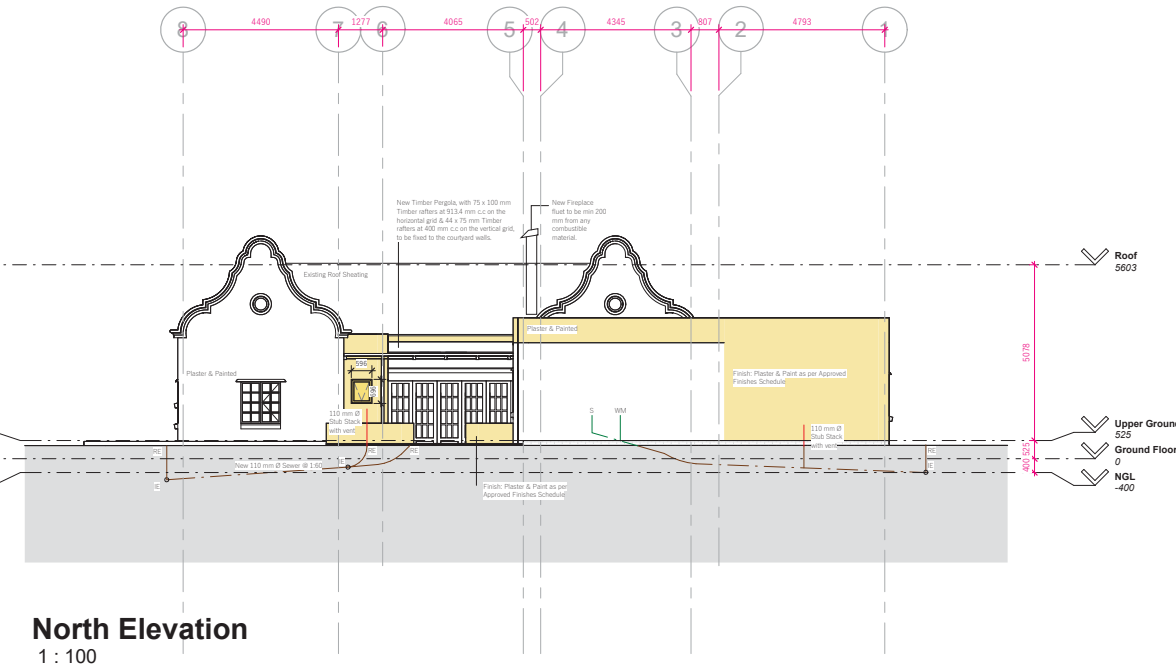
**East Elevation**  
1 : 100



**South Elevation**  
1 : 100



**West Elevation**  
1 : 100



**North Elevation**  
1 : 100

**GENERAL NOTES & SPECIFICATION:**

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**STRUCTURAL DESIGN (SANS 10400 Part B)**  
Structural design to comply with SANS 10400 Part B  
Complete structural system to be as per structural engineer design and specification.

**FOUNDATIONS**  
All slabs, foundations & retaining walls to engineers detail.

**CONCRETE WORK**  
All Columns, slabs and beams to engineers details and specifications.

**WALLS**

**Brickwork to comply with SANS 10400 Part K**

**EXTERNAL CAVITY WALLS**  
All Cavity walls to be tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork. Stepped DPC in detail and Weepholes at minimum 1 meter center's, approx. every 3rd perpend. All External wall cavities to contain SABS approved insulation board as required by KA report.

**INTERNAL WALLS**  
230mm Brickwork structural walls and 110mm partition walls as per SANS 10400. Painted min. three coats to later spec. Drywall partitions as per manufacturer spec.

**LINTELS AND BEAMS**  
Proposed lintels built over openings exceeding 1.2m [max 3m] to have min 4 courses brickwork and brickforce over

**DPM/DPC**

All DPM's/DPC's to all walls to be high quality and SABS approved and to be installed to manufacturer's spec.

**FLOORS**

**All floors to comply with SANS 10400 Part J**  
Specified floor finish on min 30mm screed on concrete slab to engineers spec on DPM on 50mm sand binding on hardcore as per engineers spec.

**ROOF**

**All Flat Roofs and Waterproofing thereof to comply with SANS10400 Part L.**  
All structural elements to Str. Eng detail & specification. Roof area to contain SABS approved insulation throughout to later specification  
Fining of roof to walls to be as per engineers spec.

**INTERNAL AND EXTERNAL STAIRS:**

**Risers, treads, landings and balustrades to comply with SANS10400 Part M where applicable.**  
All stairs to have handrails and balustrades on both sides

**HANDRAILS AND BALUSTRADES:**

**To comply with SANS10400 Part D, Part M & Part S.**  
All balustrades to be min 1m high above fl. Fixing details to structural engineer's specification

**DOORS**

All external doors to be weatherproof as per SANS10400

**EXTERNAL ALUMINIUM DOORS/WINDOWS:**

Door/window frames to be sealed to later spec.

**GLAZING:**

**All glazing to comply with SANS 10400 Part N.**  
Glazed areas exceeding 1sqm or within 500mm above floor to be toughened safety glass. All doors and sidelights to have standard safety glass spec.

**LIGHT & VENTILATION:**

**Naturally lit and ventilated to comply with SANS10400 Part O**  
Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**PLUMBING AND DRAINAGE:**

**Plumbing items and drainage to comply with SANS10400 Part P**  
All drainage per Wet services engineer.  
Soil pipes - min 110mm dia. Waste pipes - min 50mm dia. Vent pipes - min 50mm dia.  
All slow bends to have minimum radius of 600mm  
Drainage under roads and building to be encased to engineer's spec  
Deep seal traps to all first floor fittings. All gullies to have minimum depth of 450mm. All soilpipes must be laid to fall @ a min. of 1:60 and 1:40 min. as per SANS 10400.

**STORMWATER DISPOSAL**

**Stormwater disposal to comply with SANS10400 Part R.**  
Fulbore drains on RC slabs & Gutters to 110mm downpipes to be fixed to manuf. specification. All stormwater to be lead away from buildings to connect to municipal stormwater connection as per civil engineer.  
Agricultural drains to eng spec.

**FIRE SAFETY**

**Fire safety to comply with SANS10400 Part T**  
Rational Design as per Fire Engineer

**STORMWATER DISPOSAL**

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**SPACE HEATING**

**Space heating to comply with SANS10400 Part V.**  
Chimney shall be not less than 1 m above highest point of contact with roof.

**PUBLIC SAFETY**

**Building to comply with SANS Part D**  
A wall or fence shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such pool from any street or public place or any adjoining site other than through a self-closing and self-latching gate with provision for locking in such wall or fence. Such wall or fence and any such gate therein shall be not less than 1.2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100 mm diameter ball.

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**General**

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**Note:**

This drawing must be read in conjunction with all the relevant drawings, schedules and specifications from the drawings and all other consultants information to be done in accordance with the National Building Regulations. All dimensions are in millimeters unless otherwise stated.

All work to be executed by competent persons qualified for the specific trade.

**Revision Schedule**

REV	DATE	DRAWN	DESCRIPTION

ARCHITECT: **Sean Mahoney**  
SACAP Membership Number : \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

CLIENT SIGN: \_\_\_\_\_  
Owner: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

STRUCTURAL ENGINEER SIGN: \_\_\_\_\_  
Engineer Name: \_\_\_\_\_  
Sign: \_\_\_\_\_ Date: \_\_\_\_\_

ARCHITECTS:

**studiomas**  
architecture & urban design

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5 Constitution street, Zonnebloem, Cape Town, 7925  
www.studiomas.co.za

PROJECT: **Boschendal**

Boschendal Baker House : Building Alterations

SHEET DESCRIPTION:  
**Council Drawing - Elevations**

DRAWN	CHECKED	DATE	SCALE
Author	Checker	2023/03/28	1 : 100 @ A1

Dwg No. **BKH-M-300**

10mm P PLOTTED TO SCALE