

**DESKTOP HERITAGE SURVEY OF THE PROPOSED  
GINGINDLOVU POLICE STATION**

**FOR DE MELLO MACHADO ARCHITECTS**

**DATE: 18 AUGUST 2017**

**By Gavin Anderson**

**Umlando: Archaeological Surveys and Heritage  
Management**

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## Abbreviations

HP	Historical Period
IIA	Indeterminate Iron Age
LIA	Late Iron Age
EIA	Early Iron Age
ISA	Indeterminate Stone Age
ESA	Early Stone Age
MSA	Middle Stone Age
LSA	Late Stone Age
HIA	Heritage Impact Assessment
PIA	Palaeontological Impact Assessment

## **INTRODUCTION**

De Mello Machado Architects were appointed by the Department of Public Works in 2007 to deliver a facility upgrade of the Gingindlovu SAPS (station and residence components) for the South African Police Service (end user). The upgrade was part of SAPS's Strategic Plan 2014/2015 financial year; delayed mainly in part due to SAPS revised requirements for this particular station.

The current facility does not comply with SAPS policies and specification e.g. CSM and Cell Block Buildings.

An 'incorporating/amalgamating existing structures' approach to the design solution would have been impractical, costly and unrealistic. With approval of the department the decision to demolish existing buildings and removal of temporary structures was taken allowing for a design solution that is SAPS requirement compliant, physically cohesive, conducive to productivity (and wellbeing) of SAPS members and public friendly.

Umlando was appointed by De Mello Machado Architects to undertake the heritage survey of the area. This survey was to look at the archaeology, palaeontology and general history of the study area, and to make a general assessment of the ages of the buildings.

The locations of the buildings are shown in Figures 1 – 3.

FIG. 1 GENERAL LOCATION OF THE STUDY AREA

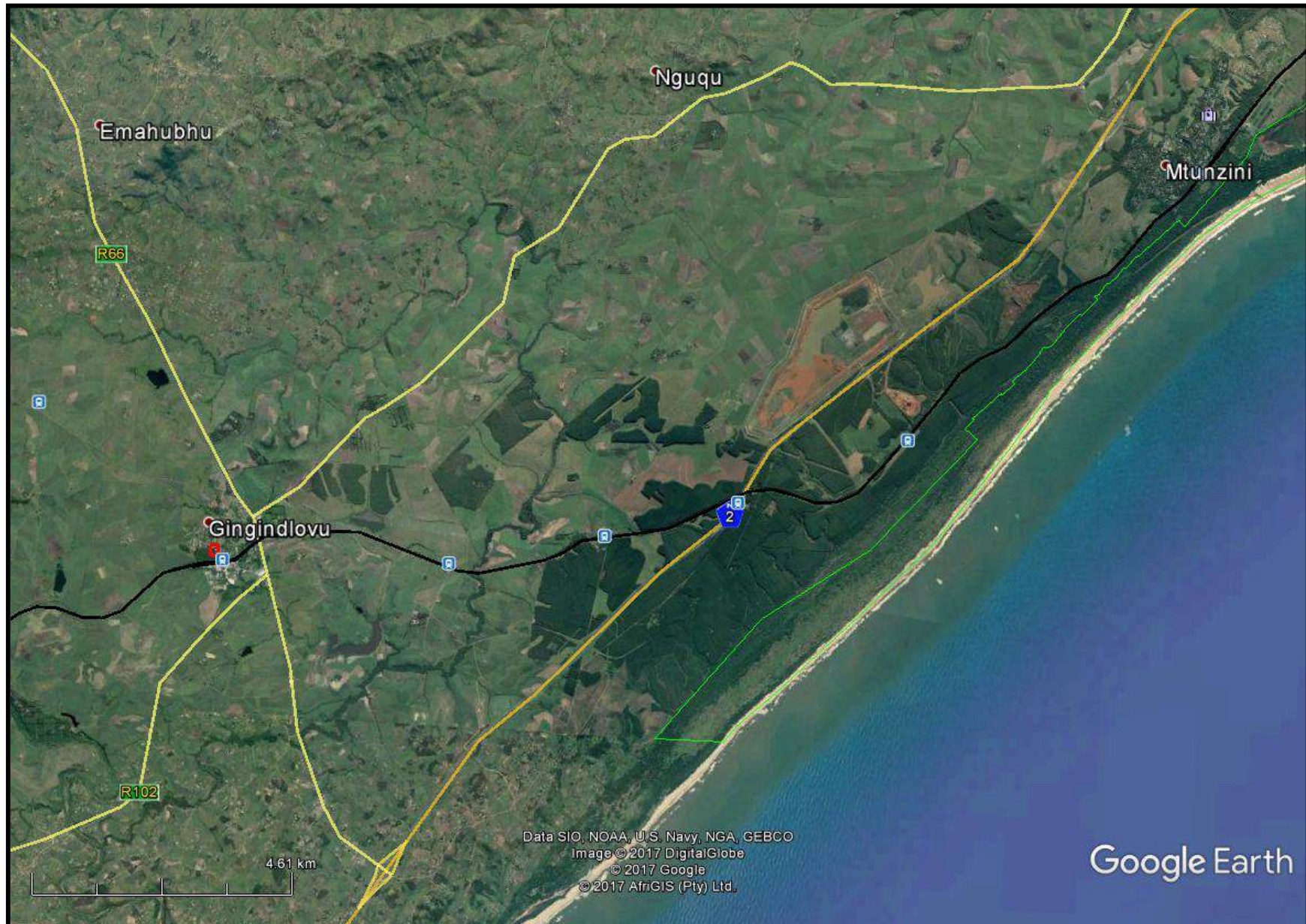
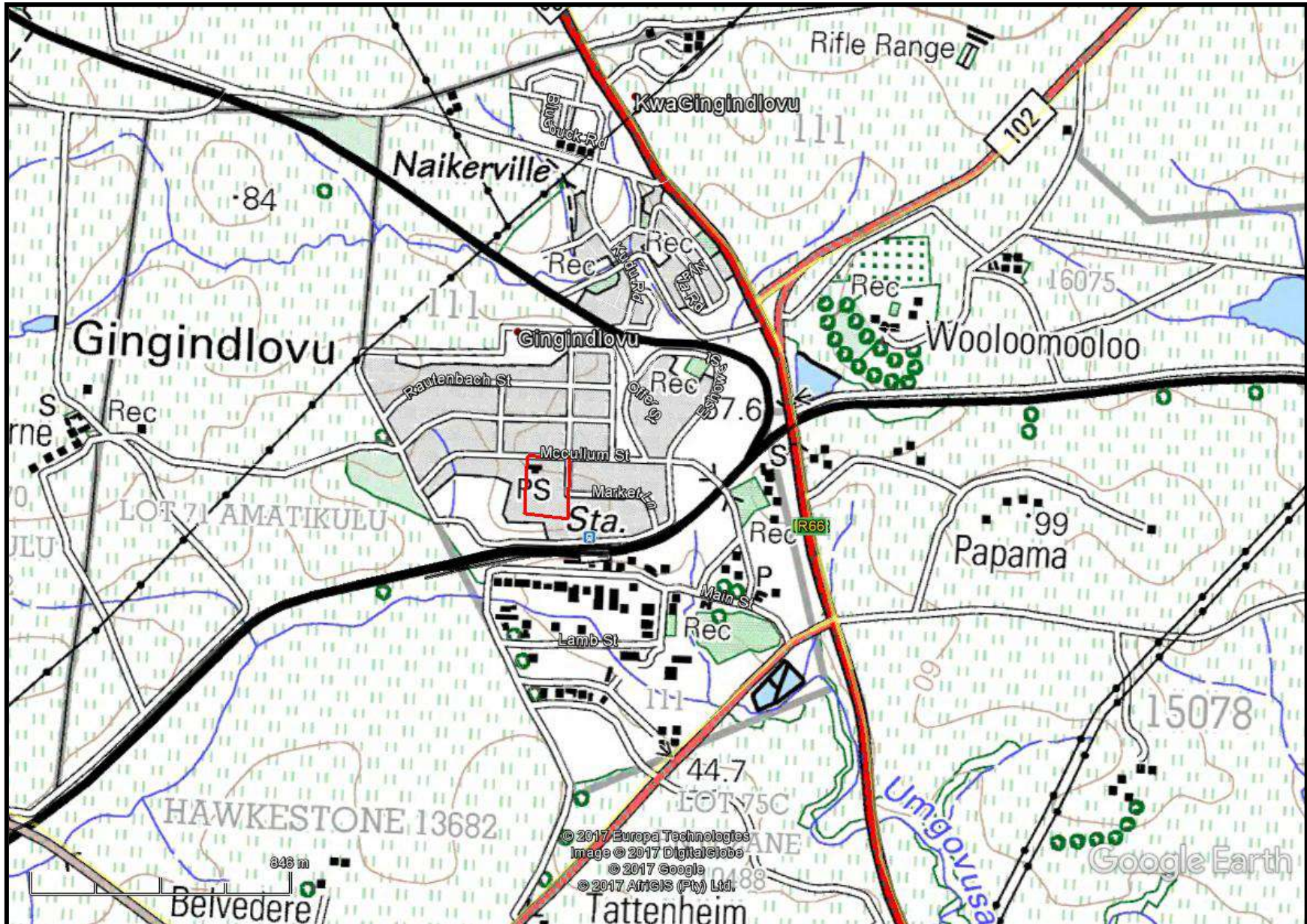


FIG. 2: AERIAL OVERVIEW OF THE STUDY AREA WITH BUILDINGS TO BE DEMOLISHED NUMBERED



FIG. 3: TOPOGRAPHICAL OVERVIEW OF THE STUDY AREA<sup>1</sup>



<sup>1</sup> 2931BA\_2000\_Gingindlovu

## KWAZULU-NATAL HERITAGE ACT NO. 4 OF 2008

“General protection: Structures.—

- No structure which is, or which may reasonably be expected to be older than 60 years, may be demolished, altered or added to without the prior written approval of the Council having been obtained on written application to the Council.
- Where the Council does not grant approval, the Council must consider special protection in terms of sections 38, 39, 40, 41 and 43 of Chapter 9.
- The Council may, by notice in the *Gazette*, exempt—
- A defined geographical area; or
- defined categories of sites within a defined geographical area, from the provisions of subsection where the Council is satisfied that heritage resources falling in the defined geographical area or category have been identified and are adequately protected in terms of sections 38, 39, 40, 41 and 43 of Chapter 9.
- A notice referred to in subsection (2) may, by notice in the *Gazette*, be amended or withdrawn by the Council.

General protection: Graves of victims of conflict.—No person may damage, alter, exhume, or remove from its original position—

- the grave of a victim of conflict;
- a cemetery made up of such graves; or
- any part of a cemetery containing such graves, without the prior written approval of the Council having been obtained on written application to the Council.
- General protection: Traditional burial places.—
- No grave—
- not otherwise protected by this Act; and
- not located in a formal cemetery managed or administered by a local authority, may be damaged, altered, exhumed, removed from its original position, or otherwise disturbed without the prior written approval of the Council having been obtained on written application to the Council.



The Council may only issue written approval once the Council is satisfied that—

- the applicant has made a concerted effort to consult with communities and individuals who by tradition may have an interest in the grave; and
- the applicant and the relevant communities or individuals have reached agreement regarding the grave.

General protection: Battlefield sites, archaeological sites, rock art sites, palaeontological sites, historic fortifications, meteorite or meteorite impact sites.—

- No person may destroy, damage, excavate, alter, write or draw upon, or otherwise disturb any battlefield site, archaeological site, rock art site, palaeontological site, historic fortification, meteorite or meteorite impact site without the prior written approval of the Council having been obtained on written application to the Council.
- Upon discovery of archaeological or palaeontological material or a meteorite by any person, all activity or operations in the general vicinity of such material or meteorite must cease forthwith and a person who made the discovery must submit a written report to the Council without delay.
- The Council may, after consultation with an owner or controlling authority, by way of written notice served on the owner or controlling authority, prohibit any activity considered by the Council to be inappropriate within 50 metres of a rock art site.
- No person may exhume, remove from its original position or otherwise disturb, damage, destroy, own or collect any object or material associated with any battlefield site, archaeological site, rock art site, palaeontological site, historic fortification, meteorite or meteorite impact site without the prior written approval of the Council having been obtained on written application to the Council.
- No person may bring any equipment which assists in the detection of metals and archaeological and palaeontological objects and material, or excavation equipment onto any battlefield site, archaeological site, rock art site, palaeontological site, historic fortification, or meteorite impact site, or

- use similar detection or excavation equipment for the recovery of meteorites, without the prior written approval of the Council having been obtained on written application to the Council.
- The ownership of any object or material associated with any battlefield site, archaeological site, rock art site, palaeontological site, historic fortification, meteorite or meteorite impact site, on discovery, vest in the Provincial Government and the Council is regarded as the custodian on behalf of the Provincial Government.” (KZN Heritage Act of 2008)

## METHOD

The method for Heritage assessment consists of several steps.

The first step forms part of the desktop assessment. Here we would consult the database that has been collated by Umlando. These databases contains archaeological site locations and basic information from several provinces (information from Umlando surveys and some colleagues), most of the national and provincial monuments and battlefields in Southern Africa (<http://www.vuvuzela.com/googleearth/monuments.html>) and cemeteries in southern Africa (information supplied by the Genealogical Society of Southern Africa). We use 1<sup>st</sup> and 2<sup>nd</sup> edition 1:50 000 topographical and 1937 aerial photographs where available, to assist in general location and dating of buildings and/or graves. The database is in Google Earth format and thus used as a quick reference when undertaking desktop studies. Where required we would consult with a local data recording centre, however these tend to be fragmented between different institutions and areas and thus difficult to access at times. We also consult with an historical architect, palaeontologist, and an historian where necessary.

The survey results will define the significance of each recorded site, as well as a management plan.

All sites are grouped according to low, medium, and high significance for the purpose of this report. Sites of low significance have no diagnostic artefacts or features. Sites of medium significance have diagnostic artefacts or features and these sites tend to be sampled. Sampling includes the collection of artefacts for future analysis. All diagnostic pottery, such as rims, lips, and decorated sherds are sampled, while bone, stone, and shell are mostly noted. Sampling usually occurs on most sites. Sites of high significance are excavated and/or extensively sampled. Those sites that are extensively sampled have high research potential, yet poor preservation of features.

### **Defining significance**

Heritage sites vary according to significance and several different criteria relate to each type of site. However, there are several criteria that allow for a general significance rating of archaeological sites.

These criteria are:

#### **1. State of preservation of:**

- 1.1. Organic remains:
  - 1.1.1. Faunal
  - 1.1.2. Botanical
- 1.2. Rock art
- 1.3. Walling
- 1.4. Presence of a cultural deposit
- 1.5. Features:
  - 1.5.1. Ash Features
  - 1.5.2. Graves
  - 1.5.3. Middens
  - 1.5.4. Cattle byres
  - 1.5.5. Bedding and ash complexes

**2. Spatial arrangements:**

- 2.1. Internal housing arrangements
- 2.2. Intra-site settlement patterns
- 2.3. Inter-site settlement patterns

**3. Features of the site:**

- 3.1. Are there any unusual, unique or rare artefacts or images at the site?
- 3.2. Is it a type site?
- 3.3. Does the site have a very good example of a specific time period, feature, or artefact?

**4. Research:**

- 4.1. Providing information on current research projects
- 4.2. Salvaging information for potential future research projects

**5. Inter- and intra-site variability**

- 5.1. Can this particular site yield information regarding intra-site variability, i.e. spatial relationships between various features and artefacts?
- 5.2. Can this particular site yield information about a community's social relationships within itself, or between other communities?

**6. Archaeological Experience:**

- 6.1. The personal experience and expertise of the CRM practitioner should not be ignored. Experience can indicate sites that have potentially significant aspects, but need to be tested prior to any conclusions.

**7. Educational:**

- 7.1. Does the site have the potential to be used as an educational instrument?
- 7.2. Does the site have the potential to become a tourist attraction?
- 7.3. The educational value of a site can only be fully determined after initial test-pit excavations and/or full excavations.

**8. Other Heritage Significance:**

- 8.1. Palaeontological sites
- 8.2. Historical buildings

- 8.3. Battlefields and general Anglo-Zulu and Anglo-Boer sites
- 8.4. Graves and/or community cemeteries
- 8.5. Living Heritage Sites
- 8.6. Cultural Landscapes, that includes old trees, hills, mountains, rivers, etc related to cultural or historical experiences.

The more a site can fulfill the above criteria, the more significant it becomes. Test-pit excavations are used to test the full potential of an archaeological deposit. This occurs in Phase 2. These test-pit excavations may require further excavations if the site is of significance (Phase 3). Sites may also be mapped and/or have artefacts sampled as a form of mitigation. Sampling normally occurs when the artefacts may be good examples of their type, but are not in a primary archaeological context. Mapping records the spatial relationship between features and artefacts.

The above significance ratings allow one to grade the site according to SAHRA's grading scale. This is summarised in Table 1.

**TABLE 1: SAHRA GRADINGS FOR HERITAGE SITES**

SITE SIGNIFICANCE	FIELD RATING	GRADE	RECOMMENDED MITIGATION
<b>High Significance</b>	National Significance	Grade 1	Site conservation / Site development
<b>High Significance</b>	Provincial Significance	Grade 2	Site conservation / Site development
<b>High Significance</b>	Local Significance	Grade 3A / 3B	
<b>High / Medium Significance</b>	Generally Protected A		Site conservation or mitigation prior to development / destruction
<b>Medium Significance</b>	Generally Protected B		Site conservation or mitigation / test excavation / systematic sampling / monitoring prior to or during development / destruction
<b>Low Significance</b>	Generally Protected C		On-site sampling monitoring or no archaeological mitigation required prior to or during development / destruction

## RESULTS

### DESKTOP STUDY

The desktop study consisted of analysing various maps for evidence of prior buildings in the study area, as well as for previous archaeological surveys. This was compared with the application for demolition (Appendix A) that lists the buildings that will be demolished. Fig. 4 shows the buildings.

The archaeological database indicates that there are archaeological sites in the general area (fig. 5). These sites include all types of Stone Age and Iron Age sites. No sites occur in the study area. No national monuments, battlefields, or historical cemeteries are known to occur in the study area.

The 1937 aerial photographs indicate that there are buildings on the study area; however, they will not be demolished. In Figure 6 (lower), the white squares indicate buildings to be demolished. While buildings 1 – 5 do have buildings, these were demolished at some stage and no longer occur today.

The 1964 1:50 000 topographical map indicates that there are several buildings in the general study area (fig. 7). Comparing the location of these buildings to the present, it is clear that many of these buildings were demolished after 1954. Only buildings 6 and 10 might occur in the present while newer buildings have been built. Whether buildings 6 (the farm house or current SAPS building) was one of these needs to be proved. Building 10 is probably related to building 10 in age.

Debbie Whelan was requested to comment on these two buildings (Appendix B). She states that they are of indefinite age and of very low value. She concludes that they can be demolished without further mitigation.

FIG. 4: LOCATION OF BUILDINGS MARKED FOR DEMOLITION

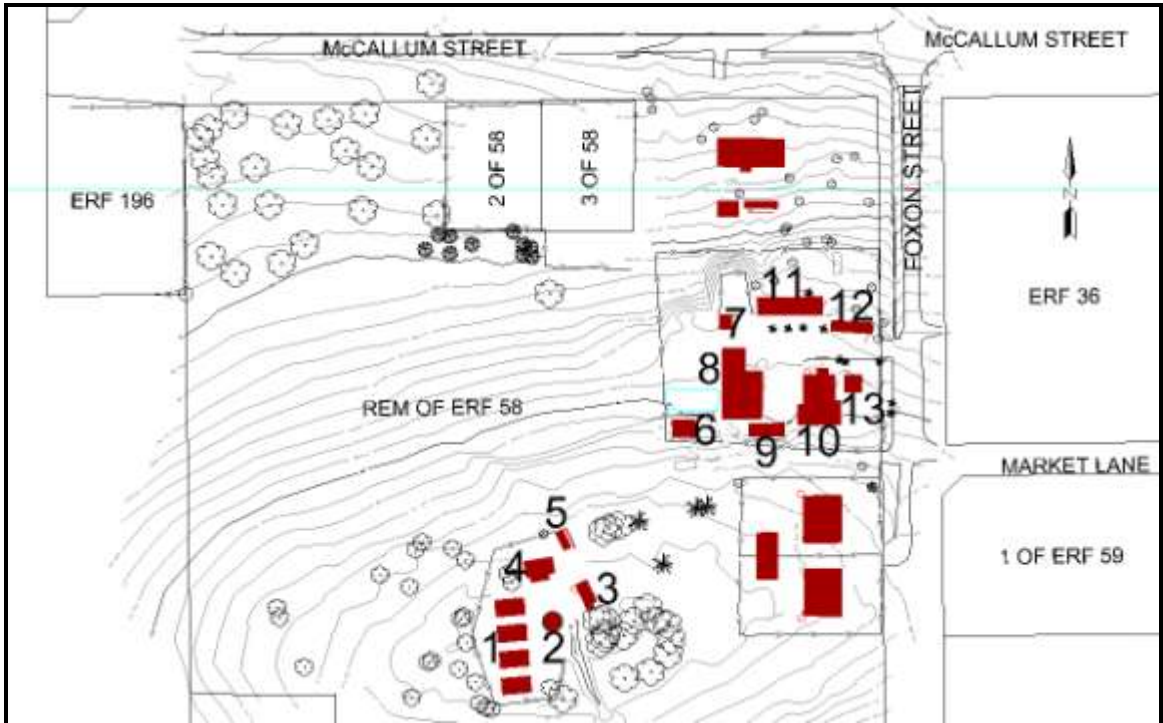


FIG. 5: LOCATION OF KNOWN HERITAGE SITES NAR THE STUDY AREA

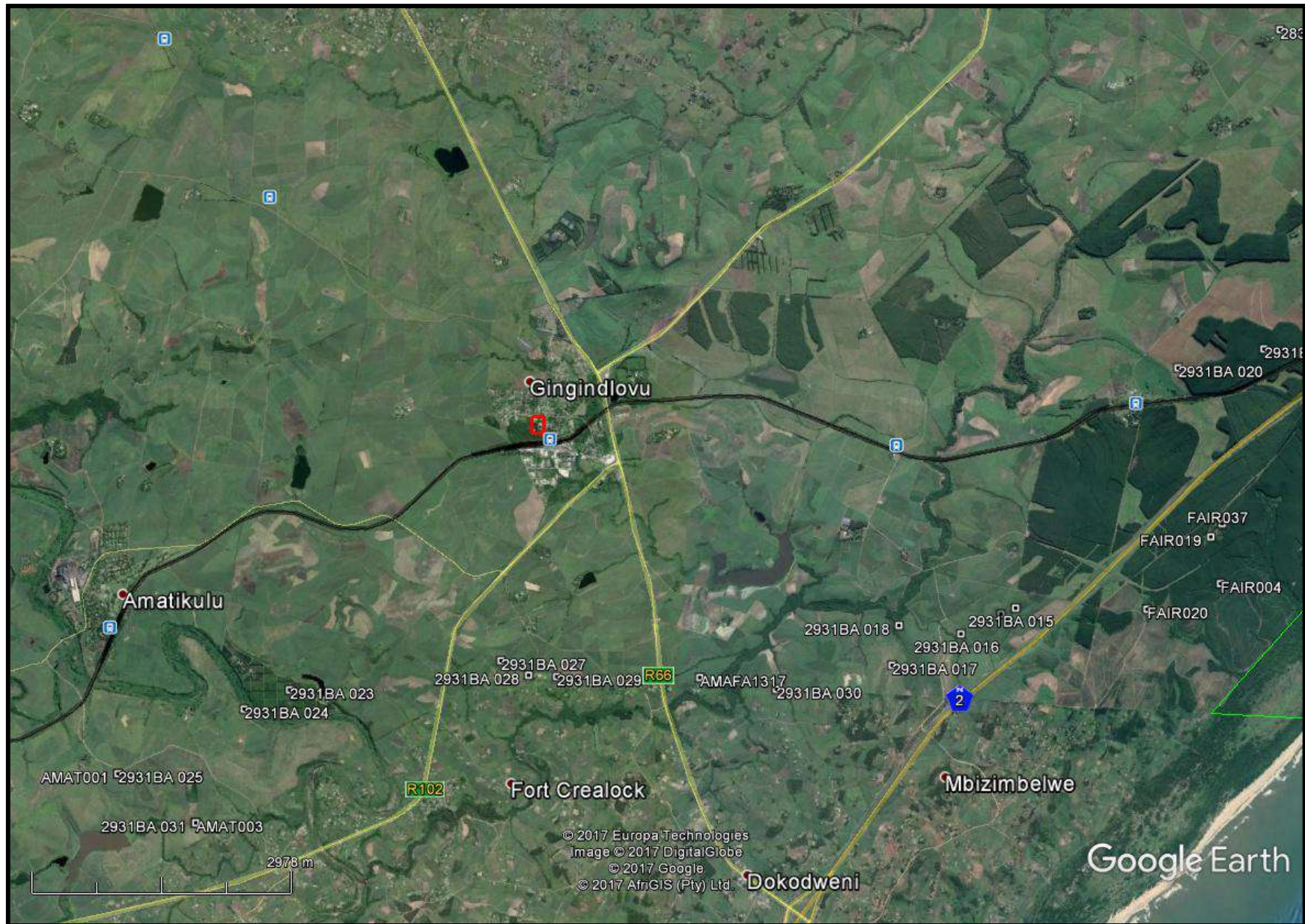
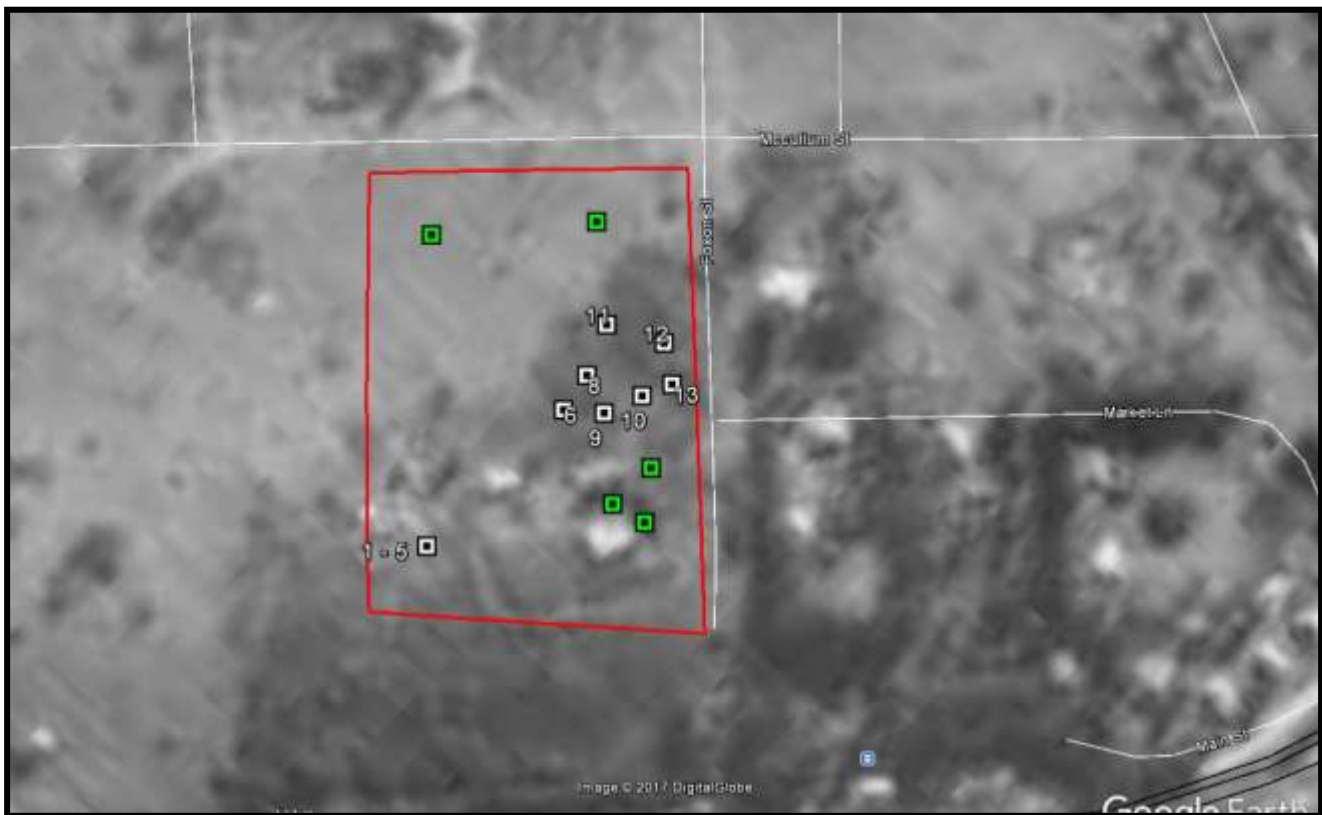
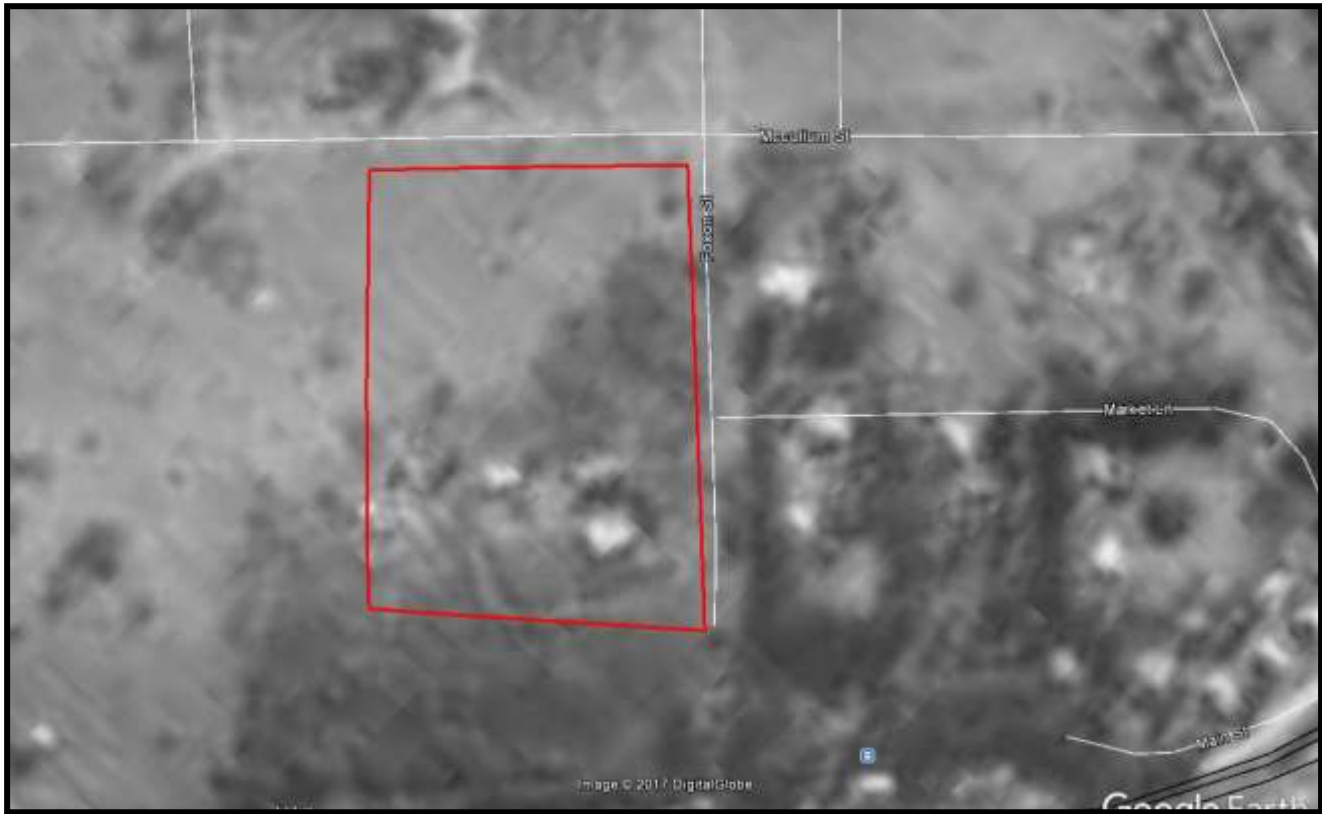


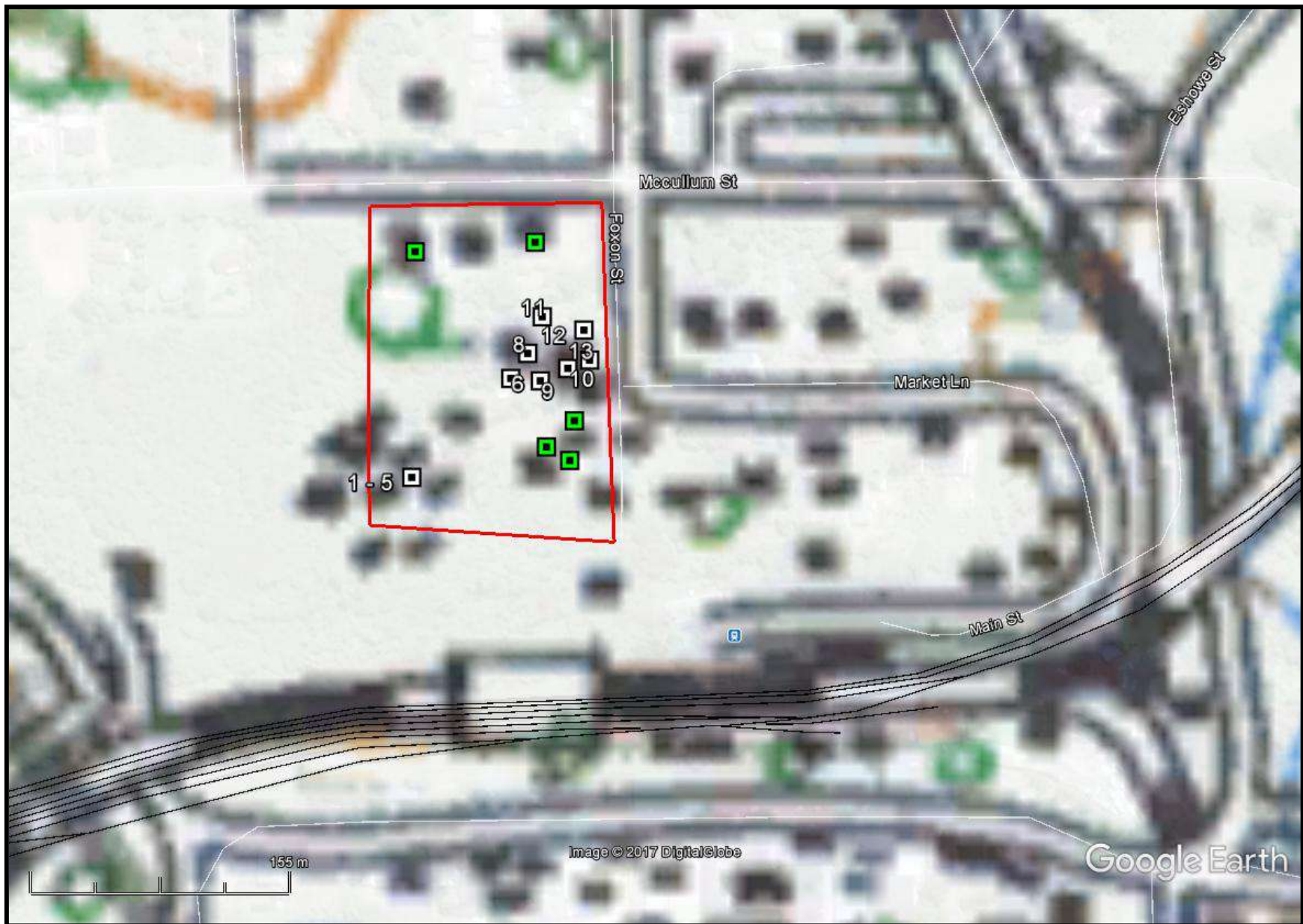


FIG. 6: STUDY AREA IN 1937 WITH(OUT) PROPOSED BUILDINGS<sup>2</sup>



<sup>2</sup> 117C\_054\_03082

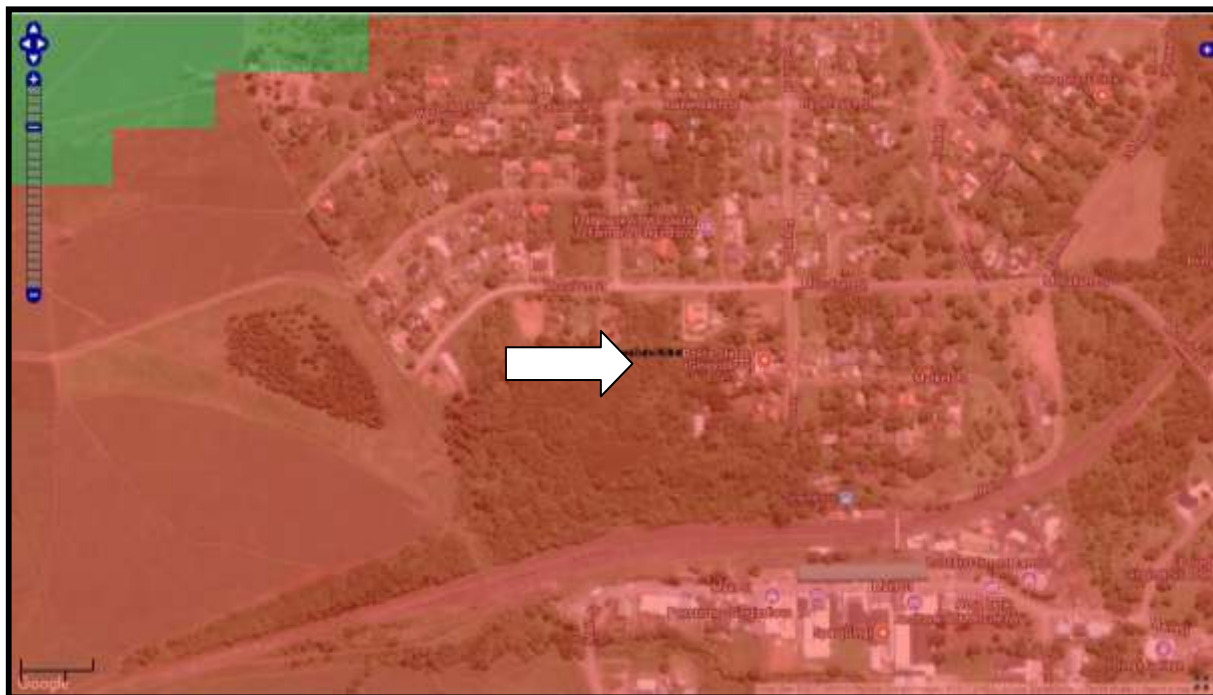
FIG. 7: STUDY AREA IN 1964



## PALAEONTOLOGICAL IMPACT ASSESSMENT

The area is of very high palaeontological sensitivity (fig. 8). However, the demolition of the buildings will not affect any palaeontological horizons. The existing and previous buildings would have already disturbed the upper 1.5m – 2m of deposit and thus new buildings are unlikely to impact on undisturbed horizons.

**FIG. 8: PALAEONTOLOGICAL SENSITIVITY OF THE STUDY AREA**



COLOUR	SENSITIVITY	REQUIRED ACTION
RED	VERY HIGH	field assessment and protocol for finds is required
ORANGE/YELLOW	HIGH	desktop study is required and based on the outcome of the desktop study, a field assessment is likely
GREEN	MODERATE	desktop study is required
BLUE	LOW	no palaeontological studies are required however a protocol for finds is required
GREY	INSIGNIFICANT/ZERO	no palaeontological studies are required
WHITE/CLEAR	UNKNOWN	these areas will require a minimum of a desktop study. As more information comes to light, SAHRA will continue to populate the map.

## **CONCLUSION**

A heritage assessment of the area to be affected by the demolition of several buildings in Gingindlovu was undertaken. The buildings will be demolished to upgrade the SAPS buildings for Gingindlovu. The area consisted of several buildings since 1930s; however, most of these have been demolished and/or built over. Many of the original farm outbuildings have been raised and do not occur on the 1960s or more recent maps.

All of the proposed buildings to be demolished are younger than 60 years, or of indefinite age, and do not require a permit.

In terms of the palaeontology and archaeology, no further mitigation is required.

## **REFERENCES**

117C\_054\_03082

2931 BA Gingindlovu 1:50 000 topographical map 1964, 2000

Natal Museum Site Record Database

Umlando Database

SAHRIS database

## EXPERIENCE OF THE HERITAGE CONSULTANT

Gavin Anderson has a M. Phil (in archaeology and social psychology) degree from the University of Cape Town. Gavin has been working as a professional archaeologist and heritage impact assessor since 1995. He joined the Association of Professional Archaeologists of Southern Africa in 1998 when it was formed. Gavin is rated as a Principle Investigator with expertise status in Rock Art, Stone Age and Iron Age studies. In addition to this, he has worked on both West and East Coast shell middens, Anglo-Boer War sites, and Historical Period sites.

## DECLARATION OF INDEPENDENCE

I, Gavin Anderson, declare that I am an independent specialist consultant and have no financial, personal or other interest in the proposed development, nor the developers or any of their subsidiaries, apart from fair remuneration for work performed in the delivery of heritage assessment services. There are no circumstances that compromise the objectivity of my performing such work.

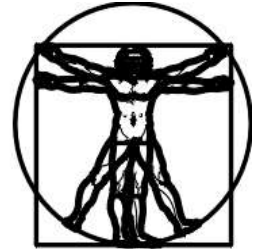
A handwritten signature in black ink, appearing to read 'G Anderson', with a large, stylized initial 'A'.

Gavin Anderson  
Archaeologist/Heritage Impact Assessor

**APPENDIX A  
APPLICATION FOR DEMOLITION**



ARCHITECTS



Ref. demelloarch/gingindlovupolice-15

The Project Manager  
Durban Region  
Department of Public Works  
Republic of South Africa  
Private Bag X54315  
Durban  
4000

23 January 2017

**FOR ATTENTION:**

**Raj Sewjugath**

[raj.sewjugath@dpw.gov.za](mailto:raj.sewjugath@dpw.gov.za)

Copies:

Vernon Ball  
Sumesh Govender

NDPW Project Manager  
Chief Architect

[Vernon.ball@dpw.gov.za](mailto:Vernon.ball@dpw.gov.za)  
[Sumesh.govender@dpw.gov.za](mailto:Sumesh.govender@dpw.gov.za)

Sir

**GINGINDLOVU: SOUTH AFRICAN POLICE SERVICES: PROJECT FIVE STAR: UPGRADING OF POLICE CELLS AND COMPLETE REPAIRS AND RENOVATIONS TO STATION: APPLICATION FOR THE DEMOLITION OF STATE OWNED BUILDINGS: UPDATED FROM 2012**

**WCS 035880**

**ROSTER CODE: KN01617**

It is with pleasure that I re-submit the application for the demolition of stated owned buildings. This is an update of the original document submitted in June 2012.

Project Consultant Team:

Architect	de Mello Machado Architects
Quantity Surveyor	de Leeuw VJV
Civil/Structural Engineer	Singh Govender & Associates
Electrical Engineer	Lebone Engineering

Suite 3 –Quay Walk–Tuzi Gazi Waterfront–Tel/Fax 035 788 0529– Cell 083 236 9369 – [demelloarch@telkomsa.net](mailto:demelloarch@telkomsa.net) –P.O. Box 101895-Meerensee-3901

**Pedro de Mello Machado – B.Arch.(UPE)Arch.(S.A.)MIArch.KZ-NIA**

**DEPARTMENT OF PUBLIC WORKS**

PRM010/2

**PROPERTY DEVELOPMENT  
DEMOLITION OF STATE OWNED BUILDINGS**

**SECTION A: GENERAL INFORMATION AND APPLICATION**

**PROJECT MANAGER:** Raj Sewjugath **WCS:** 035880

**ROOM NO.:** 10 **TEL NO.:** 031-314 7182 **REF. NO.:** \_\_\_\_\_

**PROJECT: GINGINDLOVU: SOUTH AFRICAN POLICE SERVICES: PROJECT FIVE STAR:  
UPGRADING OF POLICE AND COMPLETE REPAIRS AND RENOVATIONS TO  
STATION**

Please find enclosed the application for the demolition of the Buildings # 1 - # 13

\_\_\_\_\_  
**SIGNATURE**

\_\_\_\_\_  
**DATE**

**SECTION B: DISTRIBUTION FOR SIGNATURE**

- 1 Recommended / Not Recommended (in general, but with specific reference to Heritage)  
Comments:

\_\_\_\_\_  
**D/ARCH**

\_\_\_\_\_  
**DATE**

- 2 Recommended / Not Recommended  
Comments:

\_\_\_\_\_  
**CD/KAM**

\_\_\_\_\_  
**DATE**

- 3 Recommended / Not Recommended  
Comments:

\_\_\_\_\_  
**CD/PORTFOLIO ANALYSIS**

\_\_\_\_\_  
**DATE**

- 4 Recommended / Not Recommended  
Comments:

\_\_\_\_\_  
**CD/PORTFOLIO PERFORMANCE & MONITOR**

\_\_\_\_\_  
**DATE**

- 5 Approved / Not Approved / Approved with comments  
Comments:

\_\_\_\_\_  
**DDG/ASSET MANAGEMENT SERVICES**

\_\_\_\_\_  
**DATE**

- 5 For information

5.1 D/KAM (DCS / SAPS / SANDF / JUST / PRESTIGE / FA / OTHERS)

\_\_\_\_\_  
**DATE**

5.2 D/PORTFOLIO ANALYSIS

\_\_\_\_\_  
**DATE**

5.3 D/C & S (DOLOMITE)

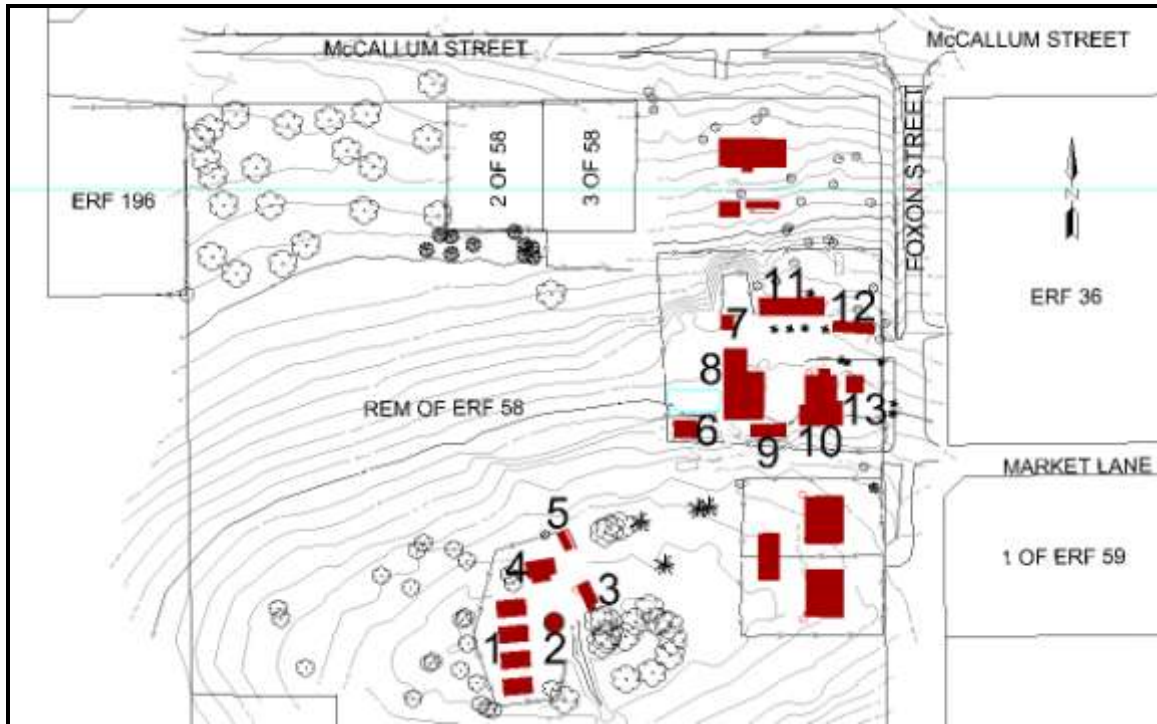
\_\_\_\_\_  
**DATE**

- 6 Received

\_\_\_\_\_  
**PROJECT MANAGER**

\_\_\_\_\_  
**DATE**





Existing Surveyed Site Layout (buildings to be demolished indicated)



Google Earth Imagery (buildings to be demolished indicated)

**BUILDING(S) # 1**

<b>Details:</b>	Type:	4 Prefabricated structures
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	4 units x 39.31m <sup>2</sup> = 157.24m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Single staff quarters
	Current status:	Occupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document. These units are to be replaced with 20 new single staff quarters as per SAPS requirements.
Present value of building(s)	R268 789
Present market value of building(s)	R67 196
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R1 415 160
Estimated cost of repair of building(s)	Irreparable
Present value of material to be recovered	R10 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Less than 60 years
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R40 000.00
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

Suite 3 –Quay Walk–Tuzi Gazi Waterfront–Tel/Fax 035 788 0529– Cell 083 236 9369 – [demelloarch@telkomsa.net](mailto:demelloarch@telkomsa.net) –P.O. Box 101895-Meerensee-3901

**Pedro de Mello Machado – B.Arch.(UPE)Arch.(S.A.)MIArch.KZ-NIA**

**BUILDING(S) # 2**

**Details:** Type: Prefabricated structure - Igloo  
 Address: Foxon Street, Gingindlovu  
 No. of floors: Single storey  
 Total area of building(s): 30.25m<sup>2</sup>  
 Total area of land: 3,7108 ha  
 Utilization: Store  
 Current status: Unoccupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document.
Present value of building(s)	R43 478
Present market value of building(s)	R15 125
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R151 250
Estimated cost of repair of building(s)	Irreparable
Present value of material to be recovered	R2 500
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Less than 60 years
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R6 050
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

**BUILDING(S) # 3**

<b>Details:</b>	Type:	Brick with asbestos roof sheeting
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	27.09m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Ablution
	Current status:	Unoccupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document. Building not in use.
Present value of building(s)	R101 271
Present market value of building(s)	R88 612
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R190 000
Estimated cost of repair of building(s)	R108 360
Present value of material to be recovered	R10 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years – not significant – under 60 years therefore exempt from heritage application.
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R25 000 (including asbestos removal)
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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**Pedro de Mello Machado – B.Arch.(UPE)Arch.(S.A.)MIArch.KZ-NIA**

**BUILDING(S) # 4**

<b>Details:</b>	Type:	Prefabricated structure
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	38.67m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Ablution
	Current status:	Occupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document. New single staff quarters will include ablution facilities as per SAPS requirements.
Present value of building(s)	R72 280
Present market value of building(s)	R105 463
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R309 360
Estimated cost of repair of building(s)	Irreparable
Present value of material to be recovered	R5 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	No
Will some other building(s) be erected on land	No
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Less than 60 years
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R10 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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**BUILDING(S) # 5**

<b>Details:</b>	Type:	Brick with asbestos roof sheeting
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	13.50m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Ablution
	Current status:	Unoccupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document. Building not in use.
Present value of building(s)	R50 467
Present market value of building(s)	R37 850
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R94 500
Estimated cost of repair of building(s)	R71 550
Present value of material to be recovered	R2 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes
Will some other building(s) be erected on land	No
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years - not significant – under 60 years therefore exempt from heritage application.
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R7 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

**BUILDING(S) # 6**

<b>Details:</b>	Type:	Brick with asbestos roof sheeting
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	33.14m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Docket Filing Room
	Current status:	Occupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document. A new docket storing facility will be accommodated in the new CSC building as per SAPS requirements.
Present value of building(s)	R92 915
Present market value of building(s)	R77 429
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R265 120
Estimated cost of repair of building(s)	R132 560
Present value of material to be recovered	R5 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years - not significant – under 60 years therefore exempt from heritage application.
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R20 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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**BUILDING(S) # 7**

**Details:** Type: Brick with concrete roof slab  
 Address: Foxon Street, Gingindlovu  
 No. of floors: Single storey  
 Total area of building(s): 17.27m<sup>2</sup>  
 Total area of land: 3,7108 ha  
 Utilization: Store  
 Current status: Occupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document. New and appropriate storing facilities will be accommodated in the new project as per SAPS requirements.
Present value of building(s)	R21 810
Present market value of building(s)	R15 000
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R60 445
Estimated cost of repair of building(s)	R29 080
Present value of material to be recovered	R2 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years - not significant – under 60 years therefore exempt from heritage application. -
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R10 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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**BUILDING(S) # 8**

<b>Details:</b>	Type:	Brick, concrete roof slab and secured courtyards
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	209.46m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Cell Block
	Current status:	Occupied



Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document as it does not conform to Project 5 Star specifications. New Project 5 Star Cell Block to be erected.
Present value of building(s)	R783 028
Present market value of building(s)	R685 149
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R2 513 520
Estimated cost of repair of building(s)	R2 722 980
Present value of material to be recovered	R10 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years - not significant – under 60 years therefore exempt from heritage application.
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R55 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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**BUILDING(S) # 9**

<b>Details:</b>	Type:	Brick with asbestos roof sheeting
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	35.33m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Kitchen serving Cell Block + Staff Toilets
	Current status:	Occupied



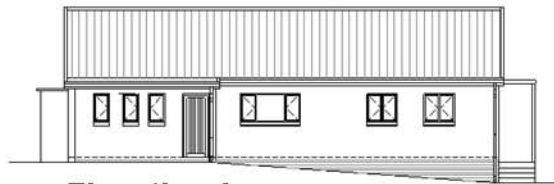
Reasons for demolition	Earmarked for demolition as per SAPS Needs Assessment document. A new kitchen facility servicing detainees will be accommodated in the new Project 5 Star Cell Block.
Present value of building(s)	R132 074
Present market value of building(s)	R123 655
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R335 635
Estimated cost of repair of building(s)	R247 310
Present value of material to be recovered	R5 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years - not significant – under 60 years therefore exempt from heritage application.
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R20 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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**BUILDING(S) # 10**

**Details:** Type: Brick with asbestos roof sheeting  
 Address: Foxon Street, Gingindlovu  
 No. of floors: Single storey  
 Total area of building(s): 133.33m<sup>2</sup>  
 Total area of land: 3,7108 ha  
 Utilization: Community Service Centre (CSC)  
 Current status: Occupied



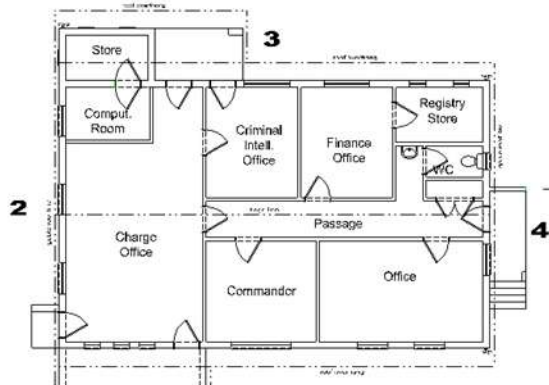
**Elevation 1**

Scale 1 : 100



**Elevation 2**

Scale 1 : 100



**Floor Plan**

Scale 1 : 100



**Elevation 3**

Scale 1 : 100



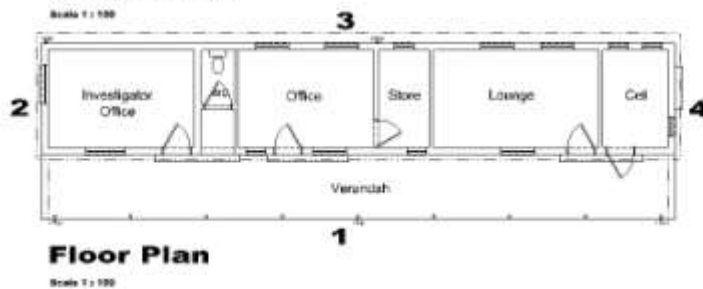
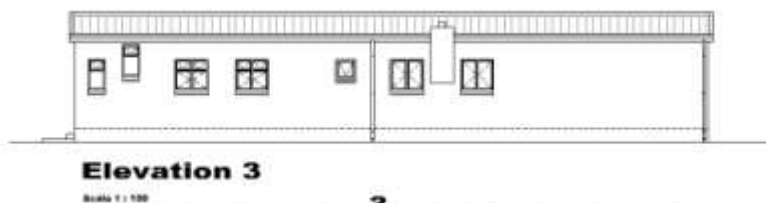
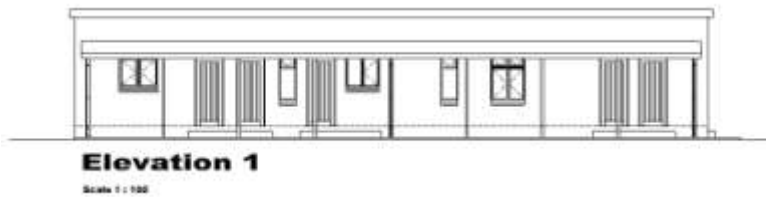
**Elevation 4**

Scale 1 : 100

Reasons for demolition	<ul style="list-style-type: none"> <li>• Condition: Sub-standard and overcrowded</li> <li>• CSC is currently accommodated in a dwelling</li> <li>• Current layout cannot accommodate SAPS needs.</li> <li>• Conversion impractical due to the following reasons: <ul style="list-style-type: none"> <li>• all internal walls to be removed</li> <li>• windows positions altered</li> <li>• roof to be replaced</li> <li>• plastered external walls not fitting overall aesthetic value of project and proposed general facebrick finish</li> <li>• negative impact on planning and functional circulation</li> </ul> </li> </ul>
Present value of building(s)	R560 733
Present market value of building(s)	R733 315
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R1 199 970
Estimated cost of repair of building(s)	R399 990
Present value of material to be recovered	R15 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years - not significant – under 60 years therefore exempt from heritage application.
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R50 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

**BUILDING(S) # 11**

<b>Details:</b>	Type:	Brick with asbestos roof sheeting
	Address:	Foxon Street, Gingindlovu
	No. of floors:	Single storey
	Total area of building(s):	66.66m <sup>2</sup>
	Total area of land:	3,7108 ha
	Utilization:	Office Block
	Current status:	Partially occupied



Reasons for demolition	<ul style="list-style-type: none"> <li>• Condition: sub-standard</li> <li>• Office block currently accommodated in an outbuilding</li> <li>• Current layout cannot accommodate SAPS needs both in size and planning</li> <li>• Existing position on site impacts negatively with accommodation and circulation planning of other facilities as per SAPS requirements</li> </ul>
Present value of building(s)	R280 345
Present market value of building(s)	R399 960
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R599 940
Estimated cost of repair of building(s)	R199 980
Present value of material to be recovered	R5 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Circa 40 years - not significant – under 60 years therefore exempt from heritage application.
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R20 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

**BUILDING(S) # 12**

**Details:**

Type:	Prefabricated mobile structure
Address:	Foxon Street, Gingindlovu
No. of floors:	Single storey
Total area of building(s):	37.48m <sup>2</sup>
Total area of land:	3,7108 ha
Utilization:	Offices for Investigators
Current status:	Occupied



Reasons for demolition	Earmarked for removal/demolition as per SAPS requirements
Present value of building(s)	R72 076
Present market value of building(s)	R18 740
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R262 360
Estimated cost of repair of building(s)	Irreparable
Present value of material to be recovered	R5 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Recent
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R10 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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**BUILDING(S) # 13**

**Details:** Type: Prefabricated timber structure  
 Address: Foxon Street, Gingindlovu  
 No. of floors: Single storey  
 Total area of building(s): 24.09m<sup>2</sup>  
 Total area of land: 3,7108 ha  
 Utilization: Office/Store  
 Current status: Occupied



Reasons for demolition	Earmarked for demolition as per SAPS requirements
Present value of building(s)	R45 452
Present market value of building(s)	R68 179
Present market value of land:	N/A – Government Land
Present replacement value of building(s)	R192 720
Estimated cost of repair of building(s)	Irreparable
Present value of material to be recovered	R5 000
Manner in which recovered material will be disposed	By contractor appropriately
Can land and building(s) be sold by auction	N/A – Government Land
Is land needed for other purposes	Yes - New SAPS Facility to be provided
Will some other building(s) be erected on land	Yes
Can building(s) perhaps be utilised for some purposes	No
Estimated age	Recent
Confirmation that funds are available for demolition	WCS 035880
Who will carry out demolition work	Recommended contractor by tender process
Estimated cost of demolition	R10 000
Demolition by implosion / use of explosives	No
Implosion / explosive guidelines to be complied with.	N/A

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There are only two buildings which have not been earmarked for demolition as per SAPS Needs Assessment document ,namely; The CSC and Office Blocks (Above referred to as buildings # 10 & # 11). Their position, condition and planning relationships are not suitable or viable for their incorporation or retention in the new project design.

- The new CSC and Administration block is a double storey structure over the current Building # 10.
- The position of the new Cell Block and the planning/flow relationship to the new CSC, Administration Block and adjacent property's Magistrates Court is critical thus making Building # 11 unsuitable to retain.
- The site slopes towards the west away from the proposed new facility therefore positioning of new buildings elsewhere on the site would not be cost effective and appropriate for the smooth functioning of the police station.

I trust that DPW will view this formal application for the demolition of state owned buildings favorably.

Sincerely



Pedro de Mello Machado Pr. Arch.  
B.Arch.(UPE).Pr.Arch.MIArch.KZN-NIA  
SAIA Corporate Member

**APPENDIX B  
LETTER FROM ARCAIC CONSULTING**

# archaic consulting

architecture: research: conservation: anthropology: impacts consulting

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## Opinion note on buildings forming part of the renovations at the Gingindlovu Police Station

Debbie Whelan of Archaic Consulting was requested by Mr. Gavin Anderson of Umlando Archaeological Surveys & Heritage Management to offer comments on two structures remaining on site at the Gingindlovu Police Station, currently being upgraded. These are a storage building and a dwelling, and are both of indefinite age. The photographs in this note were provided by Mr. Pedro de Mello Machado, lead architect on the project.

Both are utilitarian and functional buildings constructed of conventional brick and mortar, plastered and painted, on a low painted brick dado. Both roofs are double pitched corrugated asbestos sheeting; the house as a modest veranda with a painted stoep. Both have brick on edge cills, and painted standard section steel windows. The condition of both of these buildings is relatively good.



Fig 1: Side view of dwelling



Fig 2: Front view of dwelling



Fig 3: View of store

**Conclusions: Whilst the dwelling does show some consideration in the treatment of the elevations, there is little of other merit to recommend its retention. It has little in the way of architectural, historical, technical or scientific merit, and may have low social associations for police staff that have stayed there in the past. The store has similar limited value: these buildings would be lost and**

***meaningless in a new development, and therefore, in the opinion of the author, demolition should it be required, is an option.***