

HERITAGE STATEMENT

NIEUWEDORP, FOUNDERS' ESTATES, BOSCHENDAL FARMLANDS, DWARS RIVER VALLEY, STELLENBOSCH

**Application submitted to SAHRA in terms of Section 27 of the NHRA
(Act No. 25 of 1999) for:**

- **Repair and maintenance work to the homestead and barn**
- **Renovation work to the homestead**



Nieuwedorp homestead and barn pre 1930 (CA AG7553)

Prepared for Boschendal Proprietary Ltd

**Prepared by Sarah Winter and Nicolas Baumann Heritage Consultants
with input from Graham Jacobs (Arcon) Heritage Architect**

29th November 2013

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SECTION A: INTRODUCTION

Nieuwedorp is one of the Founders' Estates situated on Boschendal Farmlands within the Dwars River Valley, Stellenbosch Municipal Area. Founders' Estates was declared a National Heritage Site (NHS) in 2009. It is the intention of the owner, Boschendal (Proprietary) Ltd, to undertake alterations to the homestead and barn, largely repair and maintenance work. A permit is thus required from SAHRA in terms of Section 27 of the National Heritage Resources Act (Act 25 of 1999; NHRA). This report has been prepared to accompany a permit application.

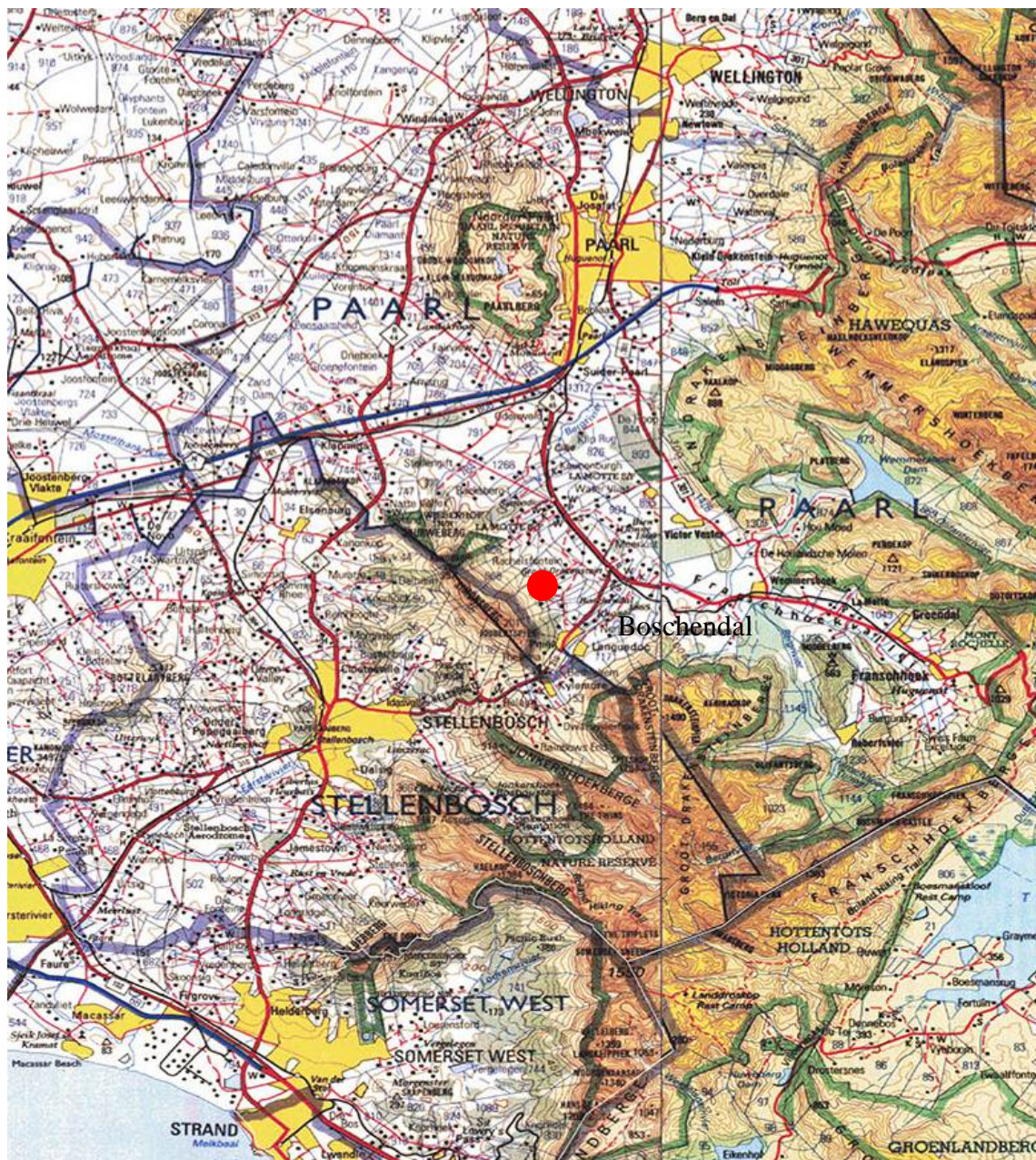


Figure 1: Site location within the context of the Dwars River Valley



Figure 2: Site location within the context Founders' Estates (red outline), Boschendal Farmlands. The Nieuwedorp werf (white arrow) is situated on Founders' Estate No. 11

A.1 Site description

The Nieuwedorp werf comprises an early 20th century homestead and 19th century barn with 20th century alterations. The werf may include the subsurface remains of an earlier homestead, as well as other structures and features. It is possible that the existing homestead is located on the footprint of the earlier homestead (ACO 2009). A late 20th century garage structure is located immediately to the west of the homestead and has no heritage significance.



Figure 3: Digital model of the werf from the south-east showing the homestead, barn and garage (Source: Philip Briel Architecture 2013)



Figure 4: Nieuwedorp homestead front (east-facing) façade with its Cape Revival gables and stylistically characteristic front stoep and flanking projecting bays. This building is clearly architecturally less sophisticated than Champagne (Figure 5)



Figure 5: Champagne, with its architecturally more refined front façade compared to the Nieuwedorp homestead (Figure 4). Note for example its more finely executed stoep columns, better proportioned verandah eaves and bullseye gable windows, teak double sliding sash windows and thatch roof. (Image: Graham Jacobs, 21 November 2013)

A.1.1 The Nieuwedorp homestead

Nieuwedorp homestead has distinctive Cape Revival features in terms of its H-shaped plan form under a corrugated iron roof, curvilinear Rococo inspired 'holbol' gables. Its front (east facing) veranda, which is flanked by projecting bays, is classic Cape Revival in style giving it striking resemblance to Champagne, another homestead located approximately 1.5km to the east. Champagne appears to have been the architectural model for Nieuwedorp, with which it shares an almost identical floor plan. Champagne was built in 1900, designed by Baker Kendall, Masey & Earl (Titlestad 2008). However, the Nieuwedorp homestead, which is stylistically later (c 1920) is clearly not of the same design quality as Champagne, neither in terms of detailing nor finishes (Figures 4 & 5) and is very unlikely to be the original work of Baker *et al.* It is likely to post-date Champagne by a few decades, dating to the 1920s or 30s.

The inside of the homestead has been badly vandalized, although surviving fabric indicates that the interior would have been unexceptional, even while still intact (Figure 6). Its timber floors still survive, as do a number of four panel early 20th century doors, and the front door. Some timber casement windows remain on the front façade, although those in the projecting front bays appear to be subsequent meranti replacements, now also vandalized. Fenestration in the other facades is steel framed and clearly replaced earlier timber windows. The interior contains at least some beam and boarded ceilings, although it difficult to determine whether they extend throughout the house due to subsequent dropped ceilings. Timber ceilings are visible in the kitchen and pantry areas (Figure 7). The courtyard which once existed between the two rear wings of the building has been roofed over and enclosed.



Figure 6: The architecturally non-descript interior of the Nieuwedorp homestead. A surviving four-panel early 20th century door is visible on the left. The very plain fireplace has lost its mantle and it clearly never had a fireplace surround other than some plain joints run into the plaster simulating a stone surround. The plain plasterboard and cover strip ceiling may conceal a timber ceiling similar to that indicated in Figure 7. Although there is a floor skirting, note the absence of picture rails and door architraves. (Image: Graham Jacobs, 21 November 2013).

A plain, architecturally non-descript flat roofed garage building with a steel tilt up door and lean-to carport is situated between the rear of the homestead and the long barn.

A number of old camphor trees are located immediately to the north of the Nieuwedorp homestead, suggesting that this werf could quite easily have been settled much earlier than its current buildings would suggest. Apart from these trees, there is nothing distinctive about the surrounding vegetation. The old garden is similarly non-descript and overgrown.



Figure 7: Plain un-moulded beam and board ceiling in the kitchen. Similar ceilings are visible in the adjacent pantry and one of the bedrooms on the opposite side of the house. Other similar ceilings may exist above dropped ceilings in the remainder of the house. The kitchen stove alcove has long since been removed. (Image: Graham Jacobs, 21 November 2013).

A.1.2 The Nieuwedorp long barn

The long barn (Figure 8) to the rear (west) of the Nieuwedorp homestead has gables bearing some similarities to those of the homestead. The barn's exact age, use and modification over time is difficult to determine without more detailed fabric analysis. Its approximate 9m roof span is wider than the norm, imparting it with an almost 'double room' depth floor plan. The roof structure, corrugated iron roof and ceilings are clearly early 20th century although evidence of earlier, lower eaves lines (Figure 9) survive on both long facades, dating presumably from a time when the building was thatched. These features suggest that the building once had lower walls supporting a thatch roof that would have been taller than the current corrugated iron roof, given the considerable roof span of the building and the steeper pitch required of thatch. The structure may even originally have had a hipped thatch roof, with the gable ends added at the time the thatch was replaced with corrugated iron. Stylistically, it is quite possible that these alterations to the barn occurred in about 1920, i.e. at the time the homestead appears to have been built.



Figure 8: The Nieuwedorp long barn with squat proportioned Cape Revival end gables (northern gable visible) due to the wide roof span. (Image: Graham Jacobs, 21 November 2013)



Figure 9: Close-up view of the Nieuwedorp long barn indicating the old thatch eaves line (indicated with the broken red line). Wall fabric below this line is thicker and clearly earlier. The masonry above this line indicates where the walls were raised to incorporate loft vents at the time the roof was converted from thatch to corrugated iron. (Image: Graham Jacobs, 21 November 2013)

The interior of the structure is divided into three main sections, with the northeast end possessing wide openings supported by heavy timber lintols (Figure 10).



Figure 10: Close-up view of the Nieuwedorp long barn north end interior showing the substantial timber lintol/rafter and spine beam construction required to support the loft floor across the wide span of the building. (Image: Graham Jacobs, 21 November 2013)



Figure 11: Interior view of the second interior section of the barn showing a different spine beam construction compared to Figure 10. This area has a cobbled floor and animal stalls. (Image: Graham Jacobs, 21 November 2013)



Figure 12: Loft interior of the long barn showing the typical lightweight construction associated with a corrugated iron roof. (Image: Graham Jacobs, 17 October 2013)

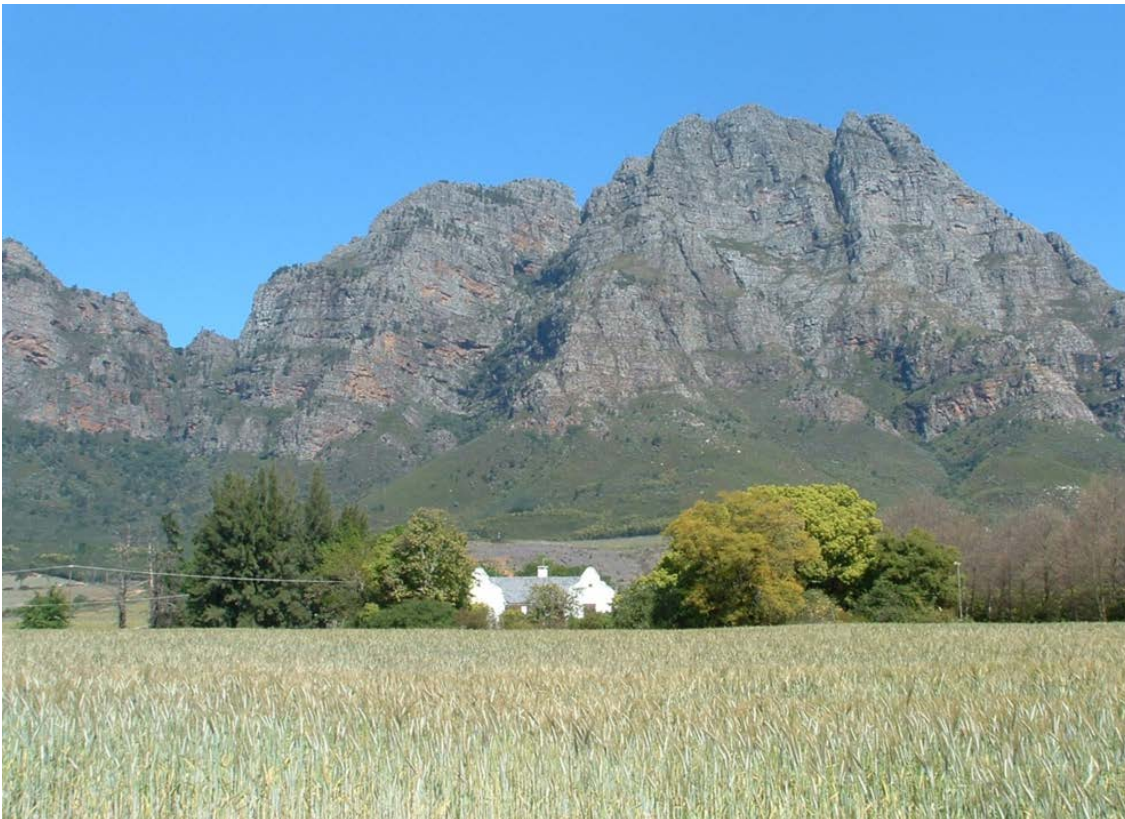


Figure 13: Nieuwedorp homestead with the backdrop of the Simonsberg

Because of the depth of the floor plan, some of the sections include longitudinal spine beams to adequately support the loft floor above (Figures 10 & 11). The central section has a cobbled floor as commonly found in rural cowsheds and stables dating from the early 19th century to the first half of the 20th century. This area also contains a timber feed trough. The southernmost section possesses abandoned living quarters with a kitchen chimney and separate entrances.

A.2 Project description and motivation

The homestead and barn are in derelict and neglected state and require immediate repair and maintenance work. The proposed scope of such work is listed below.

A.2.1 Homestead

- Replace existing corrugated iron sheeting with corrugated iron longspan roof sheets.
- Replace gutters – preferably with ogee profile seamless aluminium gutters and PVC round section downpipes.
- Fix all roof and other leaks; make good using materials compatible with the affected existing fabric.
- Fill all wall cracks and make good using materials compatible with the affected wall fabric, e.g. lime putty and lime-based mortars gauged with Portland cement to heritage architect's spec.
- Repair all vandalized joinery and fixtures including skirtings; make good.
- Reinstall/replace damaged and/or stolen doors.
- Reinstall/repair damaged timber window casements and frames, with particular reference to the front façade.
- Repair all broken window glass and replace missing window latches and other ironmongery.
- Repaint externally and internally using 'breathable' acrylic paint coatings.
- Re-wire and replace all electric switches, plugs, DB's and fittings using existing electrical conduits wherever possible.
- Re-plumb and replace all vandalized sanitary fittings.
- Replace conservancy tank and re-reticulate the sewerage.
- Tidy garden up.

A.2.2 Barn

- Repair and stabilize structural cracks in the southern gable end: to structural engineer's specification prepared in conjunction with an accredited heritage architect.
- Replace all roof sheeting with corrugated iron longspan roof sheets.
- Replace all gutters – preferably with ogee profile seamless aluminium gutters and PVC round section downpipes.
- Fix all roof and other leaks; make good using materials compatible with the affected existing fabric.

- Fill all wall cracks and make good using materials compatible with the affected wall fabric, e.g. lime putty, and lime-based mortars gauged with Portland cement to heritage architect's spec.
- Replace missing external doors; ensure that the exterior of the building is properly secured.
- Repair damaged timber window casements and frames. Re-glaze where necessary.
- Given that the exterior is coated with various finishes including both paint and limewash: scrape off as much paint and limewash as possible; prepare and overcoat the exterior with 'breathable acrylic paint coatings on an approved bonding liquid: all to manufacturers spec prepared in conjunction with an accredited heritage architect.

SECTION B: HISTORICAL OVERVIEW

Nieuwedorp was granted in five parts from 1689, chronologically to Arnoldus Basson, Jacobus van As, Erasmus van Lier, Willem Basson and Pierre Meyer. Arnoldus Basson was married to Ansela of Bengal, who had been van Riebeeck's slave, was manumitted by him, and was the mother of Anna de Koning and Jacobus van As. Willem was the son of the Ansela and Arnoldus. In 1701 the farm was a consolidation of five properties owned by Jacobus van As, who had become a wealthy farmer. After his death in 1713 (probably of smallpox) his estate was sold off – most of it to Jacob de Villiers, son of Jacques De Villiers, owner of Boschendal in 1724. The De Villiers now owned half of the Valley and remained the controlling family through the 18th and 19th century (Titlestad 2008).

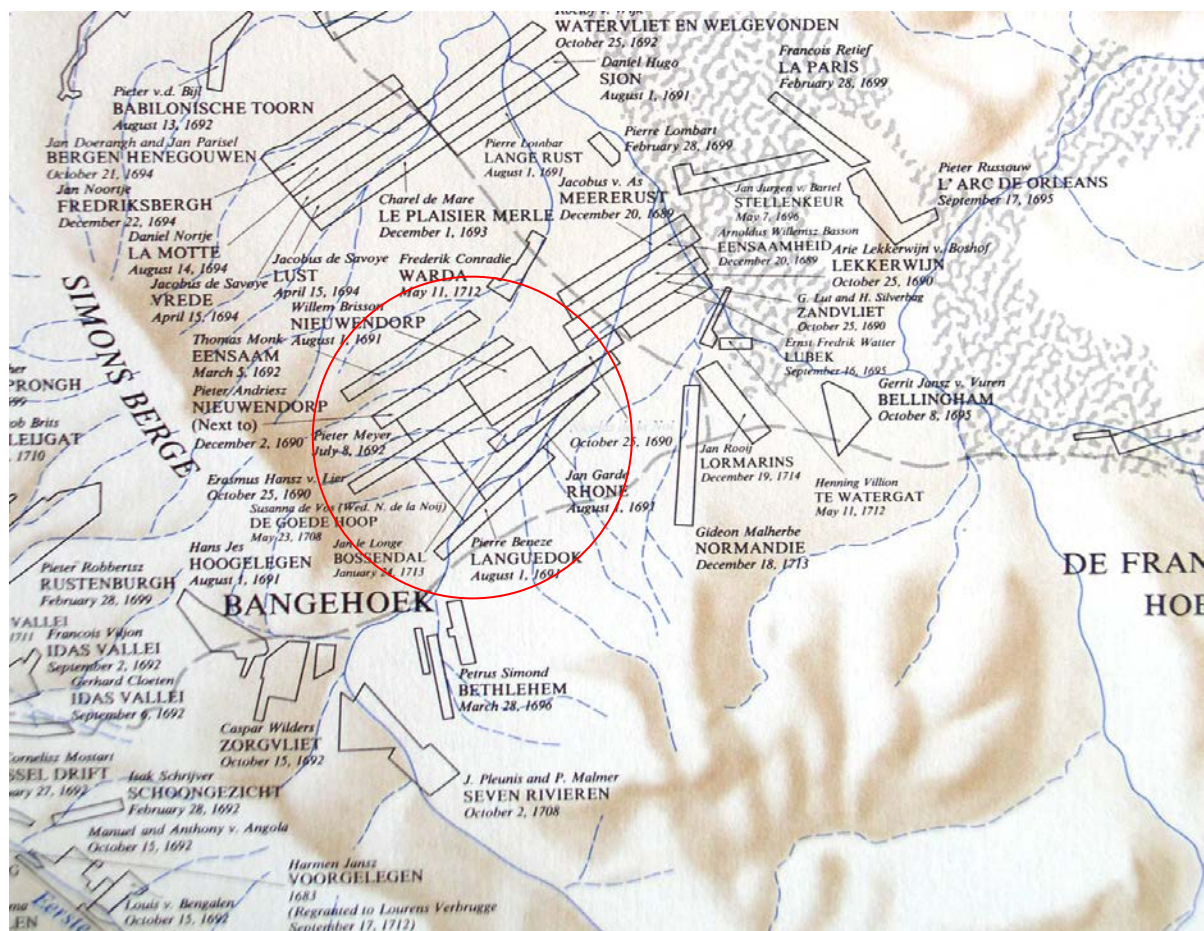


Figure 14: Extract from composite map showing 17th and 18th century lands grants in the Drakenstein Valley (Source: Leonard Guelke Cape Colony 1657-1750, Department of Geographical Publication series, University of Waterloo, 1987). Nieuwedorp land grants located within the red circled area.

The map depicts a complex land division. Key features include:

- Freehold 60 Morgen:** Several large tracts of land, some outlined in yellow and others in blue.
- Grazing Ground:** Multiple areas designated for grazing, shown in various shades of pink and purple.
- Common Arable Uncultivated about 21 Morgen:** A central area of common land.
- old 60 Morgen:** A large tract of land on the right side.
- Field:** A small area circled in red with a crosshair, located near the center.
- Roads:** Labeled roads include "Public Road" and "Road from Stellenbosch".
- Rivers:** A river labeled "Rivier" flows through the lower part of the map.
- Other Labels:** "Spring", "Water", "Wooden Road", "Land called Lelker", and "Ponil" are also visible.

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In 1886 the outbreak of phylloxera virtually destroyed all the Cape vineyards, leaving many farmers bankrupt and the Cape economy in ruin. Nieuwedorp was one of twenty-six farms in the Drakenstein Valley to be acquired by Cecil John Rhodes from 1897 and consolidated under Rhodes Fruit Farms (RFF). RFF was initially established as an experiential and training centre for the development of a Cape fruit industry and was soon to become the centre of a thriving export industry (Baumann & Winter 2006; Titlestad 2008).

The early 20th century valley landscape was characterized by a dramatic shift from wine to fruit farming. It was also associated with the introduction of corporate farming methods and new employment opportunities resulting from the growth and diversification of the fruit industry. This necessitated the construction of additional farm managers' and workers' houses. Herbert Baker's extensive architectural intervention in the Valley began at Rhode's request. It was during this period that Champagne was built in 1900 as a RFF manager's residence designed by Baker, Kendall, Massey & Earl (Titlestad 2008). Baker also designed a cottage for Rhodes that was constructed on adjacent to the site of the ruined Nieuwedorp homestead. The exact location of the original Nieuwedorp homestead is unknown.



Figure 16: Champagne with club house extension to the right circa 1930. The clubhouse burnt down in the 1940s. (Source: Appelyard Collection, UCT MSSA BC 860)

It was probably during the 1920s and 30s that the new homestead at Nieuwedorp was built based on the original Baker design of Champagne.



Figure 17: Extract of 1923 Topographical Plan of a portion of Rhodes Fruit Farms Ltd (Source: Surveyor General, author unknown, Boschendal Collection). Diagrammatic representation focusing on main building complexes, e.g. Boschendal, Rhone, Champagne, Nieuwedorp, Rhodes Cottage, Goede Hoop.



Figure 18: Nieuwedorp homestead and barn pre 1930 (CA AG7553)

De Beers took over RFF in 1925. De Beers sold RFF to Abe Bailey and after his death in 1940 a syndicate of business interests acquired RFF and they owned and developed it for the next 28 years. In 1969 Anglo American and de Beers purchased RFF to become Amfarms for the next 31 years. In 2003 a consortium of investors (Boschendal Ltd) purchased the Boschendal farms (www.Boschendal.com).

C. STATEMENT OF SIGNIFICANCE

The Nieuwedorp werf forms part of the Boschendal Founders' Estates NHS. Founders' Estates is located with the Cape Winelands Cultural Landscape which has been graded by SAHRA as Grade I. It is highly representative of this Grade I landscape.

The Nieuwedorp werf is of suggested Grade IIIA heritage value and has historical, architectural, aesthetic, social and scientific significance in terms of the following:

- Its association with a pattern of early colonial settlement during the late 17th and 18th centuries with an emphasis on agricultural production concentrated in the well watered fertile valleys of the region.
- Its dramatic setting with the backdrop of the Simonsberg, visual dominance of a productive agricultural landscape and views across the Valley. Its careful placement in the landscape nestled into the north-facing footslopes, in a copse of trees and overlooking the lands.
- Its association with a major corporate institution (Rhodes Fruit Farms-Amfarms) spanning more than a century and its impacts on the landscape in terms of farming methods, infrastructure, built form, patterns of labour and institutional memory. The Nieuwedorp homestead is representative of this RFF period.
- Its homestead has some architectural value in terms of its distinctive Cape Revival features and its visual-spatial connectivity and close resemblance to Champagne, albeit being a watered-down version of the original Baker design.
- Its long barn, which has architectural value with emphasis to:
 - its overall proportions, shape and presence, which pre-dates the homestead on the site;
 - its architectural layering in the form of distinctive early 20th century period such as its gable ends and corrugated iron roof, standing on what are much thicker and probably pre-existing walls; and
 - its surviving interior features within the stables section, e.g. feed cribs, cobbled floor and stalls.
- Its high archaeological sensitivity which may include buried features within the werf, within and under existing buildings. Of potential archaeological importance are structures, domestic middens and furrows, all of which contribute to the understanding of the place (ACO 2013).

D. ASSESSMENT OF THE PROPOSALS

D.1 Homestead

D.1.1 The proposals

The proposals for the homestead are indicated on drawings BO-2013 by Philip Briel Architecture and Urban Design. An outline of the proposed remedial works is supplied in Section A.2. The purpose of these proposals is to extend the viability of the building as a dwelling and in so doing, to undertake repairs and alterations, including rectifying some questionable additions and insertions carried out over the years. Key alterations include the following:

- The introduction of single doors opening onto the front verandah from opposing front bays on the east side of the building, reusing existing single doors;
- The partial removal of the roofed courtyard enclosure on the west side of the building, and the introduction of a mud room to the west of the fireplace;
- The extension of the living room westwards involving the removal of walls flanking the fireplace and between the kitchen/pantry and living room; and
- The consolidation of the existing four bedrooms into three bedrooms, each with its own en-suite bathroom.

D.1.2 Comments

Given that this building is clearly a watered-down version of the original Baker design as demonstrated at Champagne. Its architectural significance lies in its broad architectural relationship to Champagne, rather than its inherent architectural significance. For this reason, internal alterations to this structure would not impact substantially on its cultural significance. In fact, the proposed alterations will give the building a new lease of life. Notwithstanding this, the following needs to be noted:

- A number of the homestead's internal four panel doors survive, including one found in the northern end of the long barn. These must be retained and re-used, focusing on the area around and visible from the central living/dining room. All other surviving homestead doors are also to be retained or where necessary, reinstated including the back door to the kitchen.
- The heights of the proposed new openings leading off the living/dining room should align with the lintol heights of existing doorways.
- The extent of the period beam and board ceilings in the house is unknown due to the subsequently installed 'dropped' plasterboard ceilings in some of the rooms.

Wherever beam and board ceilings are encountered, these should be retained, renovated and left exposed as part of the interior.

- Mortars and renders used in the repair of the building's existing walls are to be predominantly lime-based, although gauging with limited amounts of Portland cement would be acceptable. More specific Portland cement proportions would be determined on site subject to the construction of standard practice small trial walls for checking mortar and render strengths against existing fabric.
- Builder's lime used for mortars, renders and crack fillers should preferably be hydrated on site and stored in drums for at least two months prior to use. Such material as a superior performance to lime premix products.
- The building is to be prepared and painted with an approved 'breathable' acrylic paint in accordance with an endorsed manufacturer's specification prepared with input from the heritage architect. All exposed cracked gable and parapet cappings are to be carefully prepared and coated with 'Midas Fiberforce' or equal approved, and overcoated with an approved 'breathable' acrylic paint, all as already stated above, while taking care that the 'Fiberforce' does not extend onto outward facing gable faces.
- All excavations for services/landscaping must be monitored by a Specialist Archaeologist and archaeological resources must be recorded and rescued where possible.

D.2 Barn

D.2.1 The proposals

The intention at this stage is not to undertake any alterations to the long barn, other than to repair deteriorating external fabric. It has therefore not been necessary for the project architect to supply drawings for these proposals. An outline of the proposed remedial works is supplied in Section A.2.

D.2.2 Comments

The following needs to be noted:

- In order to properly secure the external envelope of the building, various windows will need to be repaired and re-glazed, and a number of doors will need to be reinstated. No details of replacement/reinstated doors have been supplied by the architect, although there would be no objection in principle to the use of simple, vertically boarded flb type doors on the structure. It is particularly important that the loft doors are properly secured, as the loft floor does not appear to be all that stable.

- There are strong signs of structural cracking on the southern end of the building, which appear to be the result of outward thrusting loads in the vicinity of the loft door. Refer to Figure 19. This will require the attention of a structural engineer with input from the heritage architect.



Figure 19: The southern gable end of the barn indicating structural cracking around and above the loft door. Note also the signs of earlier patching (arrowed). (Image: Graham Jacobs, 21 November 2013)

- Mortars and renders used in the repair of the building's existing walls are to be lime-based, although gauging with limited amounts of Portland cement may be acceptable subject to input from the heritage architect. More specific Portland cement proportions would be determined on site after a closer examination of affected fabric behind plaster faces.
- Builder's lime used for mortars, renders and crack fillers should preferably be hydrated on site and stored in drums for at least two months prior to use.
- There is evidence of various different finishes on the building ranging from pva/acrylic type paints to limewash. A closer examination of the extent of limewash vs. other finishes will therefore be required. Should limewash prove to be the predominant finish, a decision should be taken to limewash the building. However, should the areas of pva/acrylic finishes prove to be extensive, it would be pointless

to attempt to limewash the building as this would require heavy preparation including possible re-plastering of entire sections of external wall to provide an acceptable key for the limewash. In this case, it would be more appropriate for the building to be prepared and painted with an approved 'breathable' acrylic paint in accordance with an endorsed manufacturer's specification prepared with input from the heritage architect. It is therefore requested that the heritage architect be given discretion by SAHRA to make the appropriate call in this regard.

- All exposed cracked gable and parapet cappings are to be carefully prepared and coated with 'Midas Fiberforce' or equal approved, and over coated with an approved 'breathable' acrylic paint, all as stated in v) above, while taking care that the 'Fiberforce' does not extend onto outward facing gable faces, particularly if these are to be limewashed.

Figure 20: As-built drawings and proposals

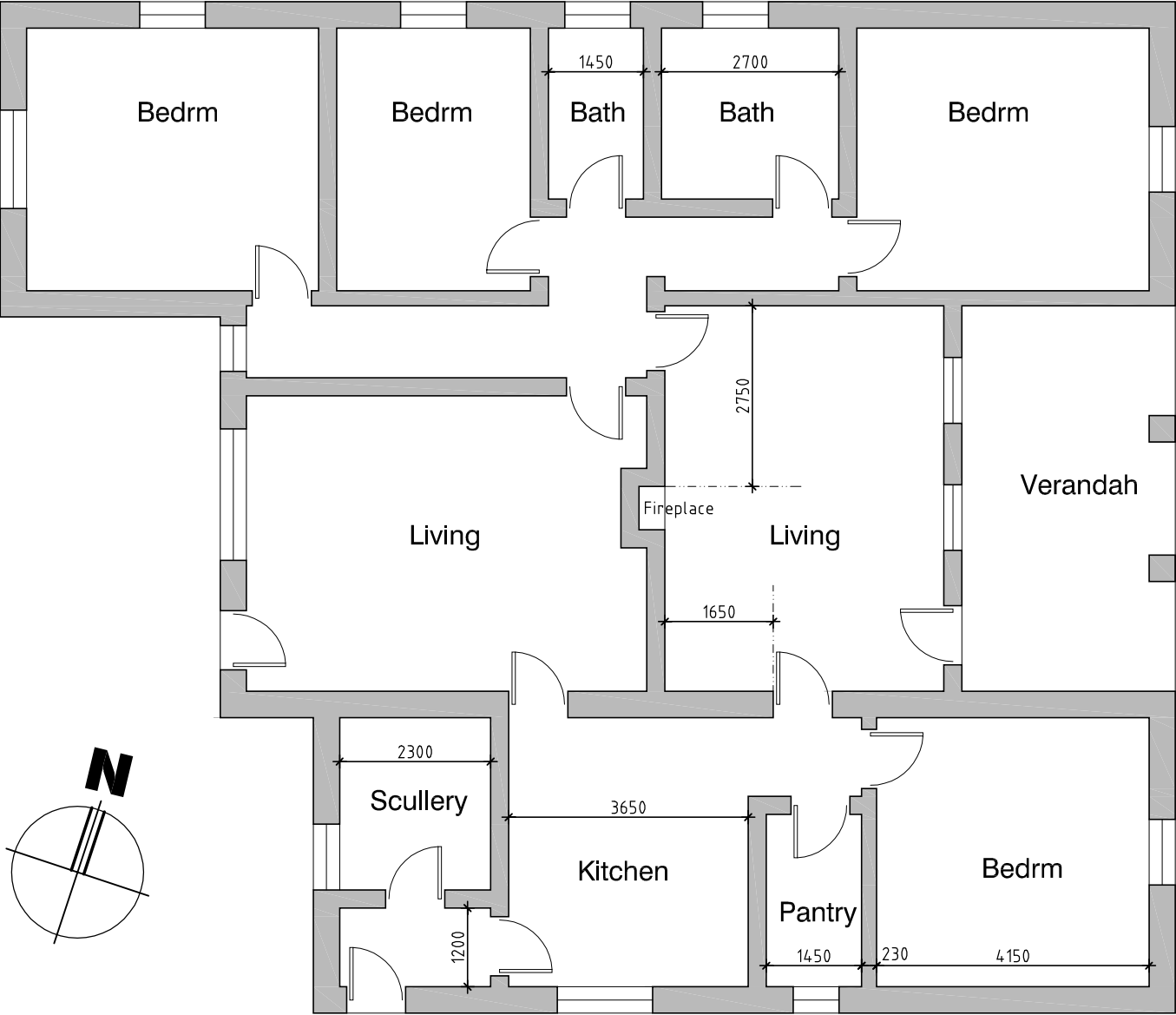
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All dimensions & levels to be verified on site before commencing work or shop drawings.
Any discrepancies must be reported to the Designer immediately

The Designer accepts no responsibility for errors resulting from the misinterpretation of the drawings.
All work, including mechanical and electrical work, is to be done in accordance with the National Building Regulations.
All materials and workmanship are to comply with the relevant S.A.B.S. codes.

Revisions:

Rev.	Date.	Ini.	Description.



NIEUWEDORP HOUSE
As-Built Layout Plan

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Drawing: Nieuwedorp House - As-Built Layout Plan

BOSCH-13 Project:

Scale:

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BO-2013

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.CAPE TOWN.

PHILIP BRIEL

ARCHITECTURE • URBAN DESIGN

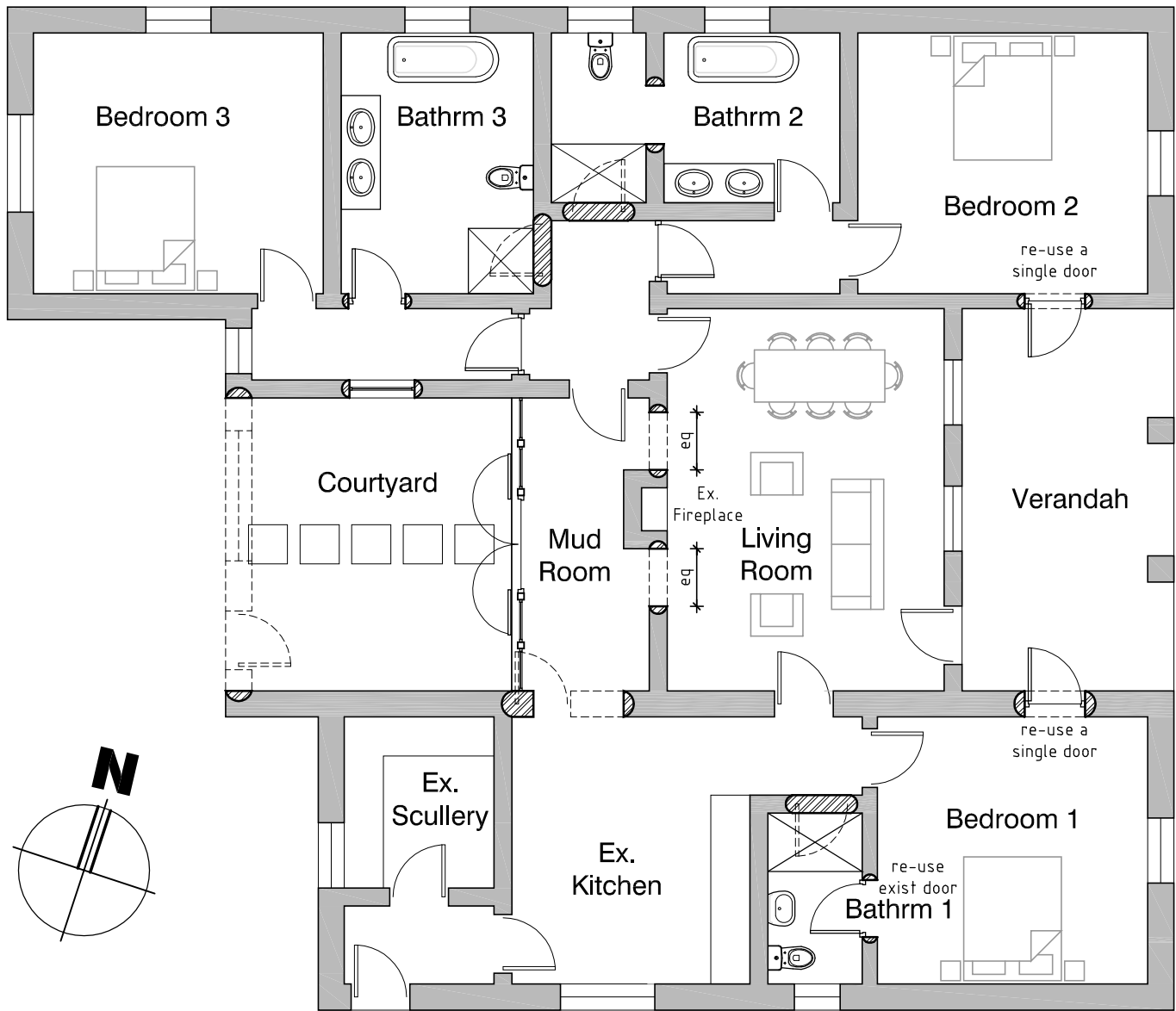
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Revisions:

Rev.	Date.	Ini.	Description.



NIEUWEDORP HOUSE Proposed Alterations

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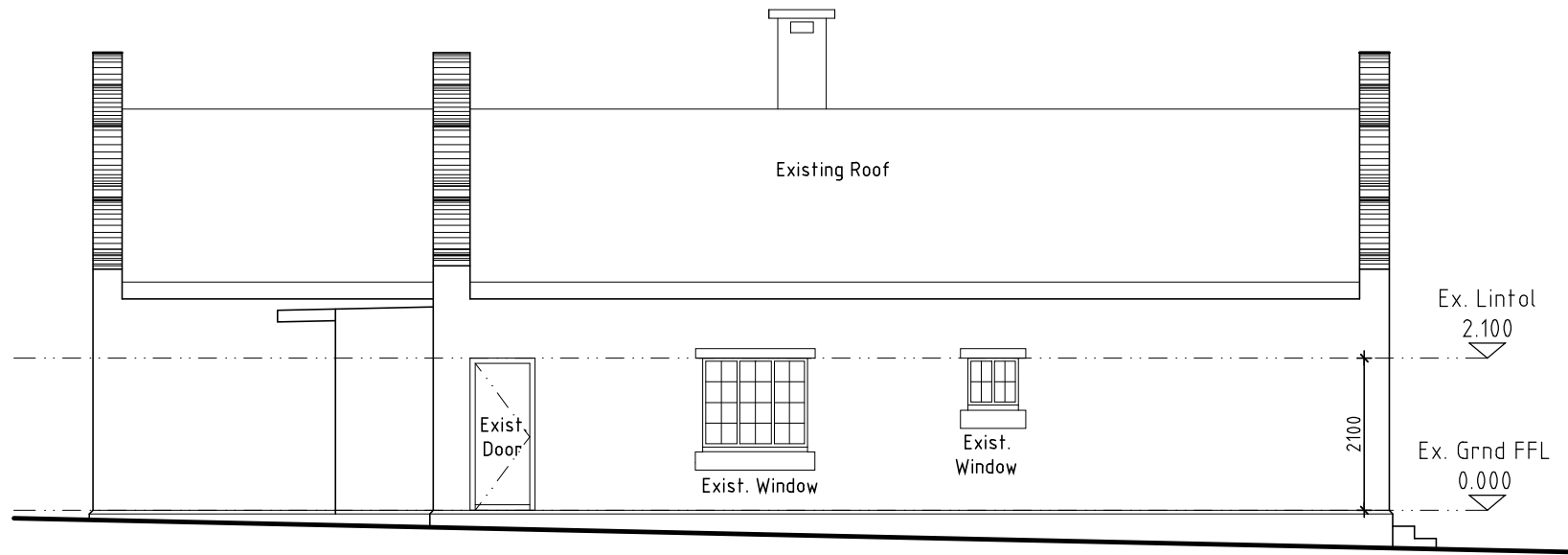
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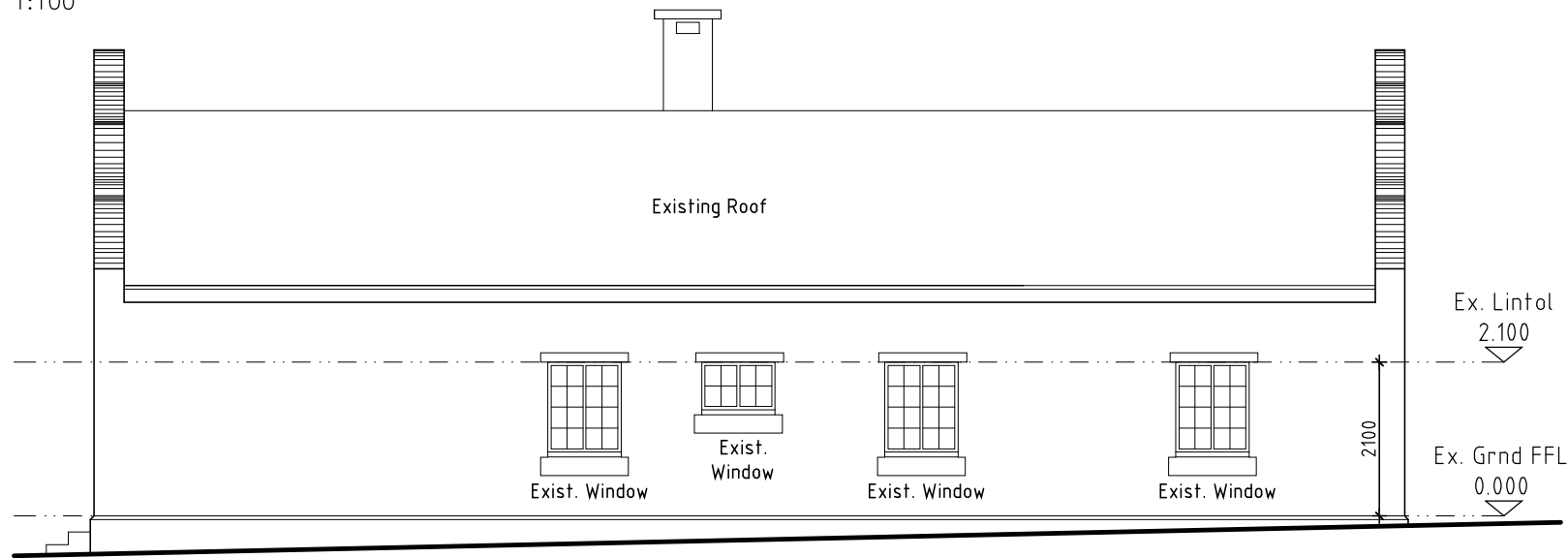
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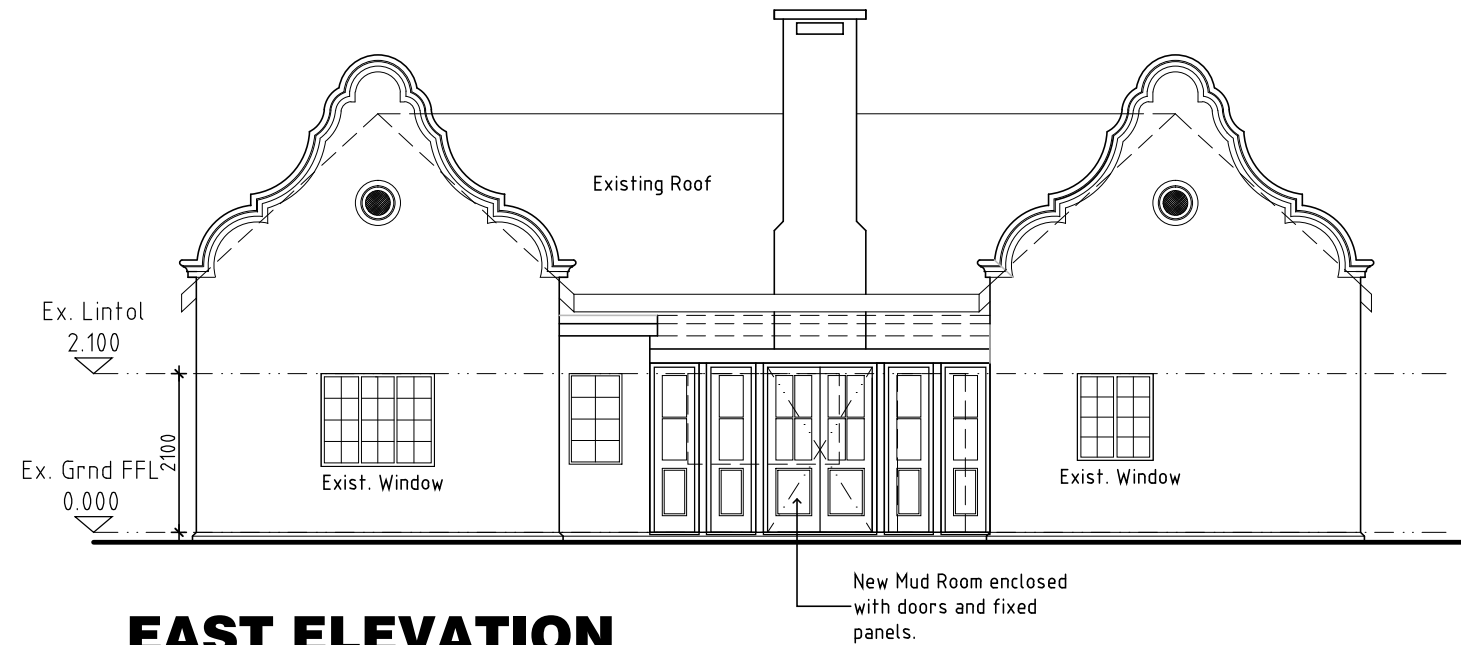
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ARCHITECTURE • URBAN DESIGN



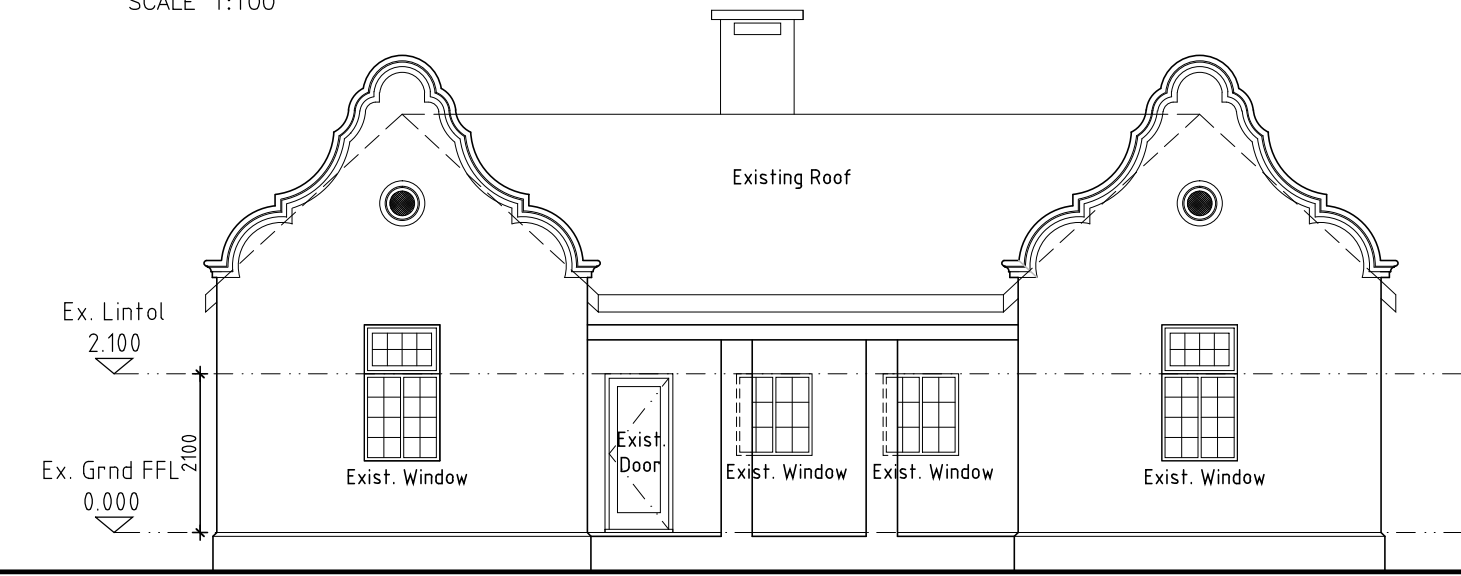
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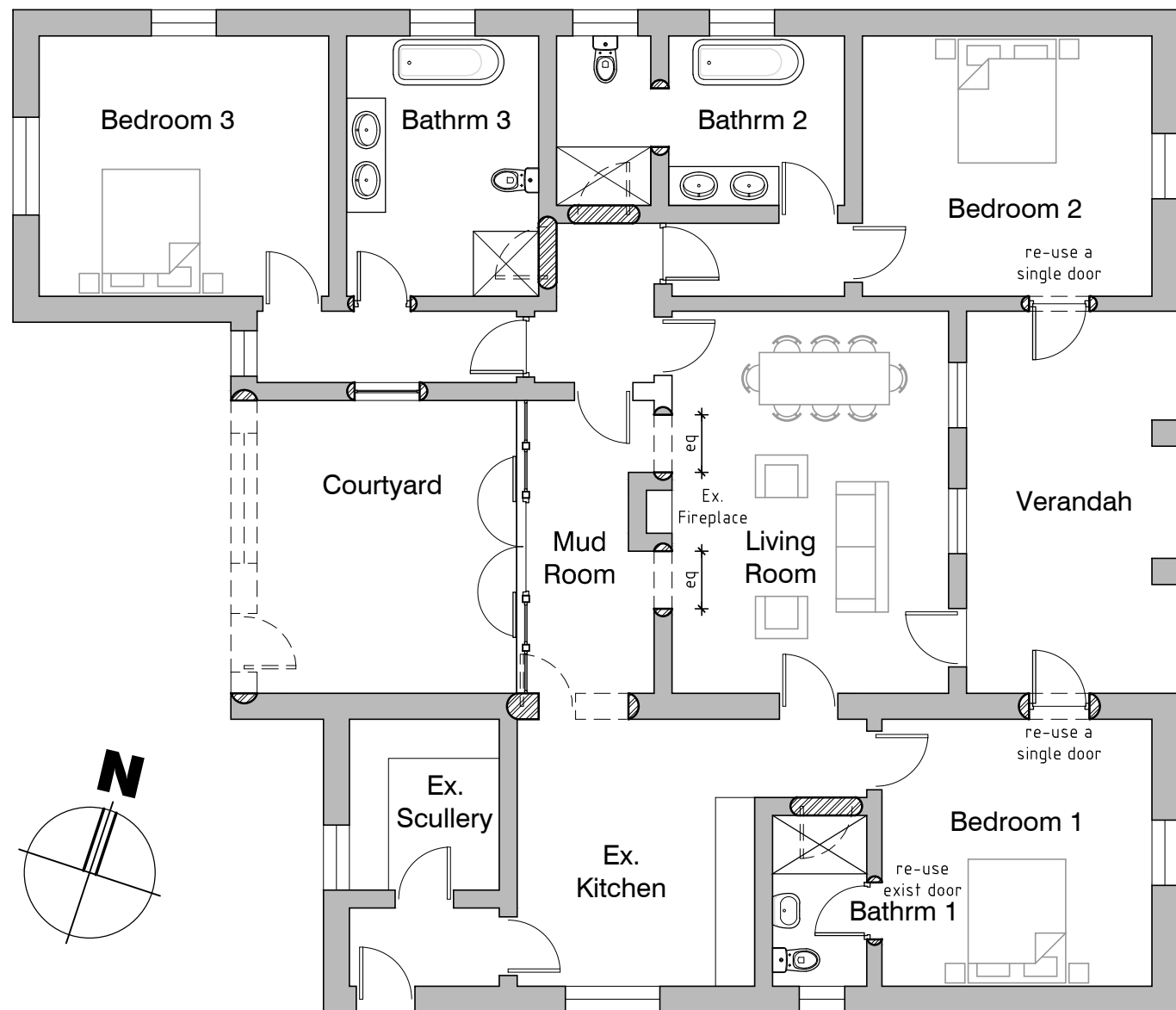
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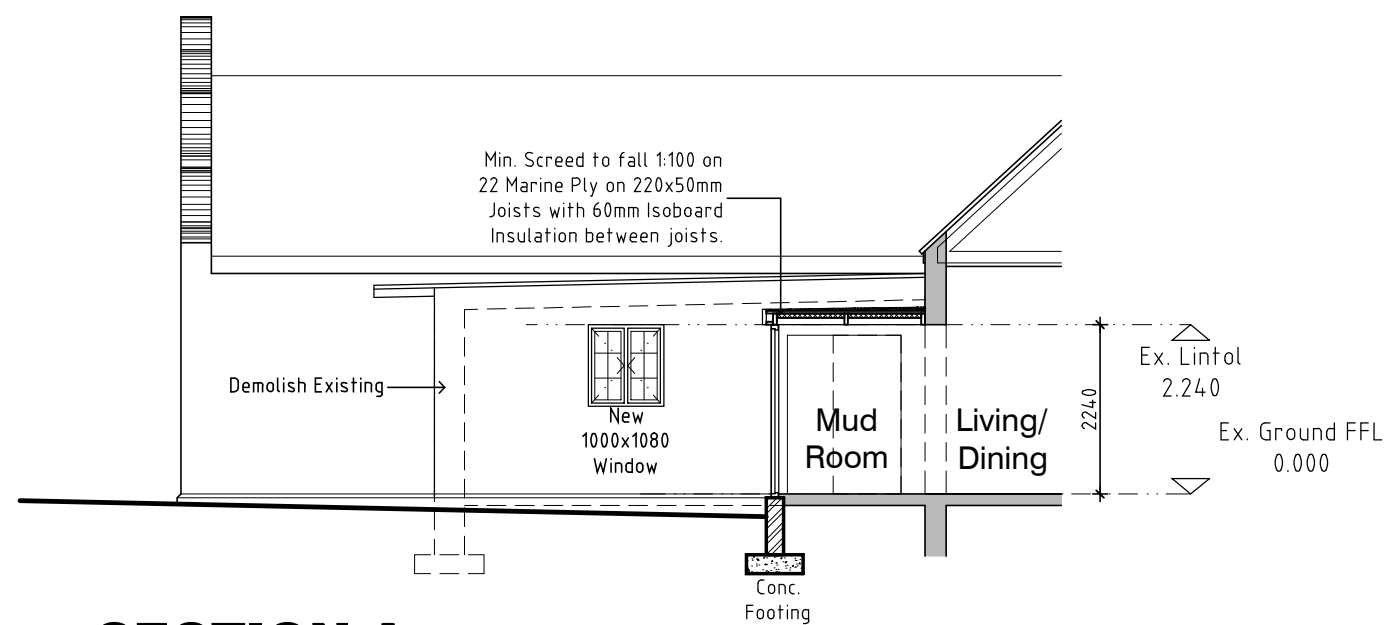
EAST ELEVATION
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WEST ELEVATION
SCALE 1:100



FLOOR PLAN
SCALE 1:100



SECTION A
SCALE 1:100

CAPE TOWN.
PHILIP BRIEL
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PROJECT TITLE

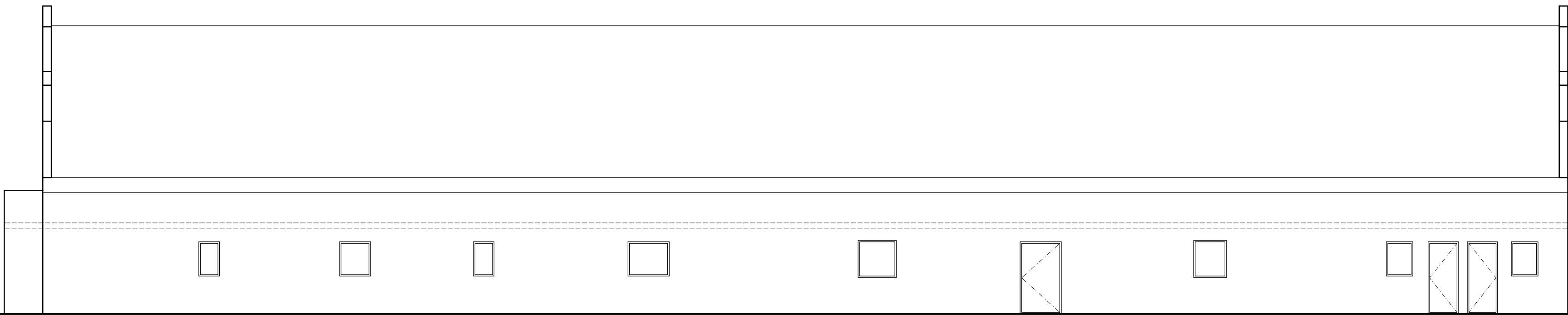
Proposed: Alterations to
Nieuwedorp House
Erf 1674/10
Boschendal Estate
Franschoek

DRAWING TITLE

Sketch Plan

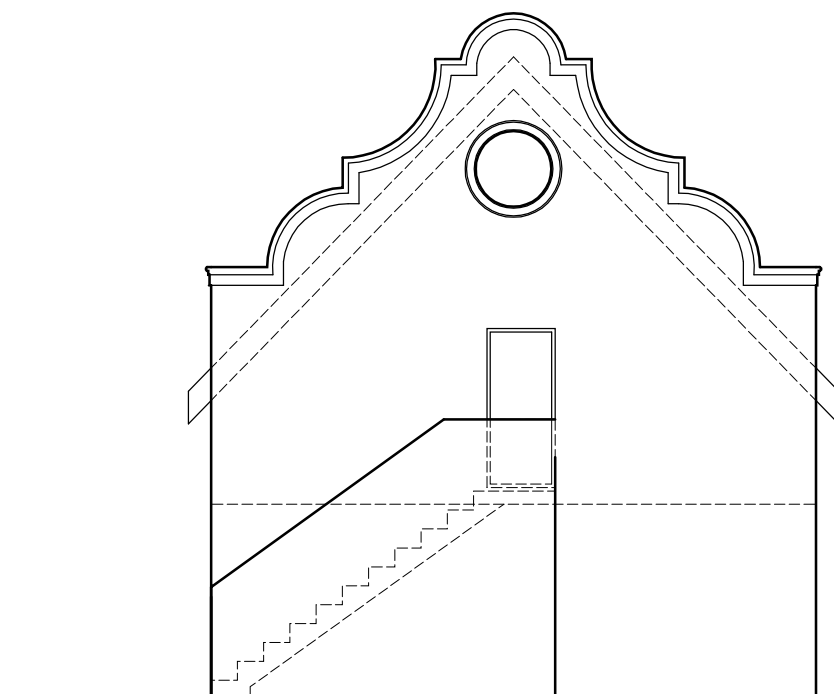
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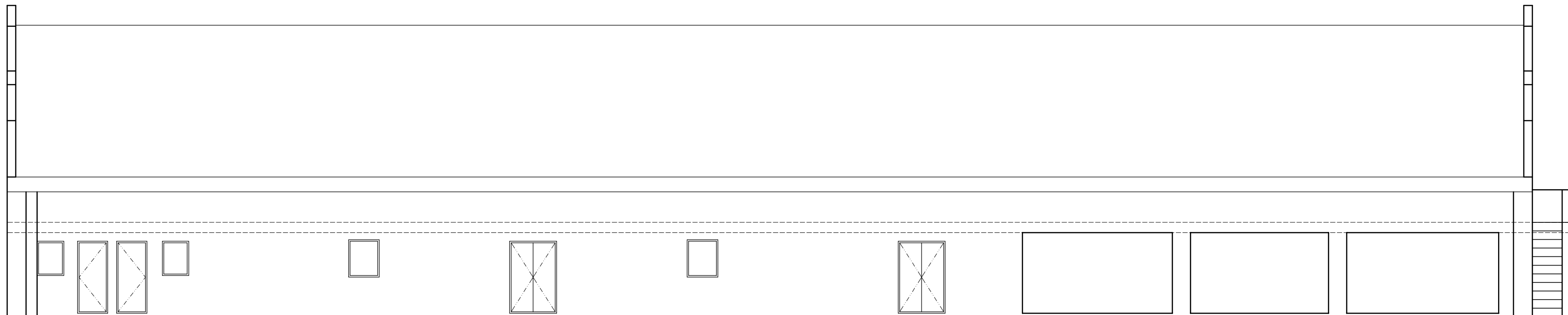
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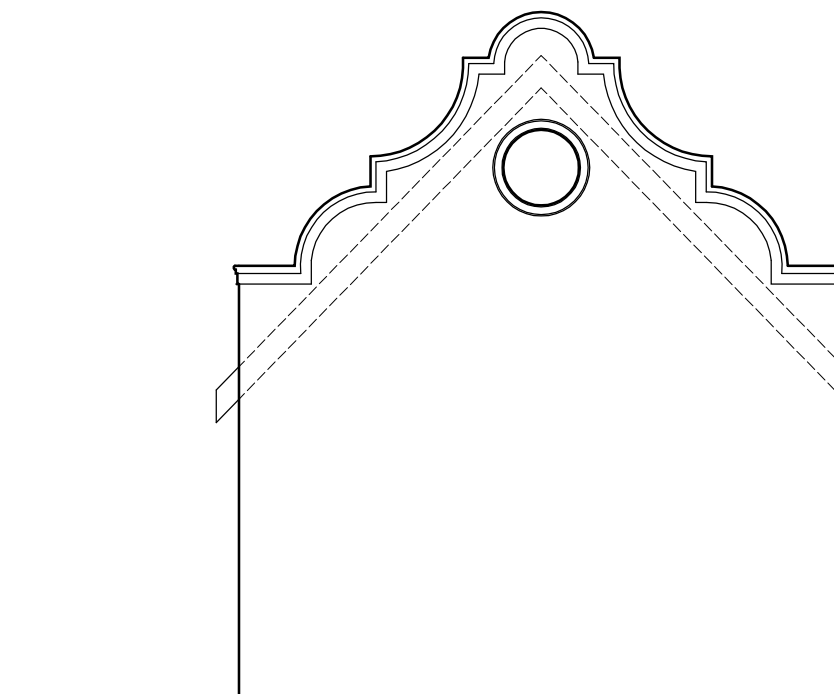
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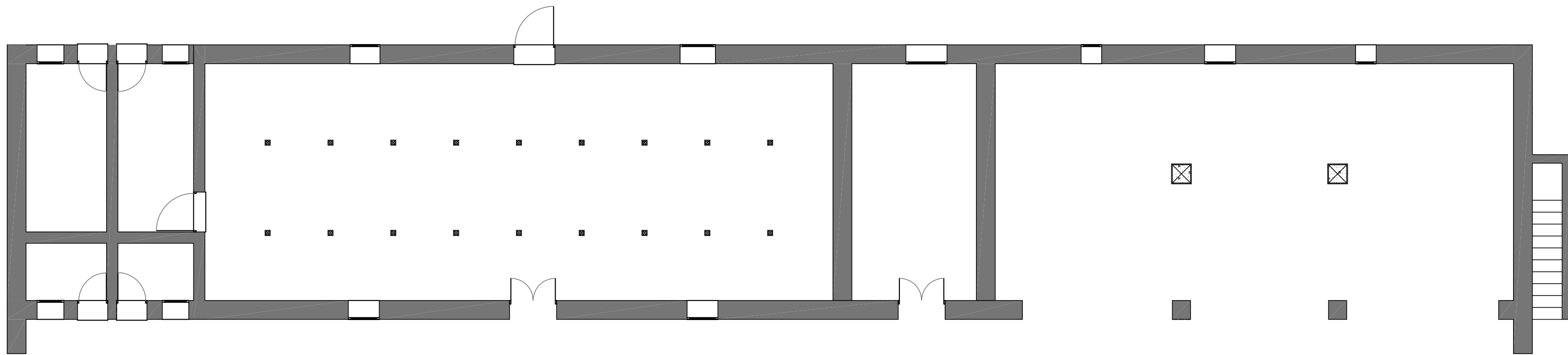
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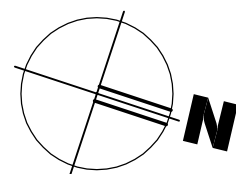
SOUTH EAST ELEVATION

SCALE 1:100



FLOOR PLAN

SCALE 1:100



NOTE

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REV	DATE	DESCRIPTION	BY
#	06.11.2013	ISSUED FOR INFORMATION	TC



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PROJECT TITLE
Nieuwedorp Complex
Existing Barn
Erf 1674/10
Boschendal Estate
Franschoek

DRAWING TITLE
Existing Plan and Elevations

SCALE 1:100	DATE NOV 2013	DRAWN TC	CHECKED PB
Job No. B0-13	Drawing No. Ex.01	Revision #	

E. RECOMMENDATIONS

It is recommended that the proposed alterations to the homestead and barn be approved subject to the following conditions:

- Work must proceed in accordance with the drawings SK.01 dated December 2013, the scope of work outlined in Section A.2 and the recommendations outlined in Section D of the report.
- A heritage architect must be employed to provide advice on mortar mixes on the homestead and barn, and paint finishes on the barn.
- A structural engineer must be employed with the input of a heritage architect to provide specifications for the stabilisation of the southern gable end.
- All excavations for services/landscaping must be monitored by a specialist archaeologist and archaeological resources must be recorded and rescued where possible.

REFERENCES

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