

HERITAGE IMPACT ASSESSMENT

(Historical component)
Coega Ridge Housing Development



Derelict Farmhouse (S33 44 556; E25' 35 190) (Photo: J Bennie)

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Date: 10 September 2010

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The historical component of the Heritage Impact Assessment of the buildings on the site of the Coega Ridge NU-Way Housing Development, Nelson Mandela Bay Municipality, Eastern Cape Province.

SUMMARY

The historical report follows the minimum standard guidelines required by the South African Heritage Resources Agency.

Proposal

- To conduct a survey of the remaining historical buildings on the farms Welbadachtsfontein, Nelson Mandela Metropolitan Municipality, Port Elizabeth, Eastern Cape, flanked by the road to Addo (R355) in the east and the MR 460/R334 Uitenhage –Addo road in the south.
- To assess the importance of these buildings

The survey

The survey was conducted to establish the importance of remaining historical structures more than 60 years old in the area for the proposed Coega Ridge Nu-way housing development approximately 20km north of Port Elizabeth near the current Motherwell settlement. The intended site is covered in dense bush and has previously been disturbed by the construction of gravel and tar roads, informal paths, electric power lines, informal housing, *ad hoc* dumping and active farmlands. Three graveyards were documented in the designated area by the archaeologist, with two containing graves over 60 years of age. An informal graveyard was found by the historian in the vicinity of one set of labourers' cottages.

Cultural sensitivity

As far as can be gauged no culturally sensitive pre-18th century artefacts have been found in the zone although oral history (not required in this study) might show different groups (such as Early, Middle and Stone Age man, San, Khoekhoen and Black Xhosa speaking peoples) once passing through this area.

Recommendations

1. The South African Heritage Resource Agency (SAHRA) or PRHA Council (the Provincial Heritage Resource Agency permit committee in the Port Elizabeth is currently non-operative) needs to be informed and a permit obtained if any significant buildings, graves, walls or historic trees older than 60 years are found that need to be altered or demolished.
2. All work when excavating prospective sensitive sites should stop until a proper investigation is launched by SAHRA, an archaeologist, or the principal historian at the Port Elizabeth Museum.
3. Development must not occur within 100m of any graveyards or burial sites.
4. A policy needs to be developed which will allow for monitoring and reviewing of possible significant African ancestral/ heritage sites in the vicinity.

Project Information

Status

The historical component is part of the HIA

Type:

(From the Background Information Document)

“The proposed Coega Ridge NU-Way mixed use residential development is approximately 3200 hectares in extent and will contain a total of 36,545 mixed-use residential units which will consist of row units, residential walk ups, two to four storey flats in the high density area, and semi detached units and townhouses in the medium density precincts. Associated infrastructure such as roads, storm water drainage, water supply, electricity as well as churches, schools, health facilities, commercial and industrial nodes will be included in the development. South of the Coega River provision has been made for an up market golf and equestrian estate. The development concept provides a gradient from high density residential and commercial features north of the existing township of Motherwell, to low density recreational and natural areas to the north of the proposed development area’.

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1. National Heritage Resources Act, 1999 (Act 25 of 1999)

The National Heritage Resources Act, 1999 (No 25 of 1999) makes provision for a compulsory Heritage Impact Assessment when an area exceeding 5000 m² is to be developed.

Section 34 (1) of the Act stipulates that no person may alter or demolish any structure or part of a structure which is older than 60 years without a permit issued by the relevant provincial heritage resources authority.

Section 36 of the Act relates to burial grounds and graves and stipulates that SAHRA must conserve burial grounds and graves after identifying and recording those which appear to be of cultural significance. Any memorials erected by them must be maintained. No person may destroy, damage, alter, exhume or remove from its original position any burial ground or grave older than 60 years situated outside a formal cemetery, or use any excavation equipment that assists in the detection and recovery of metals.

Section 38 (3) a-g of the South African Heritage Resources Act sets out the minimum requirements of a heritage impact assessment, which include inter alia:

- Identification and mapping
- Assessment of significance
- Assessment of potential impacts

Section 38 of the Act clearly indicates that any person constructing a road or similar linear development exceeding 300m in length, the construction of a bridge or similar structure exceeding 50m or any development or other activity which will change the character of the site, is required to notify the responsible heritage resources authority or the South African Heritage Resources Agency (SAHRA). They in turn will advise whether an impact assessment report is needed before development can take place.

2. Introduction and Terms of Reference

Mrs Jenny Bennie was approached by Nontsikelelo Martel of SRK Consulting (developer: Nu-Way Housing Development Po Box 650 Randburg, 2125) to determine and assess whether buildings falling within the demarcated area (see map) are older than 60 years and whether they are of any historical importance. An assessment of the sensitivity and significance of the sites will be considered and the impact on the local communities (if any) will be reviewed.

2.1 Approach and methodology

The objective of this investigation is to assess the historical significance any remaining structures in the area.

For significant sites to be conserved and managed effectively the current situation and future potential need to be assessed using a Conservation Plan Methodology which suggests a four phase approach to heritage sites: understanding the site; assessing the cultural significance; assessing the vulnerability and the proposal of policies.

It is necessary to undertake conservation-based research and analysis to prevent actions which will be detrimental to the site's significance and to provide a framework within which a future conservation planning process may be continued.

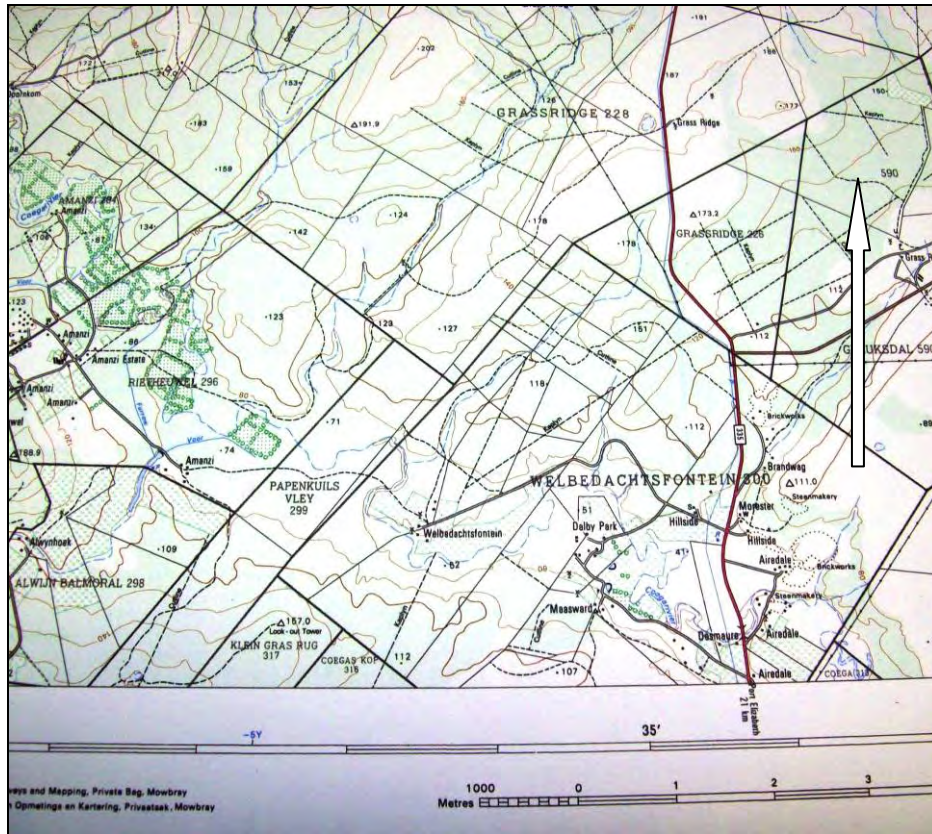


Fig. 1 Map - survey site

4. HISTORY

4.1. Pre-history

A short overview

In earlier times sea covered part of the land that is now sand-dunes in Algoa Bay. Late Archeulian artefacts found scattered at random in the vicinity prove that early man existed in this area. Middle Stone Age man, the inventor of the spear, left artefacts behind in the form of scrapers, flakes and knives. The Late Stone Age also left its traces in coastal middens, as did the Strandlopers, who were the last primitive groups of people who lived along the shores. History records that these early inhabitants were decimated by smallpox in 1740. Many of their graves have been found at the Swartkops River mouth, close to where Settlers Bridge now stands.

4.2. Early History

From the records of early travellers, the groups of Khoekhoen belonging to the Eastern Cape region included the *Inqua*, probably in the Aberdeen area, the *Damaqua*, between the Gamtoos and Swartkops Rivers and the *Gonaqua*, who by the middle of the 18th century had become the most powerful group, extending from the Sundays River to the Great Fish River. Little is known of these people regarding their customs and social habits. They were the first Khoekhoen to meet the Black invaders and because of conflict or intermixture, lost their individual identity.

4.3 A Brief History.

4.3.1 Welbedachtfontein 300 Port Elizabeth

Uit Q 1-47. 3324 DA3344/2536 28n. Subdivisions Airedale; Brandwag; Dalby Park; Greenhills; Hillside; Maasward; Mõrester

The proposed development lies approximately 9km from the coast on the farm Welbedachtfontein which is known to have been subdivided and sold off in sections (see appendix 2 below). Remains of a variety of buildings were to be found on the property –most are labourers' cottages and are not of any historical significance.

House No 1:

S33 44 556; E 25 35 190

This derelict plaster over clay brick, north-facing house comprises outer walls with four front window apertures and two door openings as well as an outside chimney on the east side. There is no roof, no window frames or glazing, no doors or floors left. All plumbing has been removed and only the shell remains. From a historical perspective it is considered that the building is no longer worth saving.



Fig. 2 Remains of early farmhouse (Photos: J S Bennie)



Fig.3 Chimney flue and back door (Photo: J S Bennie)



Fig.4 Farmhouse in its rural setting (Photo: J S Bennie)



Fig.5 Back wall and water tank (Photo: J S Bennie)

4.3.3. Labourers' cottages

Cottage 1 on left: S33° 44 482; E25 35 146

Cottage 2 on right: S33° 44 481; E 25 35 143

These buildings are both derelict with no roofs, windows or floors. The red brick has been whitewashed but the deterioration in the bricks can be clearly seen on the chimney flue and west wall. Building 1 has two doorways with brick lintels (See Fig. 10).



Fig. 6 Two derelict labourers' cottages (Photo: J S Bennie)



Fig.7 and 8 Back view of two labourers cottages one large, one small and fireplace and dividing wall below (Photo: JS Bennie)





Fig. 9 and 10 Interior rooms showing fireplace and deal beams {Photos: J S Bennie)

An indoor fireplace with a chimney on the back wall can still clearly be seen in the larger cottage. Wooden deal beams supported the roof which was probably originally of iron. The inside walls were plastered. Cottage 2 still has wooden window frames and three brick steps leading to the front door. Cement has been used as mortar. These structures are not sufficiently complete or historically important to warrant saving.



Fig 11 Steps to front door (Photo: J S Bennie)

4.3.4 Grave site

S 33° 44 476; E 25° 35 155



Fig. 12 Graves – informal piles of stones (Photo: J S Bennie)



Fig. 13 Scattered stones running in an east west direction about 100 metres north of the labourers' cottages' (Photo: J S Bennie)

4.3.5 Labourers' Cottages (second group)

Cottage 1: S 33°44 433; E25°35 082

Cottage 2: 33° 44 451; E25° 35 101



Fig. 14 Rear view of labourer's cottage showing two small windows



Fig.15 Two labourers' cottages, red clay brick, no roofs, no floors no windows possibly circa 1960 (Photos: J S Bennie)



Fig.16 Overgrown interior of one of the cottages (Photo: J S Bennie)



Fig.17 Rough plastered wall, wooden, painted blue window frame remains (Photo: J S Bennie)



Fig.18 West view of cottages (Photo: J S Bennie)

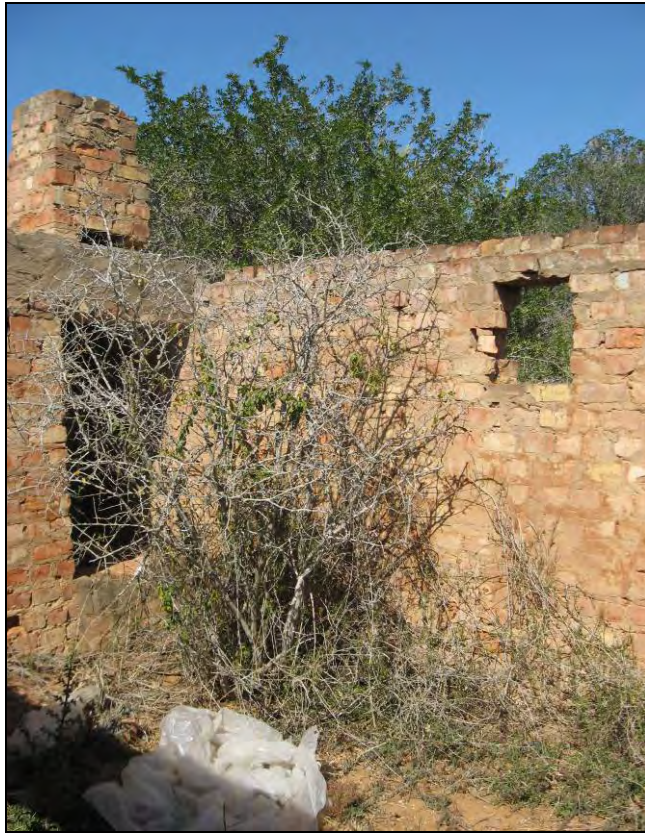


Fig 19 View of interior section of fireplace (Photo: J S Bennie)

4.3.6 1920's house close to junction of R355 and Uitenhage Road S33° 46 086; E25°35 110

This farmhouse is located close to the crossroads of the Addo and Uitenhage junction and dates from about 1920. It is in reasonable condition, with a corrugated red painted iron roof, plastered walls and some original windows and frames. The sloping addition to the kitchen section with outside flue and tall chimney is intact. The front of the house has three Ionic columns holding up the verandah. The front door and stoep window appear to be original, as is the diamond shaped window at the end of the verandah. The steel window to the right of the front door has been altered and made larger. The outer brick plastered wall with distinctive columns is probably of a similar period to the house.

Although not a remarkable home in the architectural sense, it is typical of its era and if it can be re-cycled whilst maintaining its integrity it would be a worthwhile effort. The tree behind the house is probably more than 60 years old and should be protected if possible.



Fig.20 South view of early house in moderate condition (Photo: J S Bennie)



Fig. 20 -21 Early farmhouse c 1920 and brick plastered wall (Photo: J S Bennie)





Fig 22 Water tanks, tree and outbuilding (Photos: J S Bennie)



Fig. 23 Front view and wall of house near Addo –Uitenhage cross roads (Photo: J S Bennie)

4.3.7 Farmhouse – 1890's
(of interest - outside designated project area?)



Fig. 24 -25 Early farmhouse circa 1890 S33 44 056; E25 35 249 with stone gables and an added verandah (probably 1920's) (Photos: J S Bennie)



4.3.8 Farmhouses observed which seem to be currently occupied in the vicinity



Modern farm homestead c1960's with brick paved road leading to it. Some of the labourers' cottages are on this property (Photo: J S Bennie)



5. Discussion and Recommendations regarding historical structures

In terms of the requirements of the National Heritage Act 1999 (No 25 of 1999) the following recommendations are made regarding the buildings under discussion.

- Of the six buildings inspected in the survey area all but one, i.e. the 1920's house, are in a derelict condition.
 - Four labourers' cottages, probably dating from the 1960's, are possibly built from bricks produced at the brickfields on the Addo Road (R355) which is in close proximity to the properties.
 - The relatively substantial remains of a plastered farmhouse cannot be restored to best as only the outer walls and fireplace are still standing.
 - A permit will have to be obtained from SAHRA or PRHA Council should it be necessary to demolish these buildings.
 - No disturbance should take place within 100m of designated graveyards or burial sites.
 - Should any burial grounds or other structures be found in the construction process, all work should halt until SAHRA and the historian are informed.
- 6. General Guidelines for the rehabilitation of historical buildings** should it be necessary (see ref. below)
- Integrate alterations with surrounding properties or existing buildings
 - Alterations which have no historical basis should be avoided

- Original character of the building should not be destroyed
- Changes to the building over time should be viewed as its history
- Distinctive features should be preserved or restored to best using historical evidence
- Cleaning methods that destroy structures e.g. sand blasting should be avoided
- Archaeological relics adjacent to a project must be protected
- Alterations and additions should not destroy any historic, architectural or cultural material
- New developments should be sensitive to the environment
- Advice should be acquired from qualified professionals such as historians and archaeologists who are skilled in the preservation, restoration and rehabilitation of old buildings.

Note: in case of the discovery of lone graves.

6. Discussion and Recommendations regarding potential Burial Grounds and Graves.

6.1 Guidelines

In terms of the National Heritage Resources Act, 1999, (No 25 of 1999)

- 36(3) (a) No person may, without a permit issued by the South African Heritage Resources Agency or provincial heritage resources authority-
- (b) destroy, damage, alter, exhume or remove from its original position or otherwise disturb any grave or burial ground older than 60 years which is situated outside a formal cemetery administered by a local authority; or
 - (c) bring onto or use at a burial ground or grave referred to in paragraph a or b any excavation equipment, or any equipment which assists in the detection or recovery of metals.
- (4) SAHRA or PHRA may not issue a permit for the damage or destruction of any burial ground or grave unless it is satisfied that the applicant has made satisfactory arrangements for the exhumation and re-interment of the contents of such graves at the cost of the applicant and in accordance with any regulations made by the responsible heritage resources authority.
- (5) The applicant must have made a concerted effort to contact and consult communities and individuals who by tradition have an interest in such graves or burial grounds and reached agreements regarding the future of such graves or burial grounds.
- (6) During the course of any development, the discovery of any previously unknown graves or burial sites must result in the immediate cessation of activities and the discovery must be reported to the responsible heritage resources authority (SAHRA) who in turn with the South African Police Service will carry out an investigation for the purpose of obtaining information on whether or not such a grave is protected in terms of the Act or is of significance to any community. If it is, assistance must be given to any person or community to make arrangements for exhumation and re-interment of the contents of such graves or in the absence of any such person or community make arrangements as it deems fit.

7. General Remarks and Conditions

This report is the historical observation pertaining to the remaining buildings on the farms, Welbedachtfontein. It forms part of the Heritage Impact Assessment,

which in itself should make provision for the protection of all heritage resources of architectural, archaeological, scientific, social, linguistic, spiritual or technological significance that are over 60 years old.

The conclusions and recommendations expressed in this historical investigation are based on site survey and desktop research and may not truly reflect the entire situation. If further findings e.g. burial sites are discovered in the course of excavation or construction it is imperative that SAHRA and/or the senior historian be informed immediately of the situation so that any relevant material may be investigated or collected before it is destroyed. The onus is on the developer to ensure that this agreement is honoured in accordance with the National Heritage Act No 25 of 1999.

The historical report will be assessed by the relevant heritage resources authority and the final decision rests with them regarding granting a permit or letter of authority for permission to destroy any cultural site.

8. References

Government Gazette Vol. 40 April 1999, No 19974, No 25 of 1999 National Heritage Resources Act.

Harradine, Margaret 1996. Port Elizabeth – a social chronicle to the end of 1945. Published by EH Walton Group

Skead, C J; Coetzee P; Collins M J. 2004 The Algoa Gazeteer Rural placenames in NINE East Cape Districts of Albany, Alexandria, Bathurst, Humansdorp. Port Elizabeth, Steytlerville, Uitenhage, Uniondale (in part) and Willowmore pub. Bluecliff Publishing, Port Elizabeth pp 89, 90, 232, 31,502, 511

Theron, Prof Danie 1984 19th Century Port Elizabeth A Guide to Restoration Printed by Instacopy Port Elizabeth

Annexure 1

ID	Y COOR D	X_COO RD	FEATURE TYPE	DESCRIPTION	DATA_CAP TURER	DATE	COMMENTS
HJ B1	S33 556	44 190	E 25 35 Derelict farmhouse	Plastered walls, no roof, no windows, prominent fireplace	N Martel	01/09/2 010	Overgrown, but walls still standing
HJ B2	S33 484	44 35 146	E025 Labourers' cottage 1	Red brick, no windowpanes or doors	N Martel	01/09/2 010	Red clay brick, no plaster, fireplace lintels over windows
HJ B3	S33 481	44 35 143	E025 Labourers' cottage 2	Red brick, no window panes or doors	N Martel	01/09/2 010	Red clay brick, off track behind cottage No 1
HJ B4	S33 476	44 35 155	E025 Possibly labourers' graves	Roughly laid out stones	N Martel	01/09/2 010	Row of roughly laid stones in bad repair about 100 metres from the front of the cottage 1
HJ B5	S33 451	44 35 101	E025 Labourers' cottage smaller	Red brick wooden window frames	N Martel	01/09/2 010	Vacated, no roof
HJ B6	S33 433	44 35 082	E025 Labourer's cottage -larger	No lintels on front windows	N Martel	01/09/2 010	Vacated, red brick no roof, vegetation growing inside
HJ B7	S33 086	46 35 110	E025 House circa 1920	Brick houses still standing all walls iron roof outhouse with chimney	N Martel	01/09/2 010	Inhabited, with early plastered wall at the front, Ionic verandah columns altered front window on right -steel frame. Fig tree at the back is more than 60 years old.
HJ B8	S33 056	44 35 249	E025 Stone house	House dates from 1890 could be outside designated study area	N Martel	01/09/2 010	This property above the industrial brickfields buildings is probably one of the original farmhouses in the area

Annexure 2

<i>Map Label</i>	<i>Farm No.</i>	<i>Prov.</i>	<i>Admin Area.</i>	<i>Deed No.</i>	<i>Farm name</i>	<i>Property owner</i>
1385	300 00000	Eastern Cape	Uitenhage RD	T71633/2000	Welbedachtsfontein	Nu WayHousing Developments Pty Ltd
1386	300 00001	Eastern Cape	Uitenhage RD	T74534/2005	Welbedachtsfontein	African Brick E C Pty Ltd
1387	300 00002	Eastern Cape	Uitenhage RD	T71633/2000	Welbedachtsfontein	Nu Way Housing Developments Pty Ltd
1388	300 00003	Eastern Cape	Uitenhage RD	T71633/2000	Welbedachtsfontein	Nu Way Housing Developments Pty Ltd
1389	300 00004	Eastern Cape	Uitenhage RD	T56278/2005	Welbedachtsfontein	African Brick E C Pty Ltd
1390	300 00004	Eastern Cape	Uitenhage RD	T56278/2005	Welbedachtsfontein	African Brick E C Pty Ltd
1391	300 00006	Eastern Cape	Uitenhage RD	T35743/1970	Welbedachtsfontein	Master Brick Works C C
1392	300 00008	Eastern Cape	Uitenhage RD	T71633/2000	Welbedachtsfontein	Nu Way Housing Developments Pty Ltd
1393	300 00009	Eastern Cape	Uitenhage RD	T5519/1995	Welbedachtsfontein	Lloyds Brickworks Prop Trust
1394	300 00010	Eastern Cape	Uitenhage RD	T65509/1990	Welbedachtsfontein	Pentz Gerhard Marius
1395	300 00011	Eastern Cape	Uitenhage RD	T71633/2000	Welbedachtsfontein	Nu Way Housing Developments Pty Ltd
1396	300 00012	Eastern Cape	Uitenhage RD	T110675/1997	Welbedachtsfontein	Wilken Immanuel Stephanus
1397	300 00013	Eastern Cape	Uitenhage RD	T83315/2000	Welbedachtsfontein	Marais Emmanuel
1398	300 00014	Eastern Cape	Uitenhage RD	T43003/2005	Welbedachtsfontein	Alkara 209 Pty Ltd
1399	300 00015	Eastern Cape	Uitenhage RD	T71633/2000	Welbedachtsfontein	Nu Way Housing Developments Pty Ltd
1400	300 00016	Eastern Cape	Uitenhage RD	T3037/1985	Welbedachtsfontein	Piesanie Lukas Jakobus Johannes Du

