

W.C. BELCOM. Per Comm
14. Dec 2009.

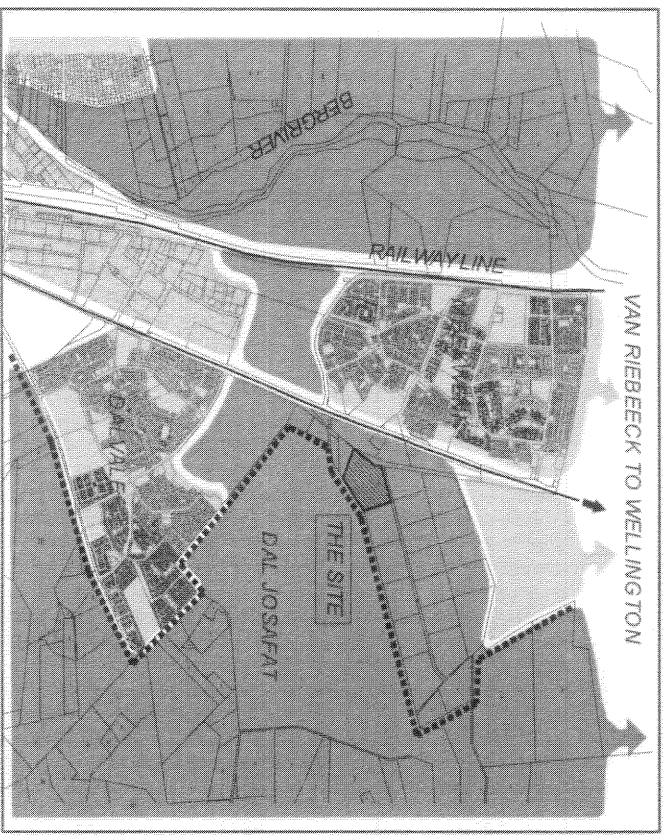
Agenda No. 3.5.

Geographical version
from Greg.

HERITAGE STATEMENT

Study of Historical Land Use & Settlement Patterns, including the
Current Landscape Patterns

Proposed Residential Development on Erf 8399, Paarl (Dal Josafat)



Padman's
still 3 stories
Not rural
Historic homes less
in area
Precedent for
Roggefontein
Density Too hi.

Needs HIA
include AIA

ON BEHALF OF TOPRIME PROPERTIES CC

DECEMBER 2009

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- Cadastral Map

1. BACKGROUND

Kayad Consulting Engineers were appointed by the applicant / developer Toprime Properties CC IN 2006 to investigate the development potential of the subject property, namely Erf 8398 Paarl (Dal Josafat) for residential purposes. Various options and design layouts were investigated and it was decided to base a formal application for township establishment on a layout design comprising of 161 group housing erven (plot and plan)averaging 250m² in size. This proposal was based on the location of the property being surrounded by low to medium income residential neighbourhoods and the escalating demand for more affordable housing, specifically within the Drakenstein Municipal area.

During the compilation and submission of the formal application, new information however became available regarding the wetland area on the site and the subsequent impact of flood lines associated therewith. This meant that Kayad Engineers had to undertake a detailed study which would accurately calculate the 1:50 and 1:100 year flood lines as prescribed by the applicable legislation.

The result of this study had a huge impact on the proposal and subsequently necessitated revisiting the development potential of the site. In view the impact of flood lines, the developable portion of the site decreased dramatically and therefore residential densification became the only remaining option in order to ensure a financially feasible project.

In light of the above and from planning and feasibility point of view, Toprime Properties CC decided to investigate the provincially and locally promoted / accepted concept of densification and to prepare and submit a revised application to the Local Authority. After consultation with the local authority, it was decided that sectional title apartments (flats) would be the only appropriate development on the site (i.e. from town planning point of view).

MT Land Use & Development Consultancy was appointed by the client/land owner (Toprime Properties CC) to prepare an application in order to obtain comments from Heritage Western Cape.

The Notification of Intent to Develop (NID) was submitted to Heritage Western Cape (HWC) in terms of Section 38 of the National Heritage Resources Act, 1999 (Act 25 of 1999) on 4 March 2009. This was followed by the undertaking of a heritage and visual impact assessment which was also submitted to HWC and presented before BELCom on 6 August 2009. The latter suggested that the scale (height) of the proposed development be reduced from three (3) storey buildings to two (2) storeys and that visual impact assessment be undertaken. Consequently, the proposed height is now for 2 storey buildings (flats) and Photos indicating the proposed development against the backdrop of the Drakenstein Mountains have since been prepared.

In addition, BELCom instructed MT Land Use & Development Consultancy to obtain comments be obtained from South African Heritage Resources Agency (SAHRA) and Drakenstein Conservation Trust. A meeting was held between the client and SAHRA in order to discuss the comment required by BELCom. SAHRA presented the

development proposal to their committee meeting. The committee decided that a study of historical land use and settlement patterns, including the current landscape patterns be prepared and submitted to SAHRA, and hence this report.

2. SITE DESCRIPTION (Location, Zoning and Land Use)

Erf 8398 is located to the north of the town of Paarl and is bound by the Dal Josafat historical farm to the east and Jan van Riebeeck Road and Mbekweni to the west.

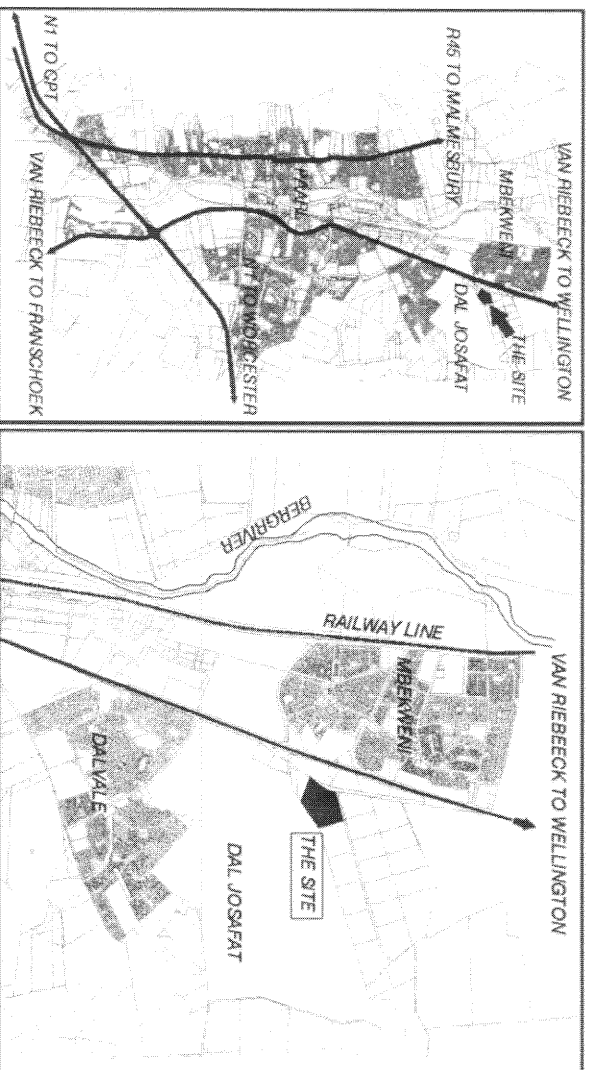


Figure 1: Location within context of Paarl

The subject property forms part of the Dal Josafat small holding area between Paarl and Wellington and is therefore zoned for agricultural purposes (Agricultural Zone I) in terms of the applicable Section 8 Zoning Scheme. The majority of directly abutting properties to the east of Van Riebeeck Road form part of the original rural / agricultural buffer between Paarl and Wellington and are therefore zoned accordingly. These farming units are however regarded as unproductive and unfeasible agricultural entities because of their limited extent and were subsequently included into the proposed future urban expansion area of Paarl in terms of the draft Drakenstein Spatial Development Framework. The newly proposed urban edge has therefore been drawn to include these units, which are primarily used for rural residential purposes. The establishment of Mbekweni in order to accommodate the informal housing need within the area acts as an instigator for further expansion of the urban footprint, specifically for accommodating the affordable housing market.

3. PROPOSED DEVELOPMENT

The proposed development entails the following:

- Rezoning of Erf 8398 from Agriculture Zone I to Subdivisional Area;

- Subdivision of Erf 8398 into two portions, namely, Portion A (public road purposes) and Remainder as indicated on the attached;
- Rezoning of Portion A from Subdivisinal Area to Transport Zone II;
- Rezoning of the Remainder from Subdivisinal Area to Residential Zone IV (apartments / flats); and
- The establishment of a Home Owner's Association.

The site development plan for the proposed development is indicated below.

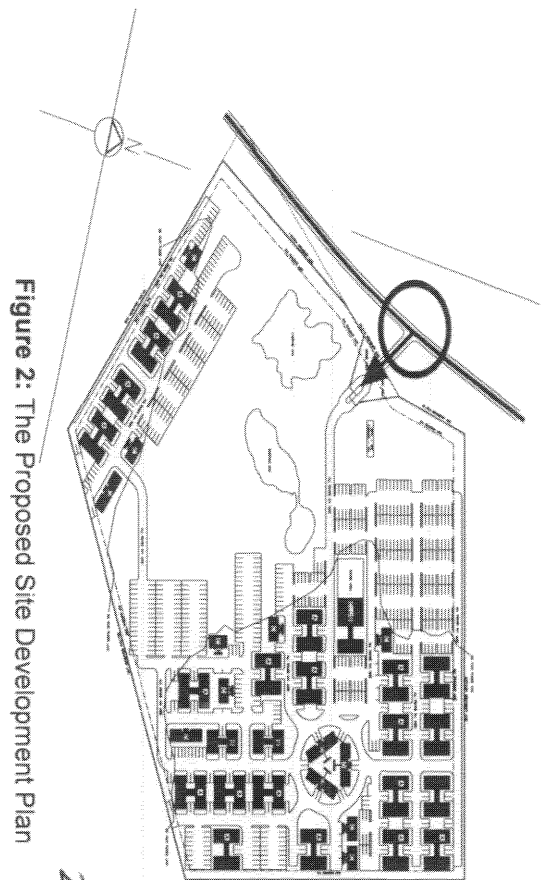


Figure 2: The Proposed Site Development Plan

The relevant development parameters for the proposed development are summarized as follows:

FACTOR	SECTION 8 ZONING SCHEME (RESIDENTIAL ZONE IV)	PROPOSAL	COMPLY / DEVIATION
Primary Use	Flats	Apartment Buildings (Flats)	Comply
Coverage	Max 40%	11%	Comply (i.e. less than maximum coverage)
Bulk	1.0	0,36	Comply (i.e. less than maximum bulk)
Height	4 Storeys	2 Storeys	Comply (i.e. less than maximum height)
Street Building Line	8m	8m	Comply
Rear and Side Building Lines	4m	5m	Comply (i.e. more than minimum requirements)

Based on the above table, it is clear that the scale of the proposed development is both in compliance with the forward planning policy for the area and less than what is allowed it terms of the municipal policy for the area.

4. HISTORICAL BACKGROUND: LAND USE AND SETTLEMENT PATTERNS (PAARL DISTRICT)

Paarl is the third oldest European Settlement in South Africa. Today it is home to a very culturally diverse community, the product of its unique history.

The people of Paarl are descendants of the Khoisan, African and Eastern slaves, Dutch, French Huguenots, Jewish immigrants from Eastern Europe, Italian Prisoners of War, and Xhosa migrant labourers.

Khoisan

The Khoikhoi and San were the first people to utilize this area. San rock art can still be seen at nearby Wemmershoek and Bainskloof. What is today known as Paarl Mountain, used to be called "Tortoise Mountain" by the Khoikhoi.

The Berg River Valley formed the traditional border between the Peninsular Khoikhoi (the Gorachokuqua and the Goringhaiqua) and the Cochoqua. The latter group moved their cattle around the various grazing areas of the Berg River- and Drakenstein Valleys.

The Cochoqua was one of the richest and strongest of the Khoi tribes and had between 16 000 and 18 000 members. The Cochoqua were defeated during the second war between the colonists and Khoikhoi and most of their livestock were looted.

After the deaths of their leaders, the rest of the tribe dispersed. Some trekked towards the Orange River and others started working for the colonists.

European settlers

The Dutch:

Some 55 km north-west of Cape Town, Paarl was first settled by whites in 1687. The dome-shaped granite rock on the mountain behind the town reminded an early explorer of a pearl, "peerl" in Dutch, which gave the town its name. The largest granite boulder in South Africa, Paarl Rock is one of three that cluster together on the hill that dominates the town of Paarl. The town was in fact named after the Rock, which when seen in the early morning with dew glinting on its mica-studded surface, looks like the "Diamadt-ende Peerlberg" (diamond and pearl mountain) that the explorer, Ebrahim Gabbema described when he saw it five years after Van Riebeeck's landing in 1652.

The original purpose of the Dutch settlement in the vicinity of latter day Cape Town was to provide fresh food and water to the ships of the Dutch East India Company, on their way to the East. Jan van Riebeeck built up fresh meat stock by bartering livestock from the local Khoikhoi.

In 1657, Abraham Gabbema led an expedition, to find more Khoi groups to barter from and to search for the legendary treasures of Monomotapa. On the day that they arrived in the Berg River Valley, the granite boulders, towards the west side of our town, glistened in the sun after some showers. This inspired Gabbema to promptly name this mountain "the Diamond and Pearl Mountain" from which the name Paarl was later derived.

In October 1687, 30 years after the Gabbema expedition, Governor Simon van der Stel granted the first farms to free burghers. Twenty-one of these farms were in Drakenstein (Paarl), and five of them were at the foot of Paarl Mountain.

The French

In 1688, the French Huguenots arrived in the Cape and some of them were given property in the Drakenstein area.

One of their most important influences was of course their knowledge of the wine industry. Today the headquarters of the South African wine industry, the KWV, is to be found in Paarl. It is situated on one of the earliest farms (La Concorde, as it is known today) to be granted by Governor Simon van der Stel.

Conflict

The European idea of private land ownership clashed with the traditional communal land use of the Khoikhoi. The farms that were granted to the free burghers and Huguenots, used to be grazing for the livestock of the Khoi. Access to water also became limited and the wild animals that used to be hunted by die Khoisan quickly became scarce.

European diseases, such as small pox, further decimated the indigenous peoples. Many of the Khoisan were forced to move into the interior or became labourers, working for the colonists.

The Slaves

Between 1658 and 1808 63 000 slaves were imported to South Africa from many different parts of the world such as Gambia, Nigeria, Angola, Mozambique, Madagascar, India, Ceylon (Sri Lanka), Indonesia, Batavia (Djakarta) and the Spice Islands.

Slaves had to sow, harvest, and thresh the wheat. On wine farms, they had to harvest and press the grapes. Slaves also had to load wagons, weed their owner's fields, and look after the farmer's livestock. The women did housework and in some cases acted as wet nurses for their owner's children. In the country female slaves also had to work as farm labourers.

Het Gesticht (a small unbaked brick church) was built in 1813 to provide slaves with a place of worship. From 1820, onwards it became known as the Zion Church. Het Gesticht is the fourth oldest church building in South Africa and is located in Main street close to the Strooidak Church.

After the slaves were emancipated in 1834, the freed slaves in Paarl received some property in the vicinity of Berg and the later School Streets.

The Paarl District has a population of approximately 160 000 (1996 census) and it encompasses an area of approximately 176 500 ha (1 760 km²).

Many of the buildings in the town's Main Street have been declared national monuments. Fruit and tobacco are grown in the district, which also produces wine. The KVV has its headquarters in Paarl.

In view of the above background, the historical landscape and settlement patterns of the Paarl District was primarily dominated by farming communities, and hence the current rural character of the district.

4.1 CURRENT LANDSCAPE PATTERNS (PAARL DISTRICT)

Paarl as part of the settlements of Winelands originated principally as an agricultural service centre. The roles of the urban settlements in the Winelands have however expanded over the years. Paarl, being located on the main transportation route between Cape Town and Gauteng, has developed a large industrial component. The town is characterised by attractive historical core/area with its unique character and distinct sense of place.

Newer parts of the town are, however, characterised by fragmented, low density, sub-urban development and out of scale commercial buildings. Sub-urban development has led to an excessive consumption of land, and because some of the settlements are located in fertile agricultural areas, to undue loss of agricultural land.

Paarl, like other towns being sought after places to live in the region, is experiencing rapid population growth, due to its scenic quality and access to nature areas, as well as being within reasonable commuting distance of metropolitan areas of employment.

The demographic survey has shown that over the past 30 years, the population of Paarl has increased at an average rate of 4.1% per annum, which is substantially higher than the average annual growth rate for the Western Cape, at about 2.3%. During the past 15 years, the towns in the Winelands region also experienced a rapid increase in the growth of informal settlements and an increase in the erection of backyard dwellings.

The physical urban area of Paarl has more than doubled during the past thirty (30) years. Consequently, it is predicted that, if the growth and development trends continue, the town will be twice the size is today, by 2005/2030.

4.2 SITE HISTORICAL LAND USE AND SETTLEMENT PATTERNS, INCLUDING CURRENT LANDSCAPE PATTERNS

Topprime Properties CC is the owner of Erf 8398. The earliest record of the deed of transfer indicates that the subject property was transferred in 1844 to W D Malherbe by the previous owner who owned it since 1840.

The deed of transfer No. 3406 dated 23 April 1924 indicates that there was a furrow running across the eastern side of the Main Road (i.e. between the Main Road and

the western boundary of the subject property. During July 1938, a water pipe servitude was registered across the property and a condition requiring the fencing of the remainder of the subject property with a barbed wire fence of 1,52m in height was attached to the deed of transfer.

The fact that under the deed of transfer No. 23400/1967 the water rights held by the remaining extent of Erf 8378, measuring 88,9781ha have been reserved for the benefit of Erf 8398 signifies that Erf 8398 (7,86ha) was originally part of Erf 8378 (88,9781ha). Therefore, the original property has, over the years been subdivided creating the present day Erf 8398 now owned by the applicant (Toprime Properties CC). The other erven, namely, Erf 8399 upward, are deemed to also have been created from the subdivision of Erf 8378 since same property does not appear on the latest cadastral map of the surrounding area. ***A copy of the cadastral map is attached.***

As part of Paarl District, land use and settlement patterns on the site (Erf 8398) and the surrounding area represented agriculture. However, this situation has changed over time. Consequently, with the exception of Mbekweni residential area and a limited portion of the historical farm of Dal Josafat, no land use of surrounding properties reflects their existing zoning, which is a clear indication of their low agricultural value.

As a result, the subject property (Erf 8398) is currently in a derelict state. It is partly covered in invasive vegetation and illegal dumping and littering occurs on the periphery of the site. The client (current owner of the property) has however engaged in eradication of alien species.

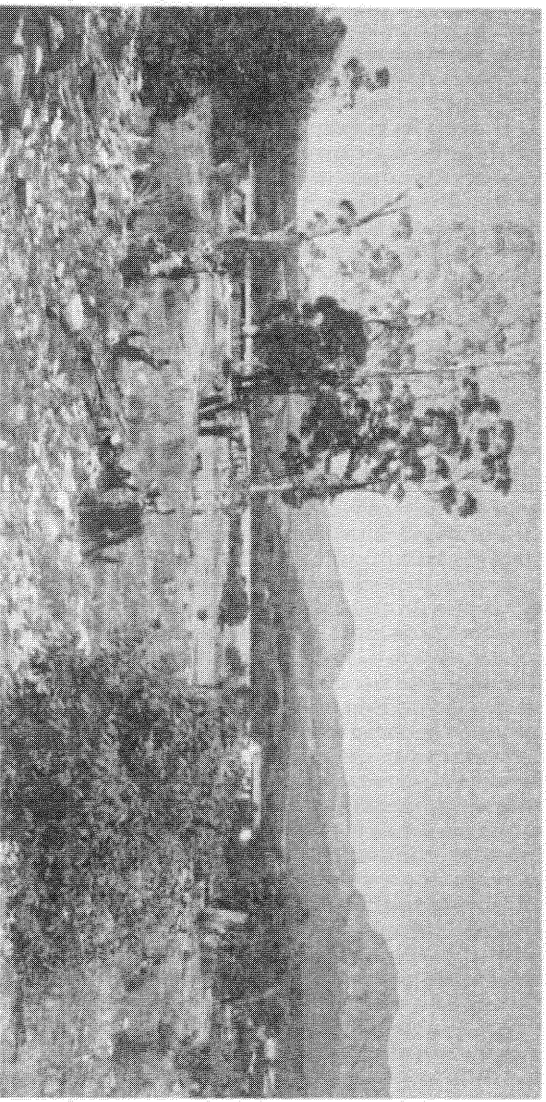


Figure 3: The site as viewed from the Roggeland road in a north- easterly direction. The degradation is clearly visible. Illegal dumping of waste material is a major problem within this area.

The main residence is situated within the south-western corner of the property and will be retained and upgraded as the future caretaker's residence. The remaining

ancillary buildings are of no value to the proposed development and will therefore be demolished. The heritage investigation confirmed no heritage value.

4.3 HISTORICAL LAND USE, SETTLEMENT PATTERNS AND CURRENT LANDSCAPE PATTERNS IN THE SURROUNDING AREA

In addition, informal settlement has developed in the vicinity of the site. This is an indication a change in land use, landscape and settlement patterns in the surrounding area of the site since this settlement pattern (informal settlement) is has been erected in the past few years.

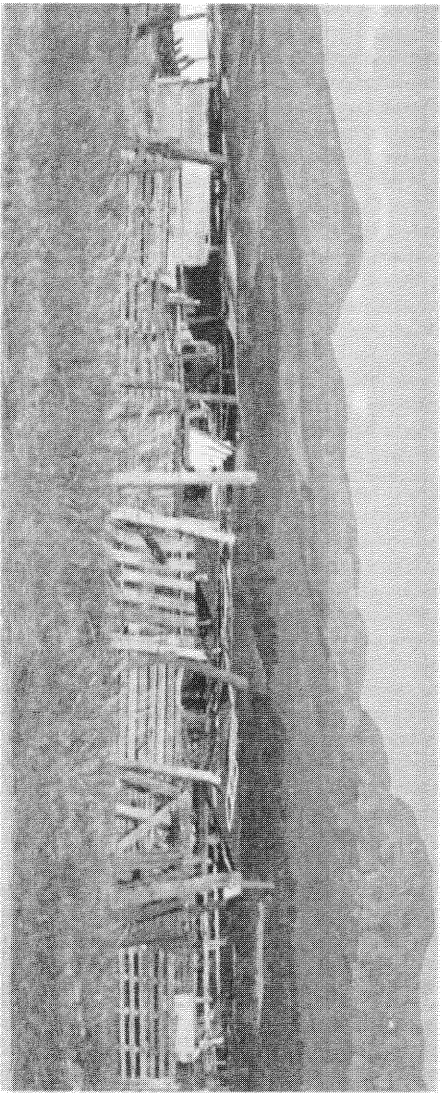


Figure 4: Informal settlement is occurring within the vicinity of the subject property indicating the necessity for additional formalized housing opportunities within the area.

Furthermore, informal stock farming (pigsties) is taking place in the vicinity of the site. The pigsties are shown in the photo below.



Figure 5: The site as viewed from the old main road in a south- easterly direction. The informal agricultural activities (pigsties) are situated on the property to the north.

This is also an indication a change in land use, landscape and settlement patterns since the historical stock farming activities in the area were of a formal nature.

Apart from the above, the smallholding area is found in the vicinity of the site. The smallholding area is wedged between the existing residential neighbourhoods. In view of their low agricultural value, these smallholdings are proposed for future urban extension i.t.o. the Draft Drakenstein Spatial Development Framework and the new urban edge drafted includes these properties.

In addition, some of the smallholdings are utilized as guesthouses for tourist accommodation and entertainment. Tourists come here for, among other things, wine tasting, birdlife watching and to enjoy the surrounding natural beauties of the mountain ect.

Therefore, it is our opinion that the landscape and settlement patterns in the vicinity of the site (Erf 8398) have changed over time to accommodate the needs of the area and to be economic competitive.

4.3.1. HERITAGE RESOURCES

Landscape Character

Erf 8398 is located to the north of the town of Paarl and is bound by the Dal Josafat historical farm to the east and Jan van Riebeeck Road and Mbekweni to the west. The Paarl Mountains are located to the east of the site.

The majority of directly abutting properties to the east of Van Riebeeck Road form part of the original rural / agricultural buffer between Paarl and Wellington. With the exception of Mbekweni and a limited portion of the historical farm of Dal Josafat, no land use of surrounding properties reflects their existing zoning.

The site, including the surrounding area, is relatively flat. A strong character of negligence and degradation remains present at the access point of the site, along Rogeland Road and in the vicinity of the site.

Cultural Landscape

The area in which the site located (i.e. along Jan van Riebeeck Road) used to have a strong agricultural character. However, Dalvale and Mbekweni residential settlements were developed to the south and west of Erf 8398 respectively. Therefore, these developments have changed the cultural landscape in the vicinity of Erf 8398 from agriculture to mix use (i.e. agricultural and urban/residential character).

Other Resources

The main residence is situated within the south-western corner of the property and will be retained and upgraded as the future caretaker's residence (see Figure 8). The

remaining ancillary buildings are of no value to the proposed development and will therefore be demolished. The heritage investigation confirmed no heritage value.

In addition, no archaeological or palaeontological site, remains of structures or graves were discovered during the survey.

5. CONCLUSION

In view of the above, it is our opinion that the historical land use and settlement patterns have evolved over time. The area in which the site is located was characterized by agricultural land uses (vineyards/wine making, crop and stock farming).

However, these landscape and settlement patterns have to some degree changed over time since we witness the existence of Mbekweni to the west of the site and Dalvale to the south.

In addition, the current use of the surrounding properties now includes informal settlements. Furthermore, the site is currently used for illegal dumping purposes. Therefore, we area of the opinion that this report has managed to indicate how historical land uses and settlement patterns have evolved to what they are today in the vicinity of the site.