

HERITAGE REPORT ACCOMPANYING A PERMIT APPLICATION

submitted in terms of Section 34 of the NHRA (1999) for

ALTERATIONS TO THE BOUNDARY FENCE, WALLS AND VEHICULAR ENTRANCES OF THE

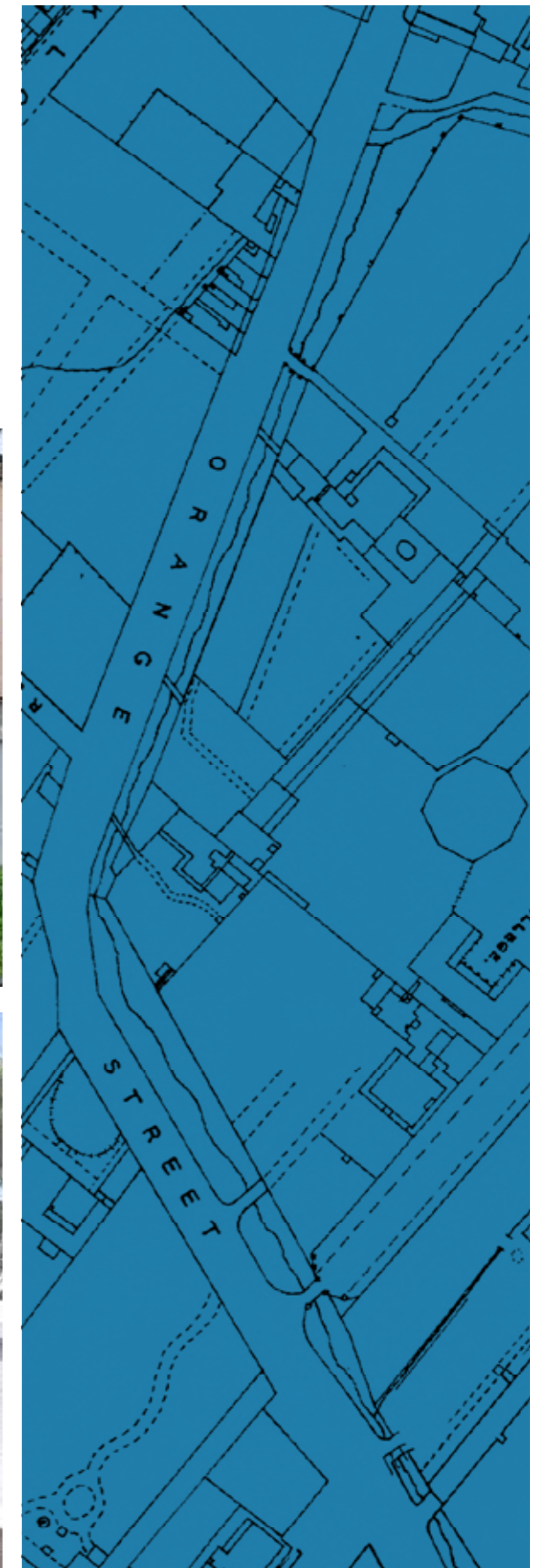
UNIVERSITY OF CAPE TOWN'S HIDDINGH CAMPUS, GARDENS, CAPE TOWN,

ERVEN 95138, 95139, 95140, 95141, 95142, 95143, 95144-RE, 95145-RE, 95146, 95147, 95148, 95149, 95160 & 95161.

Existing



Proposed





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APPLICATION OVERVIEW

SITE NAME: University of Cape Town (UCT), Hiddingh Campus

ADDRESS: Orange Street, Gardens, Cape Town

ERVEN: 95138, 95139, 95140, 95141, 95142, 95143, 95144-RE, 95145-RE, 95146, 95147, 95148, 95149, 95159, 95160 & 95161.

LENGTH: Approximately 355 m in total length

NHRA: Section 34*

* Although S.38 (1) is triggered, the character of the site remains unchanged.

GRADE: The boundary fence and wall itself are not formally graded, but fall within or touch the following graded sites:

- Bertram House Garden (3A)
- Bertram House (PHS)
- Egyptian Building (PHS)

HPOZ: Central City HPOZ

USE: UCT Michaelis School of Fine Arts

BUILT: Building date varies

PROPOSED WORKS:

- Heightening of existing boundary wall with infill panel along Orange Street;
- Heightening of existing boundary fence along Orange Street;
- Addition of an electric fence behind the existing boundary wall on Government Avenue, ending at the Egyptian Building;
- Additions to Orange Street vehicular entrances.

1.0 INTRODUCTION

1.1 Purpose of Report

Rennie Scurr Adendorff is the appointed architect for proposed security upgrades at the University of Cape Town's Hiddingh Campus. This report accompanies an application for a permit in terms of Section 34 of the National Heritage Resources Act.

1.2 Statutory Context

In light of the proposed alterations to the Hiddingh Campus boundary, the following sections of the National Heritage Resources Act (1999) are considered:

- S.27 (18), as a portion of the boundary wall is a Provincial Heritage Site and connected to the Egyptian Building. However, the proposed addition of an electric fence behind this portion of old wall does not actually touch the wall or building. It is noted that this application does not include alterations to the portion of wall on Government Avenue that includes the Lioness' Gateway, which is also a Provincial Heritage Site.
- S.34 (1), as all boundary walls to be altered are older than 60 years, with some contemporary additions, such as entrance booms and ironmongery.
- S.38 (1) (a), as the total length of the boundary to be altered exceeds 300m in length.
- S.38 (1) (c) (ii), as the alteration involves more than 3 erven. However, it is arguable that S.38. (1) (c) does not apply, as the proposed alterations to the boundaries may not change the character of Hiddingh Campus, which is already enclosed and will remain visible from the street.

In the instance that S.38. (1) is applied, a Notification of Intent to Develop (NID) would be submitted accordingly, and Rennie Scurr Adendorff would need to recommend if an Impact Assessment with a built fabric study is required.

In correspondence to HWC (letter dated 21 March 2023) it was suggested that the application is best suited to a S.34 application process for the following reasons:

- The proposed alterations do not threaten the heritage significance of the boundary walls and fence, or that of the adjacent heritage sites.
- The nature and scale of the alterations does not require large-scale construction works, and involves alterations to existing boundaries. That said, it would be recommended that an archaeologist and architect with heritage experience oversee the work.
- Comment from Interested and Affected parties would be sought in the S.34 process.
- Should the application go before a HWC Committee, it is felt that the technical and detailed nature of the proposal would be best discussed by the Built Environment Committee.

Heritage Western Cape confirmed that the proposed interventions can be considered within the Section 34 application process. In this light, the application is submitted in terms of S.34 of the National Heritage Resources Act (1999). Comment will be requested from the following Interested and Affected Parties:

- City of Cape Town's Environmental and Heritage Management (E&HM)
- City Bowl Ratepayers and Residents Association (CIBRA)
- The Cape Town Heritage Foundation (CTHF)

Comment will also be requested from the South African National Heritage Resources Agency (SAHRA), as the site borders on Government Avenue, a National Heritage Site.

In terms of municipal legislation, a portion of the boundary borders Bertram House Garden, a Grade 3A site. The entire Hiddingh Campus property also lies within the proclaimed Central City Heritage Protection Overlay Zone.

1.3 Study Methodology

A brief study of the site and its wider context with the Cape Town CBD has been conducted to understand its history, development and significance. The studies that have informed the findings in this report include:

- Historic maps, aerial photography at the NGI, Mowbray, and image search at the National Archives in Cape Town;
- Detailed site inspections and recordings;
- Review of available literature and past grading inventories of the site.

1.4 Limitations

Access to the property to undertake a site and photographic survey has been readily available. Access to online and written sources has also been unlimited.

1.5 Statement of Independence

The report is compiled by Mike Scurr (Architect and Heritage Practitioner) and Laura Milandri (Architect). Neither heritage practitioner has any legal or personal ties to the property or other professionals involved in this proposal. Professional fees for the compilation of this report are not linked to any desired outcome.

2.0 SITE DESCRIPTION

The University of Cape Town's Hiddingh Campus is a large complex located in the suburb of Gardens, in Cape Town's Central Business District. The site is bordered by Orange Street to the north-west and south-west, and Government Avenue to the south-east. The site shares a boundary with the "15 on Orange" Capital Hotel and the Iziko South African Museum and Planetarium complex to the north-east.

The campus includes eleven historic structures, with a main entrance on Orange Street. It is enclosed by three types of boundaries:

- A boundary wall with wrought iron infill and recurring pillars on the northern portion of Orange street.
- A low, wrought iron fence on the southern portion of Orange Street.
- A clay brick wall, with buttresses and parapet details on Government Avenue.

Figure 1. Locality Map (<https://gis.elsenburg.com/apps/cfm/>).



SITE PHOTOGRAPHS - EXTERIOR



Figure 2. Photo reference map



Figure 3.



Figure 4.



Figure 5.

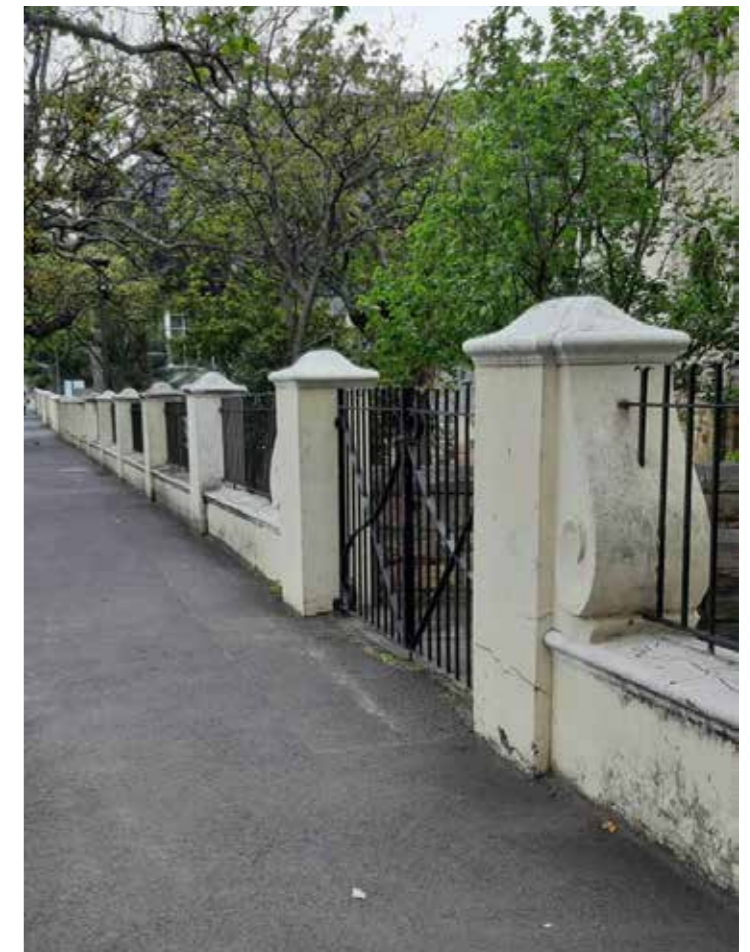


Figure 6.



Figure 7.



Figure 8.



Figure 9.



Figure 10.



Figure 11.



Figure 12.



Figure 13.



Figure 14.

SITE PHOTOGRAPHS - EXTERIOR



Figure 15.



Figure 16.



Figure 17.



Figure 18.



Figure 19.



Figure 20.

SITE PHOTOGRAPHS - INTERIOR



Figure 21.



Figure 22.



Figure 23.



Figure 24.



Figure 25.

3.0 BRIEF SITE HISTORY

Government Avenue began as the central walkway through the Company's Garden, and documented as early as 1685 as a formalised street lined with citrus trees. The Company Garden transitioned to a botanical garden for public use under the rule of Simon van der Stel towards the end of 17th century, and the Avenue planted with oaks at that time. (Oberholser, 1972) The 18th century saw a zoological garden built at the upper end of the garden, forming the south-eastern limit of the Avenue. Jones' c.1790 "Map of Company Gardens" (Oberholser, 1972, p.13) shows the orthogonal paths organising the gardens, with the tree-lined central Avenue ending in the zoological gardens. No boundary wall is shown within or around the garden, although the garden area is clearly delineated.

In 1803, Louis Michel Thibault was commissioned to design a continuation of the Avenue, dividing the zoo, and ending at Orange Street. Thibault's design included the existing Avenue walls and symmetrical gateways, which gave access to the "Beasts of Prey Park" on the western side, and the "Bird and Antelope Park" to the east (Fransen & Alexander Cook, 1980; Brand, 2016). Thibault was also responsible for the design of entrance gates at the Avenue's lower entrance onto Adderley Street (then Heerengracht) and upper entrance onto Orange Street (Oberholser, 1972; Fransen & Alexander Cook, 1980).

The zoological gardens fell into disuse in the 19th century, and Thibault's entrance gates demolished after the second British occupation (Muir, 1975). In 1834, the western portion was granted to the newly established South African College, the predecessor of the University of Cape Town. The school's first structure, the Egyptian Building, was completed between 1839 and 1841 (Veitch, 2003). Snow's 1862 map (<https://citymaps.capetown.gov.za/EGISViewer>), shows the Avenue extended to reach Orange Street, and the first buildings of the "S.A. College". Although present at the time, Thibault's wall and gateways on Government Avenue are not indicated. One of the garden's original canals is evident on Orange Street, with access over bridges into the S.A. College property. This canal is still evident in Thom's 1895 map of

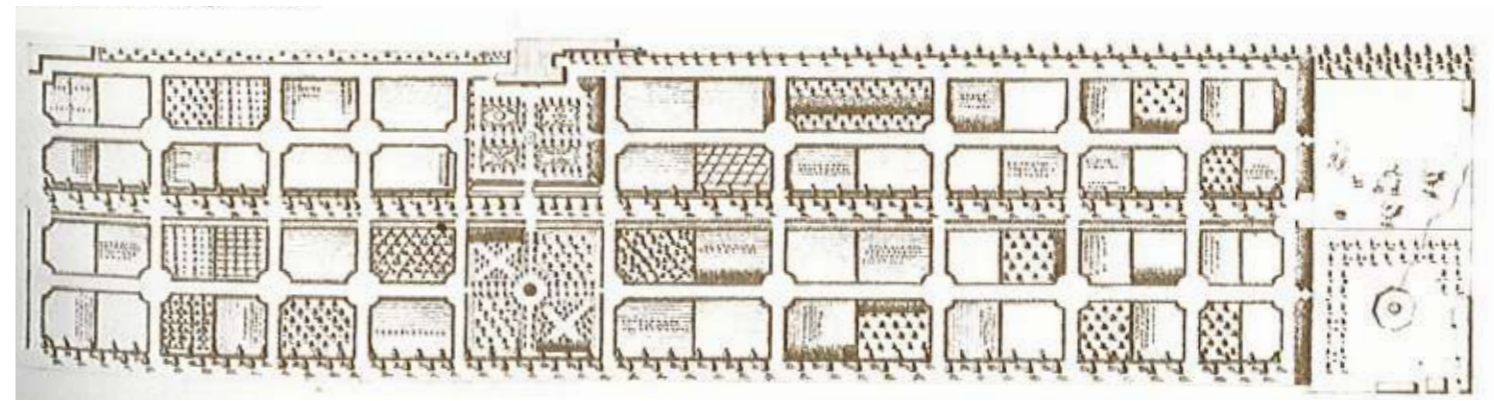


Figure 26. c.1790 Map of Company Gardens by Jones (Oberholser, 1972, p.13)



Figure 27. 1862 Map of Cape Town by Snow (<https://citymaps.capetown.gov.za/EGISViewer>)



Figure 28. Photograph of South African College students and teachers in front of Thibault's Lioness' Gateway, c.1875 (Veitch, 2003, coverleaf).



Figure 29. 1895 Map of Cape Town by Thom (<https://citymaps.capetown.gov.za/EGISViewer>)

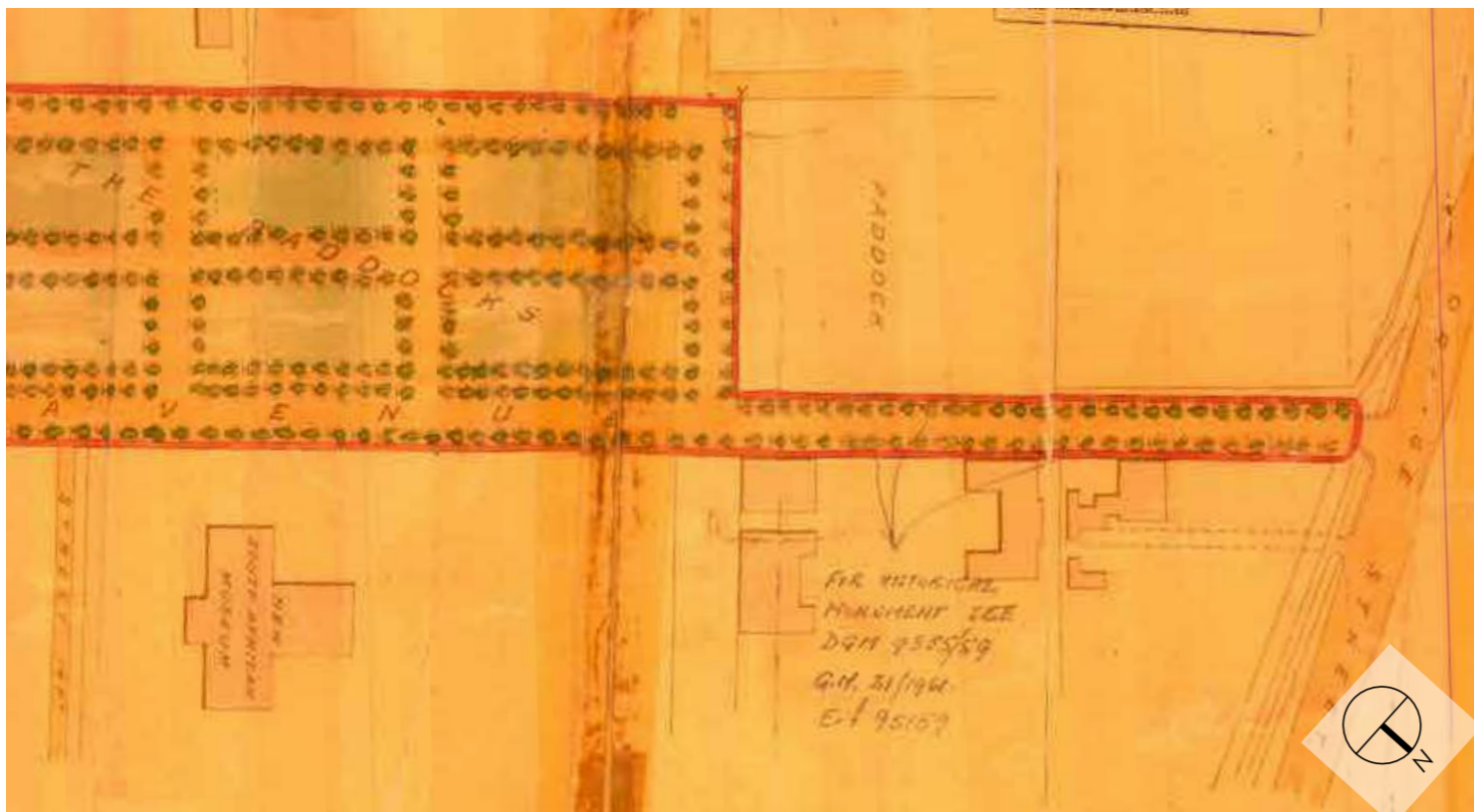


Figure 30. Copy of 1912 Surveyor General Diagram (<https://gis.elsenburg.com/apps/cfm/>)



Figure 31. Photograph of South African College students throwing acorns in the Playground, with the Government Avenue boundary wall in the background (Veitch, 2003, p.25)



Figure 32. East elevation of the Michaelis Building by Baker & Masey, c.1903 (Baker Collection, UCT Special Collections).

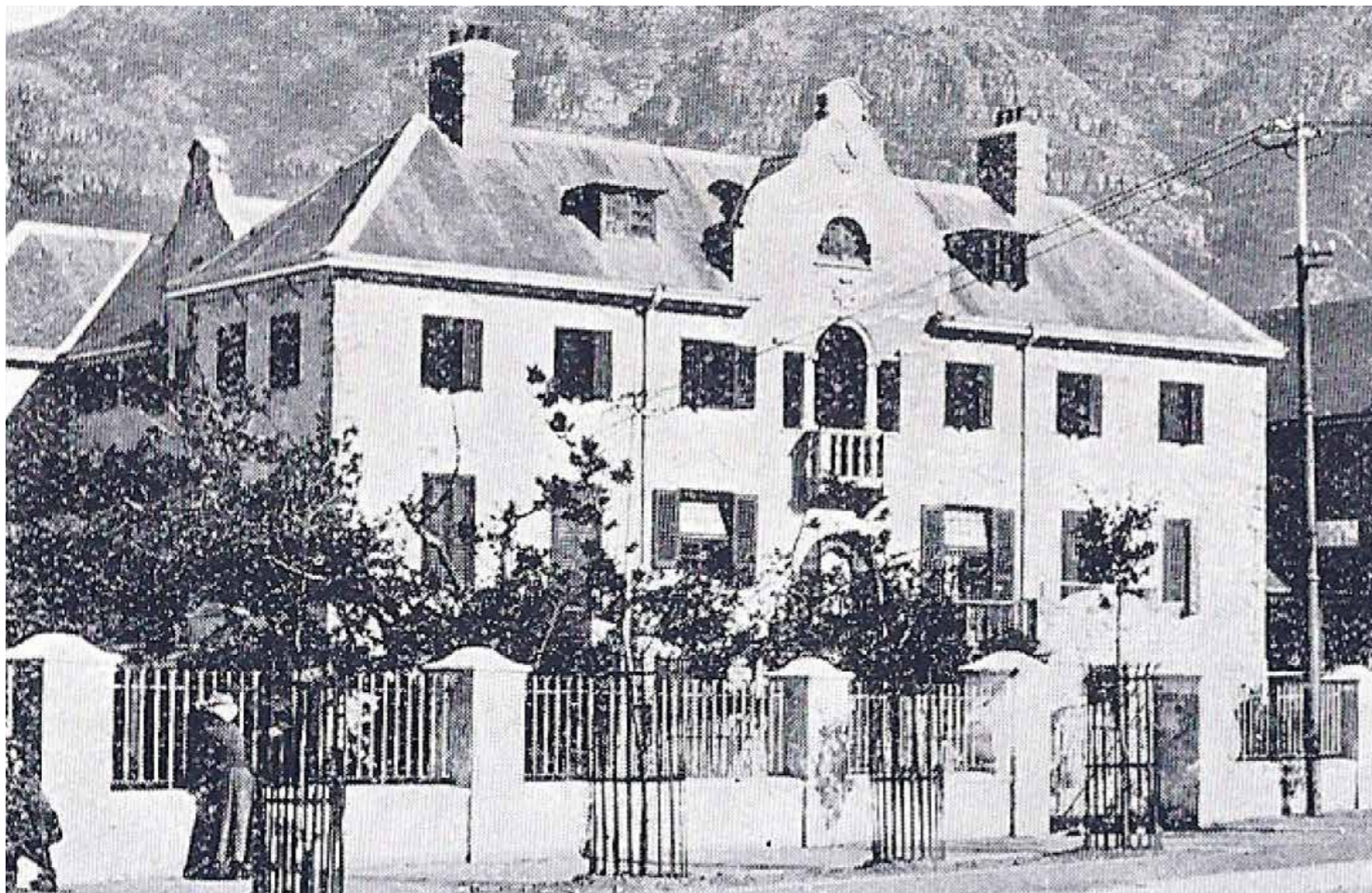


Figure 33. Rosedale Building c.1917 by Baker & Masey, with boundary wall and wrought iron metal infill panels (Ritchie, 1918-Vol. II, as cited by Townsend & Abrahamse, 2019).

Cape Town, and a boundary wall with intermittent pillars is also shown running along the pavement on Orange Street. The boundary wall continues into the Company Gardens, joining Thibault's wall. Thibault's gateways are clearly shown as the Avenue entrances into the "South African College" to the west, and the "S.A. College Playground" to the east.

The school entered a period of rapid growth at the end of the 19th century that saw the development of the majority of Hiddingh Campus' structures, including the Quad Building (1874); Bertram Place (1880); the Ritchie Building (1895); Rosedale (1899-1902); the Commerce Building (1903); Michaelis School of Fine Art (1903-1905) and Hiddingh Hall (1910-1911) (Townsend & Abrahamse, 2019). Although not recorded on building plans, it is possible that the boundary wall marking the campus' western boundary was rebuilt or altered during this time, to match the architectural style of the new buildings along Orange Street.

The South African College eventually split into a school for boys - the South African College School (SACS), and a College for upper classmen, which was designated as the University of Cape Town in 1916 (Veitch, 2003). Due to this division and the spatial constraints of the Hiddingh Campus, the University moved to the more spacious Rondebosch precinct in 1929 (Phillips, 2019, p.24).

Aerial photography from 1926 shows the canal covered and the pavement boundary of the S.A.C.'s campus shifted east to widen the Orange Street along the corner. No boundary wall is evident in the aerial photograph, although the site's boundary seems to be enclosed and lined with trees. It is probable that the low, wrought iron fence was introduced at this time, running from the top end of Government Avenue, to the remainder of the original boundary wall on Orange Street, near the campus' entrance. This fence line, with entrances to Bertram House, is evident on the 1944 - 1966 Survey of Cape Town. The thicker boundary walls along Government Avenue and lower Orange Street are also shown.

Aerial photography from the second half of the 20th century show that

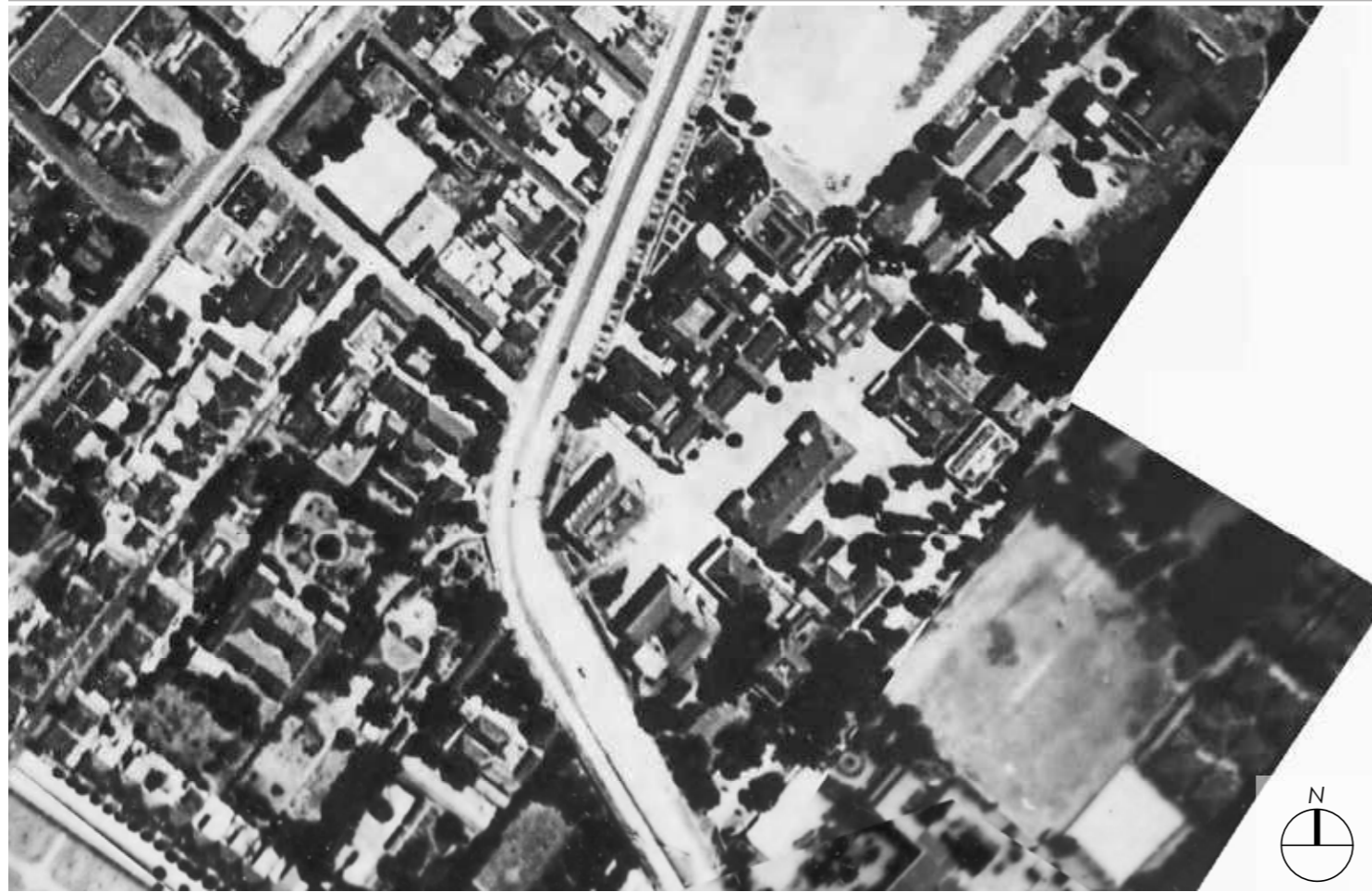


Figure 34. 1926 Aerial Photograph (<https://citymaps.capetown.gov.za/EGISViewer>)

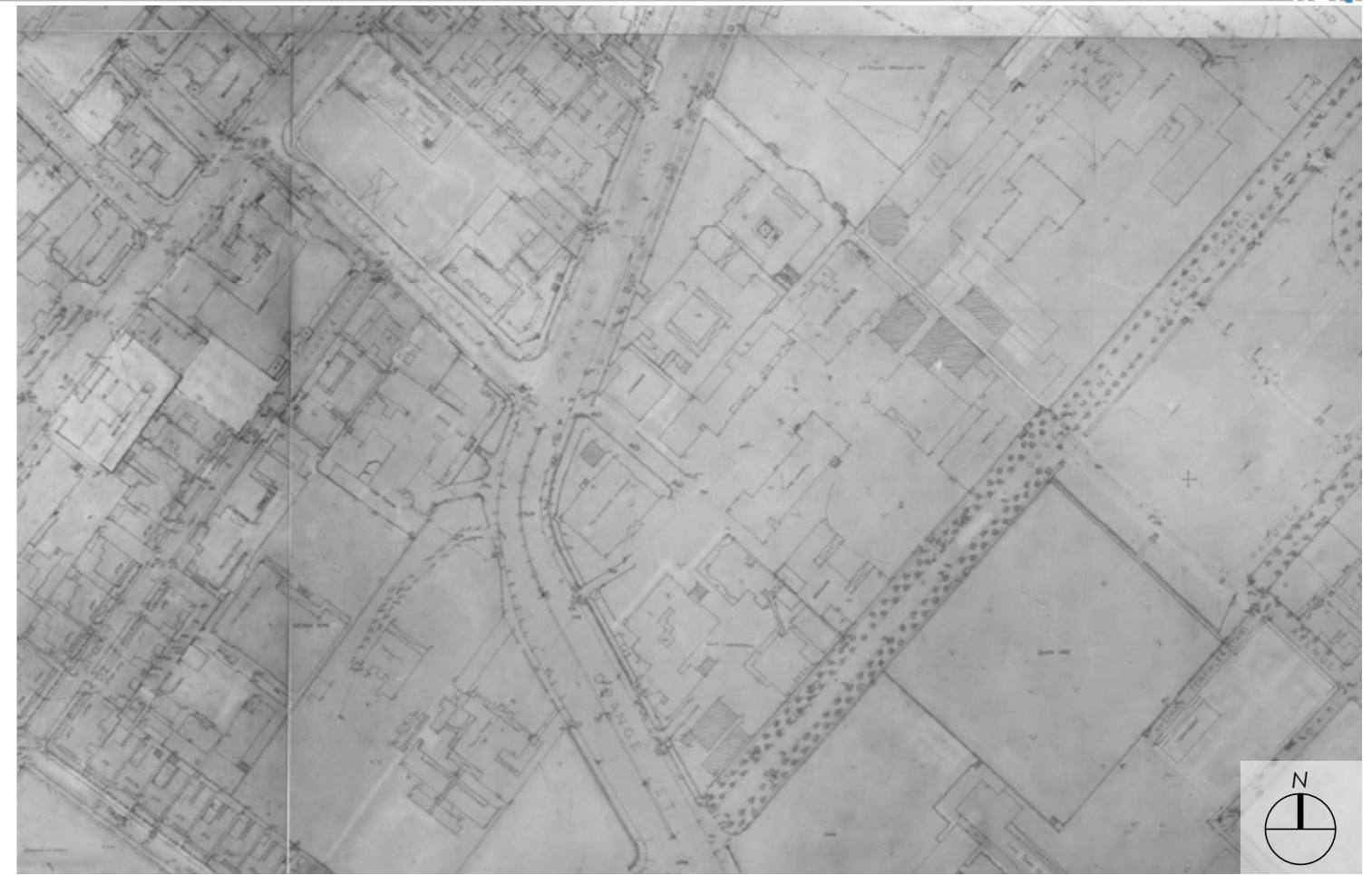


Figure 35. 1944 - 1966 Survey of Cape Town (<https://citymaps.capetown.gov.za/EGISViewer>)



Figure 36. 1935 Aerial Photograph (<https://citymaps.capetown.gov.za/EGISViewer>)



Figure 37. 1968 Aerial Photograph (<https://citymaps.capetown.gov.za/EGISViewer>)

the boundaries of Hiddingh Campus remain unchanged, although the surrounding urban fabric of Cape Town develops and densifies. SACS continued to use Hiddingh campus until the school for boys also outgrew the property, and moved to the southern suburbs in 1960, at which point the University of Cape Town purchased the Hiddingh Campus once more, for use as by the Fine Arts School and part-time students (Phillips, 2019, p.33). Hiddingh Campus is still used as the University of Cape Town's Fine Arts Campus into the 21st century.



Figure 38. 1997 Aerial Photograph (<https://citymaps.capetown.gov.za/EGISViewer>)



Figure 39. 2008 Aerial Photograph (<https://citymaps.capetown.gov.za/EGISViewer>)



Figure 40. 2015 Aerial Photograph (<https://citymaps.capetown.gov.za/EGISViewer>)

4.0 HERITAGE SIGNIFICANCE AND GRADING

The majority of the Hiddingh Campus boundary fence and walls are not formally graded, but fall within or touch the following graded sites:

- Bertram House Garden (3A)
- Bertram House (PHS)
- Egyptian Building (PHS)
- Lioness' Gateway (PHS)
- Government Avenue and the Company Gardens (National Heritage Sites)

An exception is the portions of wall on Government Avenue that fall within erf 95159 and 95160. These portions of wall were proclaimed as National Monuments in 1961, with the Lioness' Gateway. (Oberholser, 1972) This application includes the addition of an electric fence behind the portion of old wall on erf 95160, which joins to the Egyptian Building. The application does not include the portion of wall on erf 95159, which joins to the Lioness' Gateway.

The buildings of Hiddingh Campus were graded in "A Survey and Inventory of the Heritage Resources of the University of Cape Town" (Townsend & Abrahamse, 2019). This report agrees with the proposed gradings in the survey, but notes that the document does not yet have formal standing. The University of Cape Town is currently in the process of submitting and obtaining approval for the survey, which includes recommendations for the declaration of Hiddingh Campus as a PHS Area. The findings of this survey will enable legislative clarity and good heritage conservation management.

The entire Hiddingh Campus property also lies within the proclaimed Central City Heritage Protection Overlay Zone.

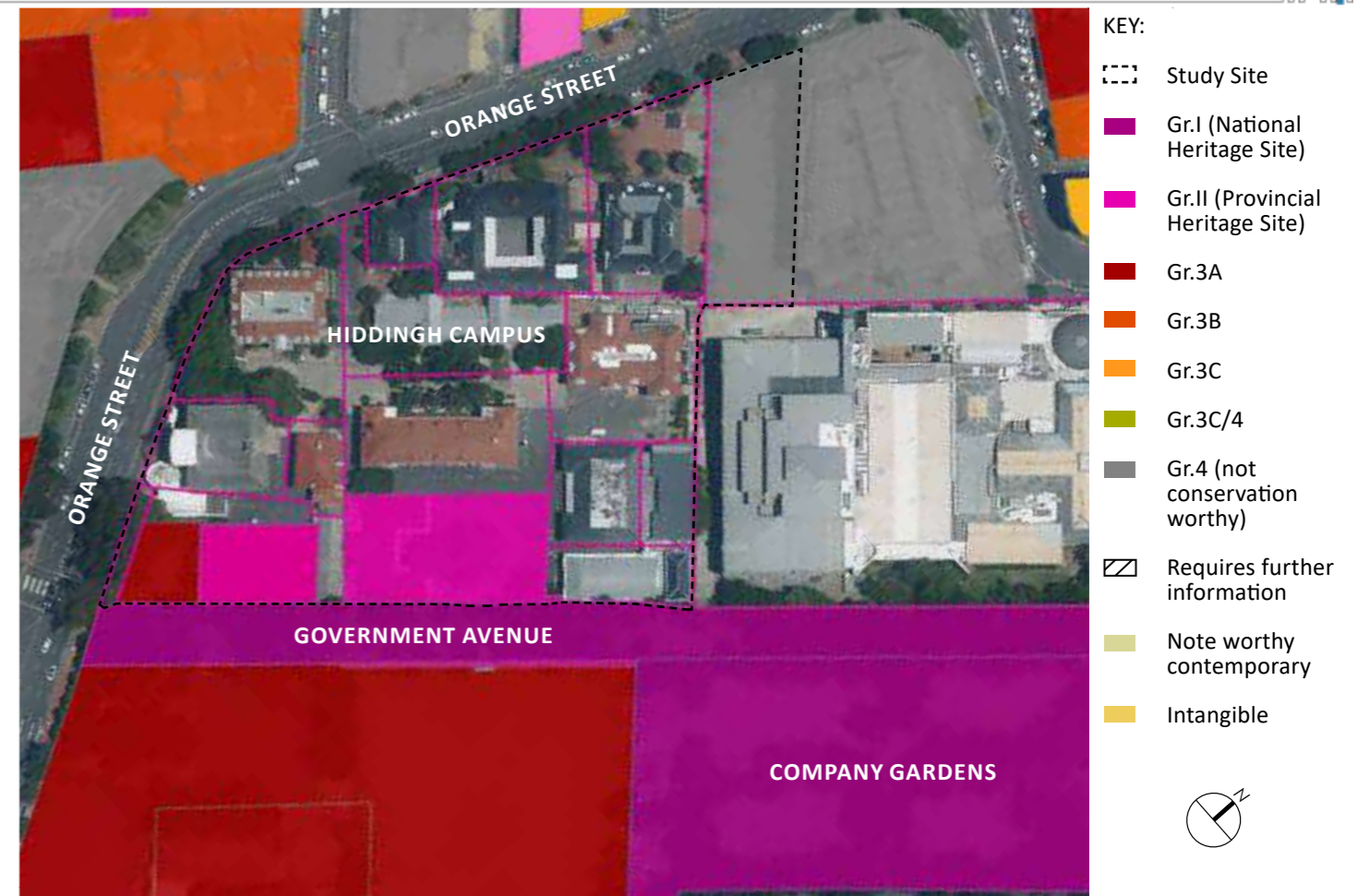


Figure 41. Heritage Grading map (<https://citymaps.capetown.gov.za/EGISViewer/>)

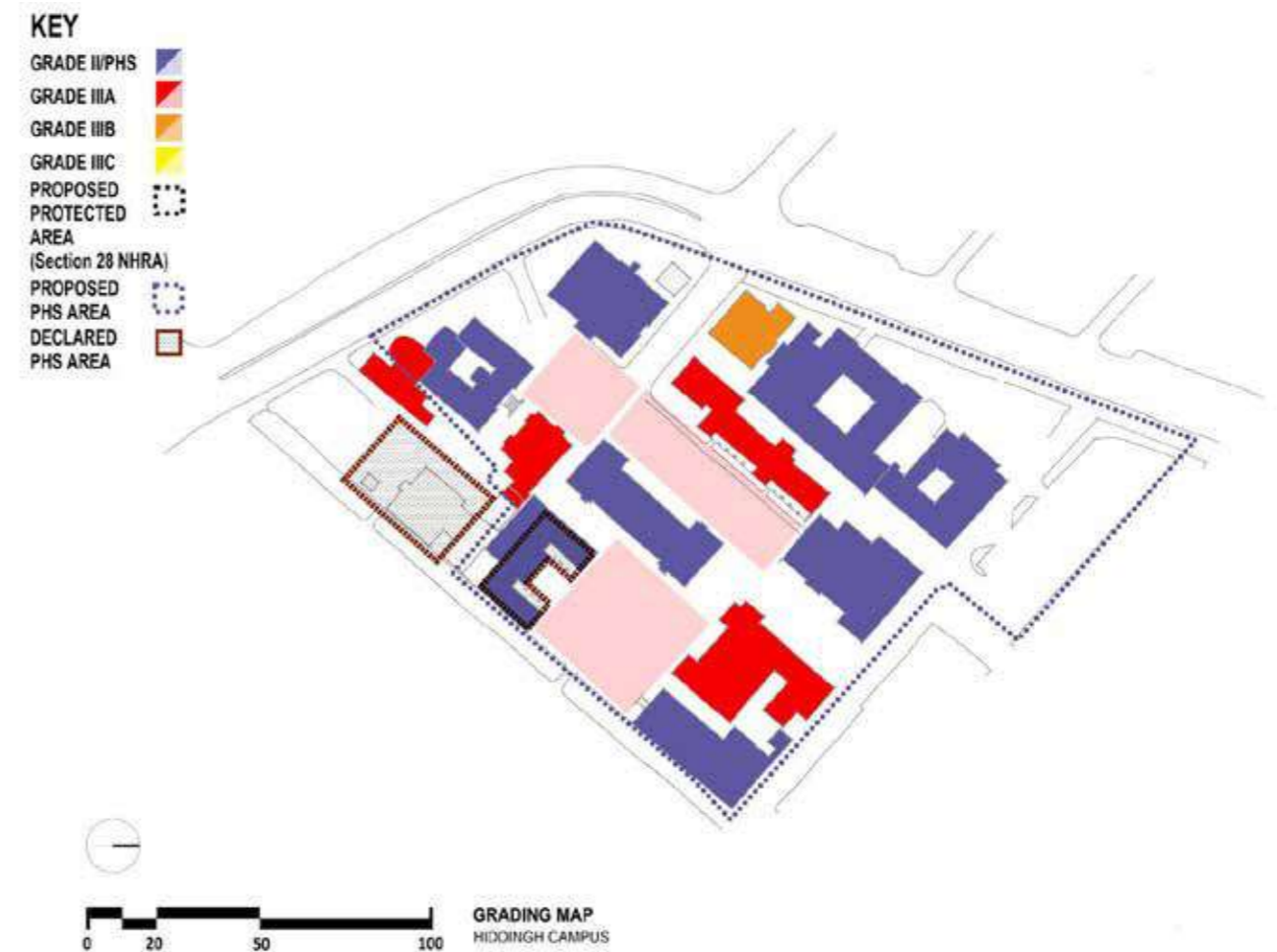


Figure 42. Proposed gradings for Hiddingh Campus (Townsend & Abrahamse, 2019).

5.0 PROPOSED ADDITIONS AND ALTERATIONS

The total length of the Hiddingh Campus boundary to be altered is approximately 355m, stretching the length of the site's Orange Street and a portion of the Government Avenue boundary, up to where the wall meets the Egyptian Building. The site's north-east boundary with "15 on Orange" Hotel and the South African Museum and Planetarium complex will not be altered.

The proposed additions and alterations are illustrated in the 3D images and Local Authority Submission drawings on the following pages, and are listed as follows:

5.1 Type 1: Alteration to Orange Street boundary wall

The boundary wall on the northern portion of Orange street consists of recurring capped pillars, a low capped wall and wrought iron infill panels. The wall varies in height, as it slopes downhill to the north, following Orange Street. There are two pedestrian entrances along the boundary (although not used), and two vehicular entrances.

It is proposed that the existing cappings of the pillars be removed, and the pillars raised by $\pm 600\text{mm}$, to an approximate total height of 2100mm from street level. This height will vary slightly across the length of Orange Street. The cappings will be replaced with exact concrete replicas, and the pillars extended using lime mortars and plasters where existing. The pillars of the two pedestrian and vehicular entrances will be altered in the same way, retaining existing decorative side mouldings.

The wrought iron infill panels, which are fixed in the boundary wall and pillars, will be carefully removed and extended off-site. The extended panels will be shot-blasted and hot-dipped galvanised, painted black, and reinstalled to their existing positions using lime mortars.



Figure 43. Locality plan of Hiddingh Campus, showing boundary types (RSA Architects, 2023)



Figure 44. Existing Type 1: Boundary wall with wrought iron infill



Figure 45. Proposed Type 1: Heightened boundary wall and wrought iron infill

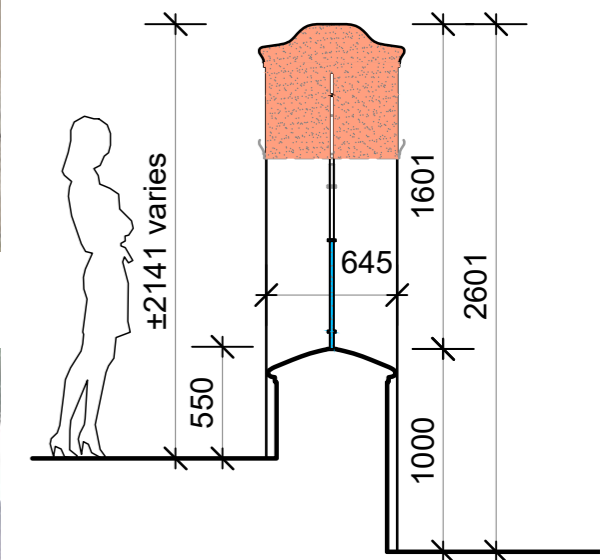


Figure 46. Proposed Type 1 alteration

5.2 Type 2: Alteration to Orange Street boundary fence

The fence along the site's southern section of the Orange Street boundary is a simple, wrought iron railing with spiked arrow cappings. The fence panels are in modules that vary between 2000mm and 3000mm in width, and includes an entrance gate to Bertram House.

It is proposed that the fencing be raised by $\pm 350\text{mm}$ to an approximate total height of 2000mm from street level.

The entire fence will be carefully removed and extended off-site. The extended panels will be hot-dipped, painted black, and reinstalled to their existing positions using concrete footings into the existing tarmac pavement. The pillar that marks the entrance to Bertram House will be extended using lime mortars and plasters, and the simple wrought iron gate extended in a similar manner to the fencing.



Figure 48. Locality plan of Hiddingh Campus, showing boundary types (RSA Architects, 2023)



Figure 47. Pillar and gateway to Bertram House, off Orange Street.



Figure 49. Existing Type 2: Wrought iron fence



Figure 50. Proposed Type 2: Heightened wrought iron fence

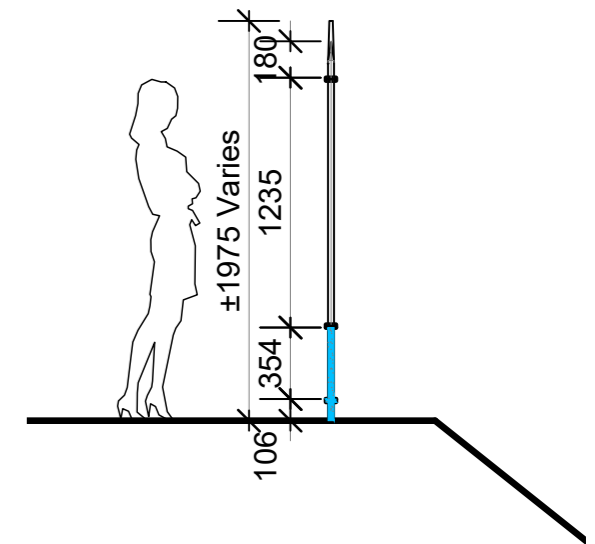


Figure 51. Proposed Type 2 alteration

5.3 Type 3: Addition to Government Avenue boundary wall

The clay brick wall that separates Hiddingh Campus and Government Avenue is $\pm 500\text{mm}$ thick, with a curved capping detail, and matches the wall that runs on the other side of the Avenue.

The wall is approximately 2000mm high from ground level on the Hiddingh campus side. The ground level on the Government Avenue side is higher, resulting in a wall height of approximately 1000mm, although this varies by $\pm 500\text{mm}$ as the wall slopes downwards towards the north. The Government Avenue wall does not have recurring pillars, but is buttressed in places, and ties into a number of structures built on the boundary, including the Egyptian building. The wall also has a number of gateways, on both sides of the Avenue, entering the adjoining properties.

Due to the varying conditions along the wall and the historic detailing, it is proposed to add a secondary fence line behind the wall, on the Hiddingh Campus property without altering the wall. This new fence will consist of steel posts placed at 2000mm intervals, and $\pm 170\text{mm}$ from the wall. Electric fencing, angled towards Government Avenue, will be installed at a high level, resulting in a total height of 1600mm from ground level on the Government Avenue side. The fence posts will be powder-coated white to diminish visual impact against the white wall. There will be no infill panels on the Hiddingh Campus side to avoid build up of debris between the wall and fence line.

Where the wall meets the Egyptian Building (see Figure 60), an end post will be placed 50mm away from the building, for an ending of the electric fencing. The pillars and electric wiring will also follow the top profile of the Bertram House gateway entrance (see Figure 58). Detailed drawings of these specialised cases will be submitted to Heritage Western Cape as a condition of approval. It is noted that this application does not include alterations to the portion of wall on Government Avenue that includes the Lioness' Gateway (erf 95159), which is currently under review as a restoration project by the University of Cape Town.



Figure 52. Locality plan of Hiddingh Campus, showing boundary types (RSA Architects, 2023)



Figure 53. Existing Type 3: Boundary wall



Figure 54. Proposed Type 3: Existing boundary wall with electric fencing behind.

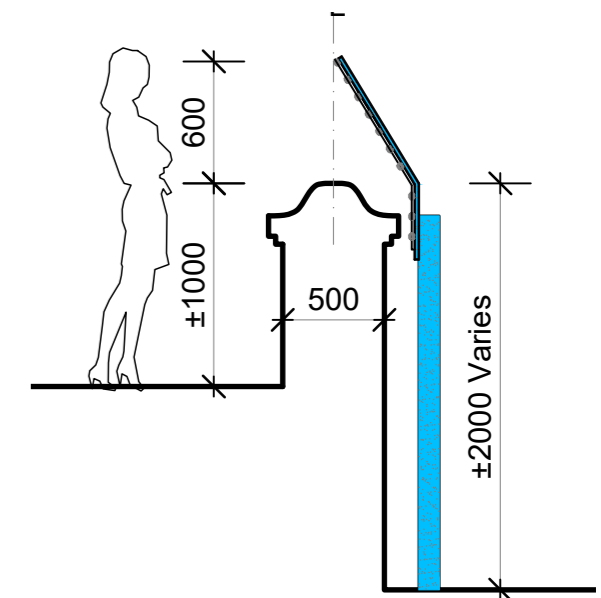


Figure 55. Proposed Type 3 alteration



Figure 56. Entrance to Government Avenue on Orange Street.



Figure 57. Government Avenue wall, with Bertram House in the background.



Figure 58. Bertram House gateway



Figure 59. Government Avenue wall running along Hidding Campus structures.



Figure 60. Government Avenue wall tying into the Egyptian Building.

5.5 Additions to Orange Street vehicular entrances

It is proposed to make additions to both vehicle entrances on Orange Street for security purposes.

The entrance to the Rosedale parking already has a portion of wrought iron fencing (matching that further south on Orange Street) and guard house within the campus. The fencing will be raised, and inward opening gates added at the guard house, as a security check point.

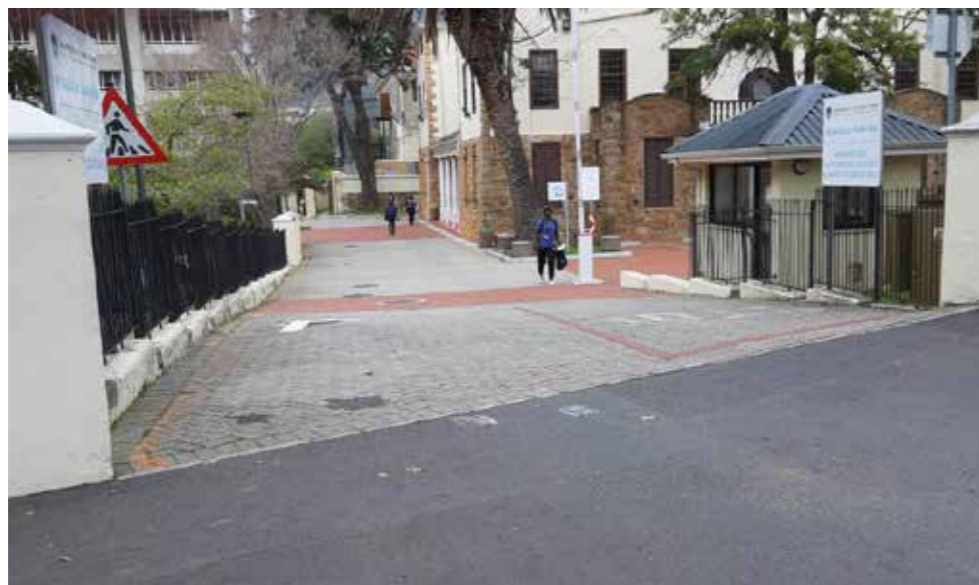


Figure 61. Existing Rosedale parking entrance



Figure 62. Proposed alterations to Rosedale parking entrance

In order to secure the main entrance to Hiddingh Campus, pillars and fencing will be extended into the campus along the existing entrance road. The new fence will match the wrought iron fence existing, and tie into the existing pillars. A new, secure-access boom, pedestrian turn-stile and area for taxi collection will be included in the security upgrade.

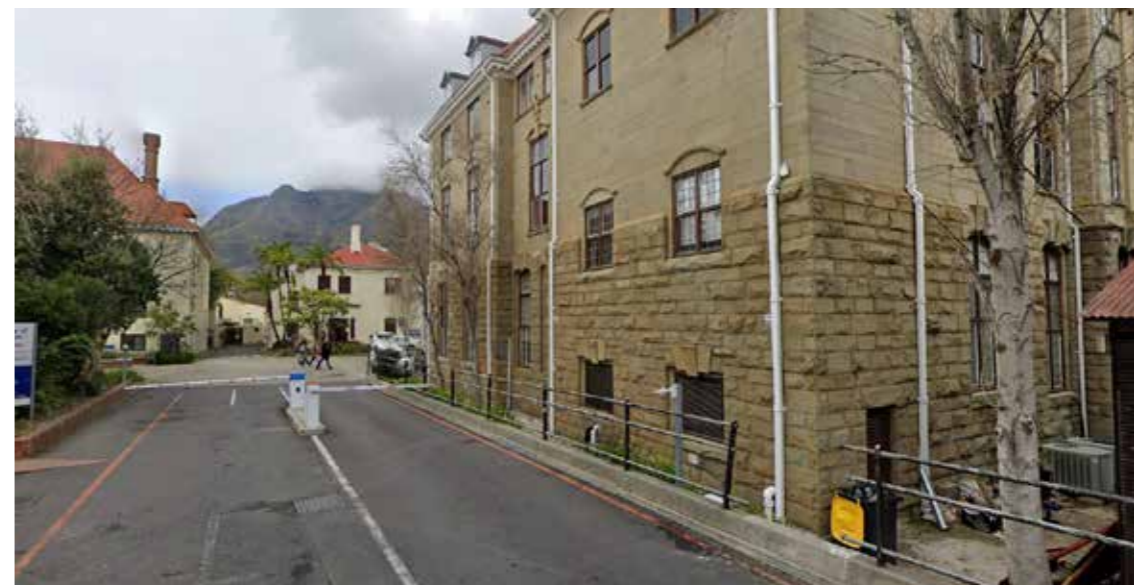


Figure 63. Existing main entrance to Hiddingh Campus

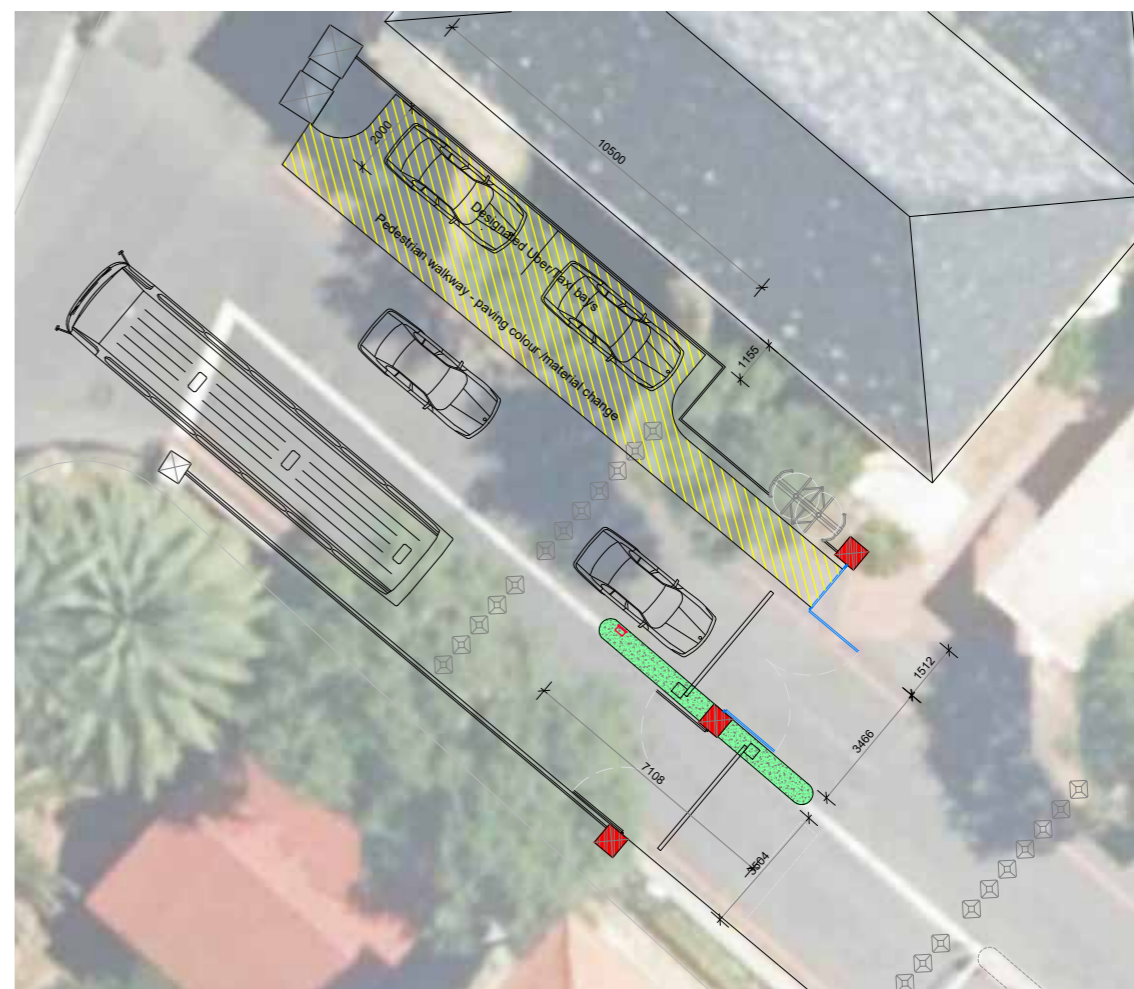
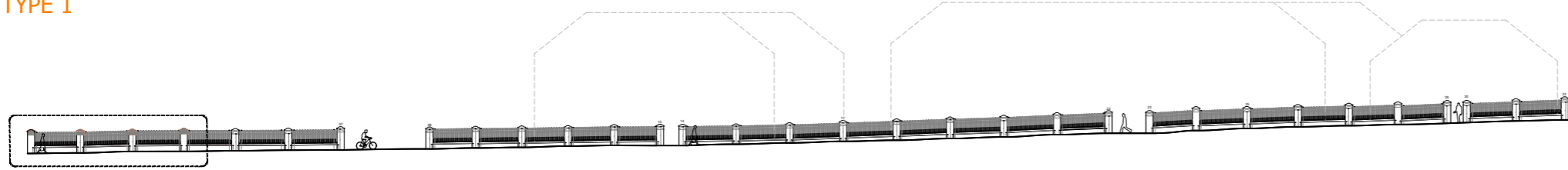
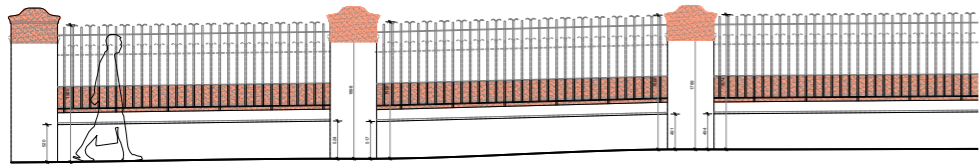


Figure 64. Proposed alterations to main entrance

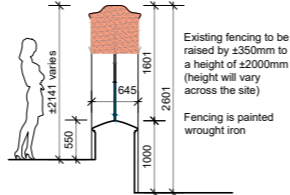
TYPE 1



Full elevation
1:250



Partial Elevation
1:50



Section
1:50



3D Proposal



Existing boundary wall with fencing infill

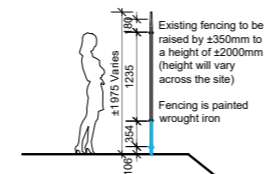
TYPE 2



Full Developed Elevation
1:250



Partial Elevation
1:50



Section
1:20

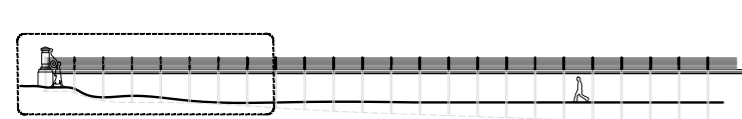


3D Proposal

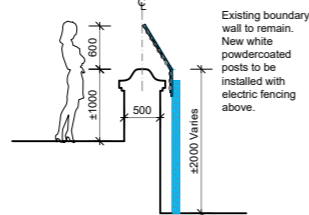


Existing Fence

TYPE 3



Full Elevation (view from Government Avenue towards Bertram House)
1:250

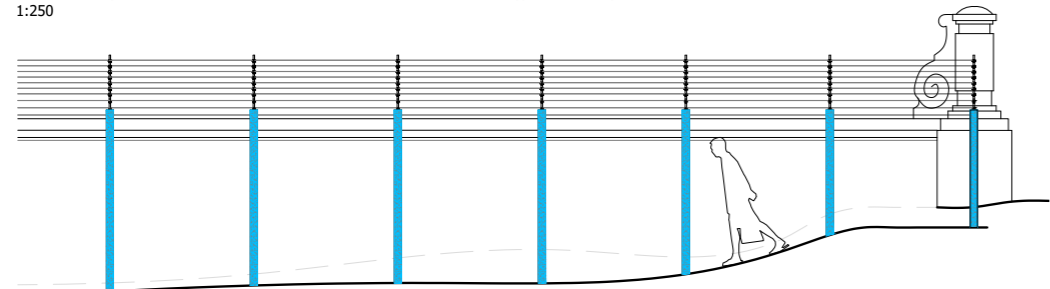


Section
1:50



3D Proposals

Full Elevation (view from Government Avenue towards Little Theatre and Egyptian Building)
1:250



Partial Elevation (View from Bertram House)
1:50



Existing boundary wall

GENERAL NOTES

- This drawing is the copyright of the Architects.
- All dimensions and levels must be checked on site prior to setting out.
- Any discrepancies are to be reported to the Architects immediately.
- All work is to be done in accordance with the National Building Regulations.
- Prestressed concrete lintels to all external and internal openings less than 3 metres.
- Light and ventilation areas are to conform to regulations.
- Light area to be min 10% and ventilation area to be min 5% of the floor area of all habitable rooms.
- All glazing to comply with Part IV of the National Building Regulations.
- Vertical and horizontal gpc's to conform to SANS 10400 with regard to quality and positioning.
- All portions of structural timber built into walls to be wrapped in damp proof membrane.
- All steps to have a tread of min. 250mm and riser of max. 200mm.
- All balustrades to be min. 1000mm high, and max. spacing between balusters at 100mm.

CONSTRUCTION NOTES

- WALLS**
All external walls to be as per drawing.
Prestressed concrete lintels to all openings up to 3000mm max. with min. 4 courses brickwork above.
All retaining walls to Eng's detail.
- FOUNDATIONS**
280mm walls to have min. 700 x 230mm foundations.
230mm walls to have min. 700 x 230mm foundations.
110mm walls to have min. 600 x 230mm foundations.
Foundation sizes to be checked and specified by Engineer.

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REVISIONS

R.	DATE	DESCRIPTION

Client: UCT (Nigel Haupt)

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Client: UCT

Project: UCT - HIDDINGH CAMPUS: ORANGE STREET, ERF 94157, FENCING AND WALL & VEHICULAR GATES UPGRADE

Drawing type: COUNCIL SUBMISSION DRAWING

Date: 26-04-2023 Scale: As shown at A1

Designed: SA Draw: AL/WW Checked: SA

Project Number: 32237 Drawing Number: C-1001 Revision:

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Figure 65. Proposed additions and alterations to the Hiddingh Campus boundary fence and wall (RSA, 2023)



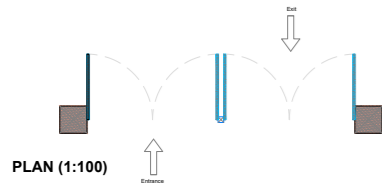
SITE PLAN (1:100)



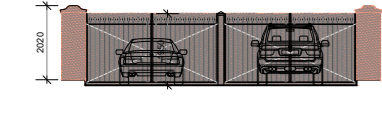
SITE PLAN (1:100)



SITE PLAN NTS



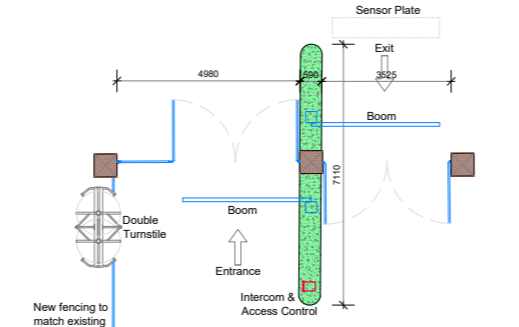
PLAN (1:100)



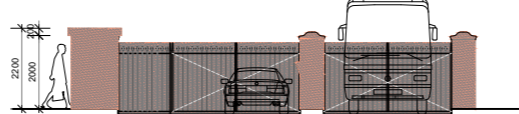
ELEVATION (1:100)



EXISTING ENTRANCE



PLAN (1:100)



ELEVATION (1:100)



EXISTING ENTRANCE



KEY MAP: HIDDING CAMPUS BOUNDARY FENCING AND WALL NTS

GENERAL NOTES

- This drawing is the copyright of the Architects.
- All dimensions and levels must be checked on site prior to setting out.
- Any discrepancies are to be reported to the Architects immediately.
- All work is to be done in accordance with the National Building Regulations.
- Prestressed concrete lintels to all external and internal openings less than 3 metres.
- Light and ventilation areas are to conform to regulations:
- Light area to be min 10% and ventilation area to be min 5% of the floor area of all habitable rooms.
- All glazing to comply with Part 14 of the National Building Regulations.
- Vertical and horizontal dpc's to conform to SANS 10400 with regard to quality and positioning.
- All portions of structural timber built into walls to be wrapped in damp proof membrane.
- All steps to have a tread of min. 250mm and riser of max. 200mm.
- All balustrades to be min. 1000mm high, and max. spacing between balusters at 100mm.

CONSTRUCTION NOTES

WALLS
All external walls to be as per drawing.
Pre-stressed concrete lintels to all openings up to 3000mm max. with min. 4 courses brickwork above.
All retaining walls to Eng's detail.

FOUNDATIONS
280mm walls to have min. 700 x 230mm foundations.
230mm walls to have min. 700 x 230mm foundations.
110mm walls to have min. 600 x 230mm foundations.
Foundation sizes to be checked and specified by Engineer.

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REVISIONS

R.	DATE	DESCRIPTION

ZONING INFORMATION FOR NON-CONSOLIDATED ERVEN OF UCT, HIDDING CAMPUS:

Erf	Area (m ²)	Zoning
95138	1392.7	GRA
95139	2064.6	GRA
95140	2034.7	GRA
95141	178.3	GRA
95142	1573.8	GRA
95143	948.4	GRA
95144-RE	1140.8	GRA
95145-RE	161.5	GRA
95146	5993.1	GRA
95147	4036.1	GRA
95148	43.4	GRA
95149	1819.4	GRA
95150	6.5	TR2
95160	5.8	GRA
95161	2034.7	GRA
Total	24333.6	

Client: UCT (Nigel Haupt)

Architect: MIKE SCURR SACAP 4860

Client: UCT

Project: UCT - HIDDING CAMPUS: ORANGE STREET, ERF 94157, FENCING AND WALL & VEHICULAR GATES UPGRADE

Drawing type: COUNCIL SUBMISSION DRAWING

Date: 26-04-2023	Scale: 1:100 @ A1	North Arrow
Designed: SA	Drawn: AL/WW	
Project Number: 32237	Drawing Number: C-1002	Revision:

Figure 66. Proposed additions and alterations to the Hidding Campus boundary fence and wall (RSA, 2023)

6.0 SUMMARY AND RECOMMENDATIONS

The University of Cape Town seeks to upgrade the security of their Hiddingh Campus in order to ensure a safe working environment for students and staff.

The campus' current boundaries are relatively low in height, and have a number of unmonitored access points. In order to secure the campus, the following alterations and additions are proposed:

- Heightening of the existing boundary wall with infill panel along Orange Street;
- Heightening of the existing boundary fence along Orange Street;
- Addition of an electric fence behind the existing boundary wall along Government Avenue, up to the Egyptian Building;
- Additions to Orange Street vehicular entrances.

It is noted that this application does not include alterations to the portion of wall on Government Avenue that joins to the Lioness' Gateway (erf 95159), which is currently under review as a restoration project by the University of Cape Town.

The proposed alterations approach each boundary condition specifically, allowing for customised design resolution in each instance. The boundary wall and fence along Orange Street are altered in a way that is inconspicuous and in keeping with the existing design, using matching finishes and detailing. The majority of the boundaries' historic fabric is retained, and where historic fabric is removed the original details will be replicated.

In the case of Government Avenue, the proposed electric fencing is done in a manner to limit impact on original fabric of the old boundary wall and surrounding graded buildings; and to provide a secure perimeter with minimal visual impact when seen from Hiddingh Campus or Government Avenue.

In all instances, it is maintained that the proposed additions and alterations do not detract from the heritage significance of Hiddingh Campus as a whole, or the surrounding heritage sites.

In light of these considerations, we recommend that Heritage Western Cape approve the proposed alterations and additions, represented in Section 5.0 of this report, on condition that:

1. The appointed heritage architect continues to detail and oversee the work.
2. Detailed design drawings of electric fencing along the Government Avenue at the Bertram House gateway and the Egyptian Building be submitted to HWC for approval.
3. A close out report be submitted to Heritage Western Cape within 90 days of practical completion.

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Site photographs taken by John Rennie and Laura Milandri, August 2022.