

GARDEN WALL & STORE

BABYLONSTOREN, FARM 1740, PAARL

Accompanying Document to NID application

Prepared by Anja Lareman for Malherbe Rust Architects.

November 2019

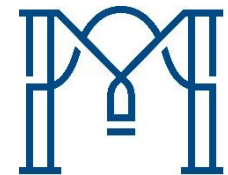


Table of Contents

1 PREAMBLE & APPLICATION FORM	
2 EXECUTIVE SUMMARY	
2.1 Site Name	
2.2 Location	
2.3 Locality Plan	
2.4 Description of Proposed Development	
2.5 Heritage Resources Identified	
2.6 Anticipated Impacts on Heritage Resources	
2.7 Recommendations	
2.8 Authors and Date	
2.9 Client	
3 INTRODUCTION	
3.1 Purpose of Application	
4 LOCATION, SIZE AND USE	
5 HISTORIC BACKGROUND AND DEVELOPMENT	
5.1 Historical Overview	
5.2 Historical Development	
6 HERITAGE RESOURCES	
7 HISTORICAL MAPS	
8 ASSESSMENT OF CULTURAL SIGNIFICANCE AS PER PREVIOUS HIA DONE ON BABYLONSTOREN FARM	23
8.1 Natural & Cultural Landscape	23
8.2 Important Views	23
8.3 Aesthetic, Historical and Scientific significance	23
09 DEVELOPMENT INDICATORS	24
10 IMPACT ASSESSMENT	24
Description of Proposal	24
Impact on Cultural Significance	24
11 LAYOUT DRAWINGS	25
11.1 Sketch design for Information only	25
11.2 Drawings prepared for Approval	29
12 RECOMMENDATIONS	34
13 REFERENCES	34

1 | Preamble & Application Form

This document contains information from, and should be read in conjunction with documents prepared by **Andre Pentz** from Urban Design Services cc:

- The **Heritage Impact Assessment**, January 2009
- **Heritage Statement (Revised)**, July 2014

2 | Executive Summary

2.1 | Site Name

Babylonstoren, Farm 1740, Klapmuts-Simondium Rd, Simondium

2.2 | Location

33°49'27.14"S 18°55'33.90"E

2.3 | Locality Plan

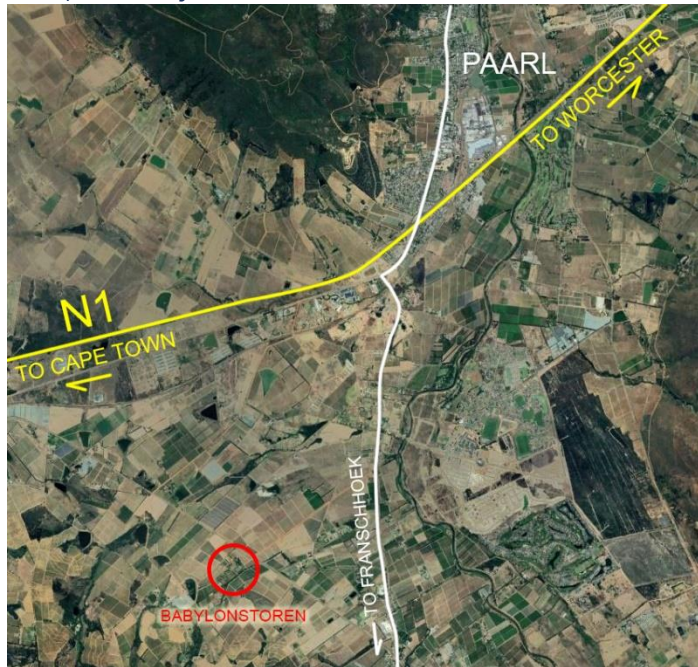


Figure 1 See Section 4 for detailed Locality Plan

2.4 | Description of Proposed Development

The client's brief is for a new farm store (163m², for garden tools and to store equipment and farm vehicles under shade), to enclose an existing section of agricultural land with a garden ring wall (198,2m²) and a new pond (78m²).

2.5 | Heritage Resources Identified

Former Grading: none

SAHRA Grading: none

Drakenstein Heritage Survey Grading: Provincial Heritage site (Grade II) - No formal gazetted grading.

Heritage Impact Assessments done by Andre Pentz in 2009 identifies the historic werf "grade 1 – exceptional significance, and the buildings vary between grade II and grade III". Significant axial relationships between buildings and landscape. Significant in terms of historical, architectural and contextual value, and has landmark quality.

Previous studies consulted:

- **HIA** by Andre Pentz (Jan 2009)
- **Heritage Statement (Rev)** by Andre Pentz (Dec 2014)
- **Cultural Historic Research** by Steward Harris ('Babylonstoren – The story of a Drakenstein Farm' April 2007)
- **Archaeological Impact Assessment: Stable Buildings** by Katie Smuts & Harriet Clift (May 2010)
- **Historical Background, Significance and Structural Analysis** by Malherbe Rist Architects (Sept 2010)

2.6 | Anticipated Impacts on Heritage Resources

The proposed development will have a low impact on the heritage resources and surrounds, with a medium impact on the spatial relationship between the historic werf and what's happening outside the werf.

The proposed development is in line with the HIA's development indicators, stating that 'new development should not encroach on the historic werf and garden and should be set back from the historical development' and 'new development should respect established development patterns including the existing framework of fields, roads, axes and the resultant geometry'

2.7 | Recommendations

Recommended that the existing Heritage Impact Assessment on the farm be consulted in order to measure the application against the development indicators identified, confirm the impact on the significance of the cultural resource and no further studies be required.

2.8 | Authors and Date

This document was prepared in November 2019 by Anja Lareman for Malherbe Rust Architects.

2.9 | Client

Malherbe Rust Architects have been appointed by the owners to assist with the application in order to obtain approval for the proposed work.

3 | Introduction

3.1 | Purpose of Application

This application regards the proposed development on Babylonstoren farm, in terms of *S38(1)(a) Construction of a road, wall, powerline, pipeline, canal or other similar form of linear development or barrier over 300m in length.*

The proposed garden ring wall is 478,2m long (note that it is not a linear development in one direction only).

4 | Location, Size and Use

Babylonstoren is located on the Klapmuts-Simondium road, Simondium and is zoned as Agriculture I & Agriculture II.

33°49'27.14"S 18°55'33.90"E

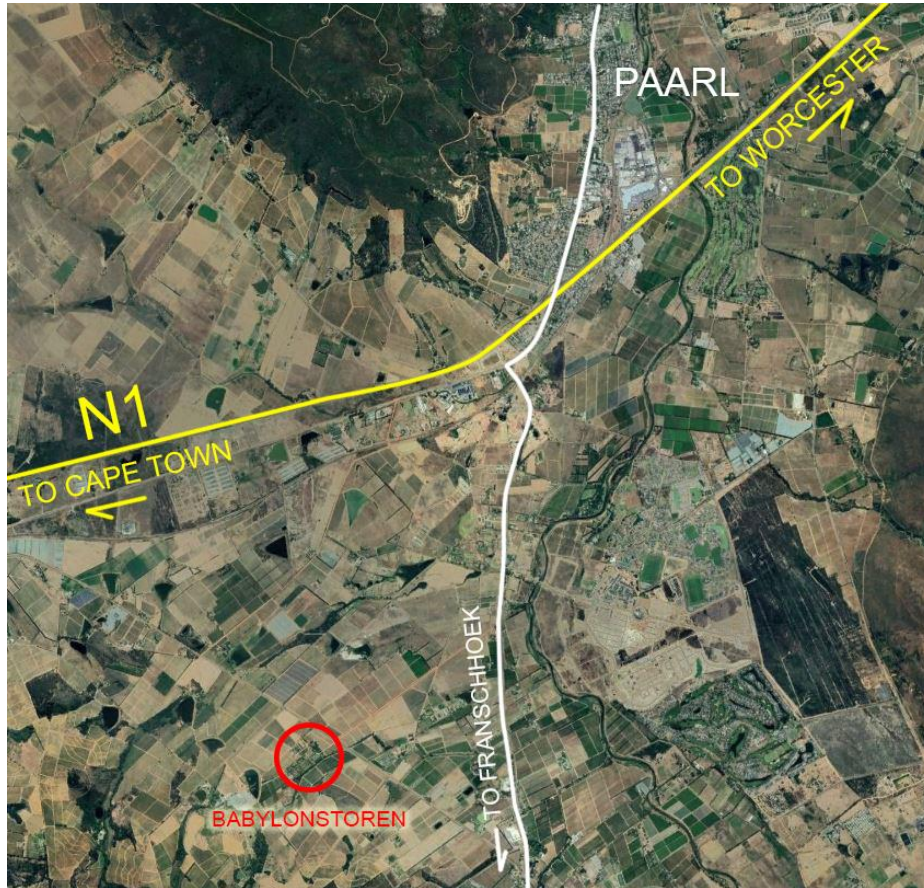


Figure 2 Map showing location of Babylonstoren in Drakenstein area.



Figure 3 Map showing Babylonstoren on Main Road 205, between Klapmuts and Simondium

5 | Historic Background and Development

Previous studies (listed in the executive summary) covers the analysis of historic resources on the farm extensively.

The historical werf incorporating the farmhouse and its significant grouping of outbuildings is located on the lower northern slopes of the Simonsberg. Between the 'toring' (a rocky outcrop) and the werf, runs a small watercourse. The Klapmuts-Simondium provincial road lies a couple of hundred metres north of the farmyard.

5.1 | Historical Overview

Settlement

There was a Khoi presence in the area from 1000AD but no remnant material cultural artefacts have been found.

Settlers from Europe established agriculture in the Drakenstein Valley in 1687. Pieter van der Byl, occupied the Babylonstoren farm in 1690 and received a grant in 1692. This lay along the stream to the east of the present werf, reaching up the hillside to the source of a string spring. The werf itself lies off the grant – this was not unusual. Van der Byl modified the landscape, moving the watercourse higher up the bank so that the natural valley bottom could be planted and irrigated. The spatial framework of the werf was established.

Historical Buildings

The old building fabric is of two kinds: stone construction with dark clay bricks (earliest structures) and construction of soft orange bricks (later structures).

Stables/ wagon house, long house section at the rear of the fowlhouse, parts of the West barn are among the oldest structures.

The house, outbuildings, east and west barn are discussed in detail in the short history.

Ownership and Events

- *Pieter van der Byl* (Grant) 1692-1723
- *Hester ter Winkel*, widow P van der Byl, 1723-1743. Farm placed on auction 1744
- *Johannes Louw*, 1744-1762
- *Petrus Johannes de Villiers*, 1762-1784. Major building episode (1777 gable date)
- *Johanna Barbara van Biljon* 1784-1831 (widow of de Villiers). Married to CE Ponty 1787-1814)
- *Willem Adolph Marais* 1834 bought farm at auction and sold to *Jan Daniel de Villiers* same year.
- *Jan Christoffel Bosman* 1837-1841. Deduction Klein Babylonstoren to GL Steytler 1841.
- *Dirk Hamman* 1841-1843 when declared insolvent. Public auction held 1844.
- *Johannes Wynand Louw* 1844-1873
- *Adriaan Jacobus Louw & Marthinus Smuts Louw* 1873-1919; Buildings Victorianised. Lot C & F of Signal Hill and Lot A & B of Simon's Valley were added to the farm. CL Back purchased Klein Babylonstoren from BR Greenhalgh and Lot E Signal Hill.
- *Dirk van Velden Louw* 1919-1951. Restoration includes new homestead gable. Water rights agreement with CL Back.
- *Jan Christiaan Louw* 1951-1981
- *Barry David Louw* 1981-1998
- *Babylonstoren Estates (Pty) Ltd* 1998-2005
- *Babylonstoren (Pty) Ltd* – current owners.

5.2 | Historical Development

The essential fabric of the first werf was built by Johannes Louw, the third owner of the farm after Pieter van der Byl and his widow Hester Terwinkel.

When Louw died in 1762, there was a **T-shaped house, an outbuilding with three small rooms and a cellar-stable. Babylonstoren was used for wine-making (no record of wheat or sheep recorded).**

Between 1762 and 1834 nothing was recorded in transfer deeds, but it is during this time that front werf was created (since the date 1805 is on the gable of the west barn in the forecourt). Du Toit (2008:3) refers to this as the **‘second werf layout’ of Babylonstoren. This werf with its complete symmetrical layout included the historical garden at the back of the manor house. The werf walls and entrance gates form part of this symmetry.**

Quitrent land around the streams that feed the farm was acquired in 1813. In 1819 further quitrent grant covering all the traditionally used area around the original grants was acquired.

In 1831 the estate included a foyer, room on the left, room on the right, gallery, bedroom, scullery, kitchen, attic, cellar, cellar attic, carpenter’s shop, blacksmith’s workshop, flour room, outside dispensary and stables.

Klein Babylonstoren (145 morgen) was split from the main farm in 1841.

Johannes Wynand Louw bought the farm from auction in 1844. In this time, he improved the land and its irrigation systems and bought 147 morgen at Bloemendal, downstream towards the Berg River in 1857. He also made major **changes to the house, the most striking was how the rooms were used.**

For the first time a lounge was noted, with four individual bedrooms and a dining room where there was previously a gallery. Outside rooms were used as milking sheds and meat rooms so the farm had an active livestock component. Its other big feature was wine. In the werf were four brandy stills.

The Phylloxera plague devastated the Cape vineyards. The problem was solved in two ways, both transforming the landscape: first, all the vineyards were rooted out and new varieties (on American stocks) on the higher slopes were grafted. Secondly, peaches, plums and pears were planted where vines have been. **More fruit orchards were introduced, replacing the livestock.**

During the 1890s there was a big increase in demand from Europe which refrigerated ships made possible. Exports increased x26 fold from 1900 to 1914. **Both wine and fruit farming at Babylonstoren were given a huge boost in 1903 with the introduction of a branch railway line to Franschhoek with a station at Simondium nearby.**

Fransen writes that **“Towards the end of the 19th c. Babylonstoren house was Victorianised and stripped of all its external architectural character”**. The property was expanded. By this time Klein Babylonstoren had been established as a separate farm in 1841. In 1912 several pieces of land above it was bought and became part of the farm, including small parts of Simonsvlei.

The house was restored in 1931-2 which was insensitively expanded some 40 or 50 years before.

The farm underwent another major restoration and renovation process in 2007. **A ‘new werf’ was established to the south-west of the existing werf, on an axis informed by the existing werf, alongside the watercourse.**

6 | Heritage Resources

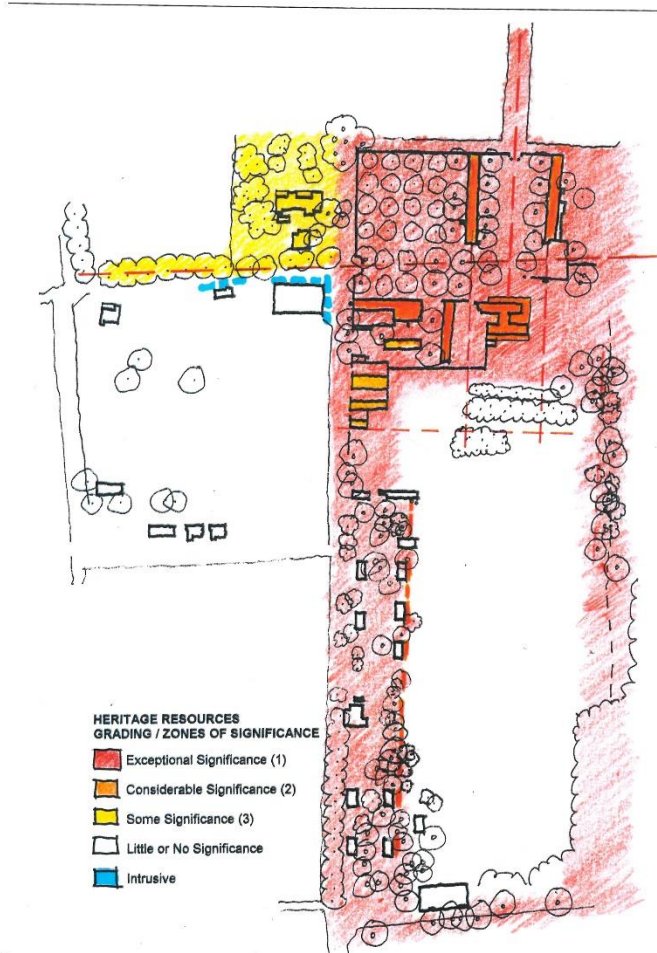


Fig 11 Heritage Resources: Grading / Zones of Significance

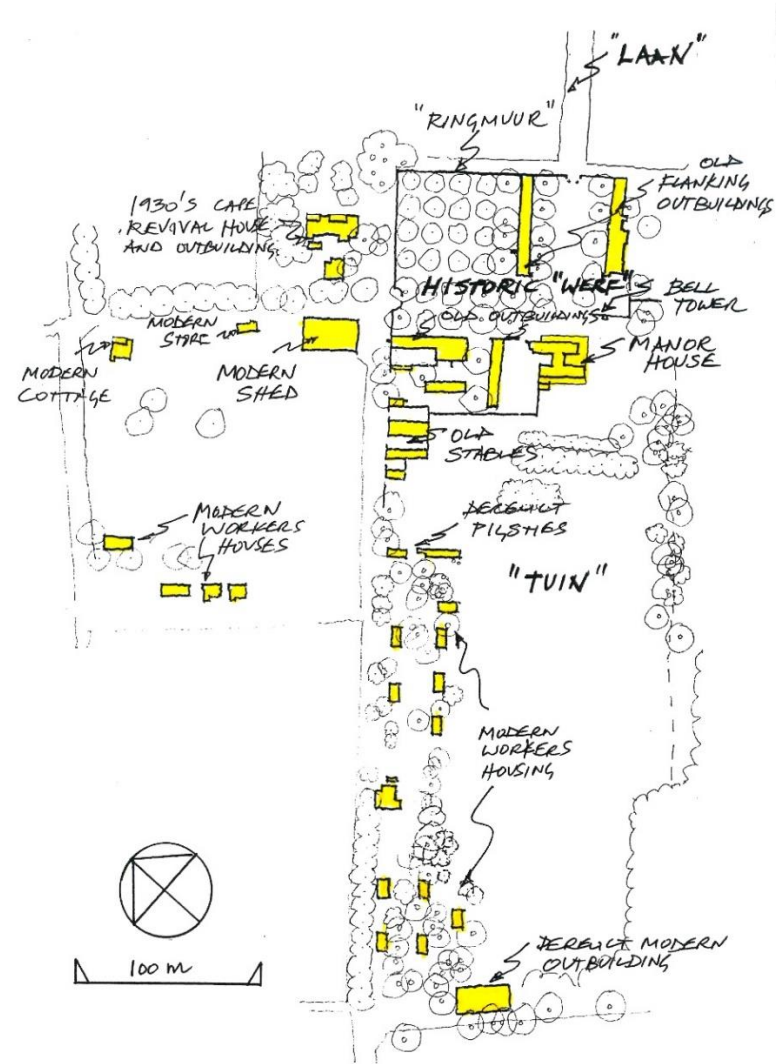


Fig. 7: Built landscape

Figure 4 Sketches (left and right) from the 2009 HIA by Andre Pentz

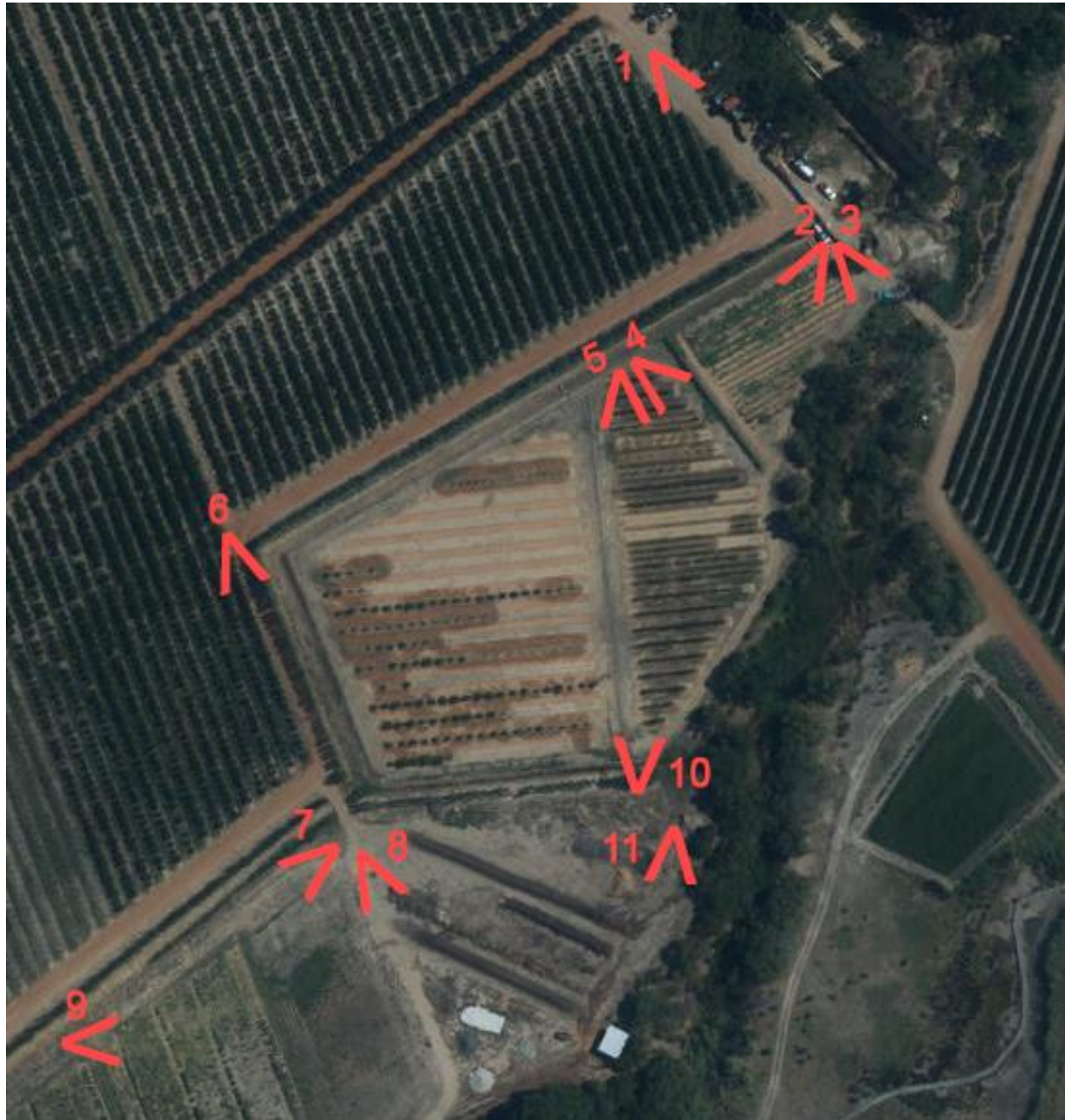


Figure 5 Aerial photograph indicating where photographs were taken from



Figure 6 View 1



Figure 7 View 2



Figure 8 View 3



Figure 9 View 4





Figure 10 View 5





Figure 11 View 6



Figure 12 View 7





Figure 13 View 8



Figure 14 View 9



Figure 15 View 10



Figure 16 View 11



Figure 17 Aerial view indicating where photographs were taken from



*Figure 18 Views from higher up the slopes of the farm.
Babylonstoren koppie seen on the right.*



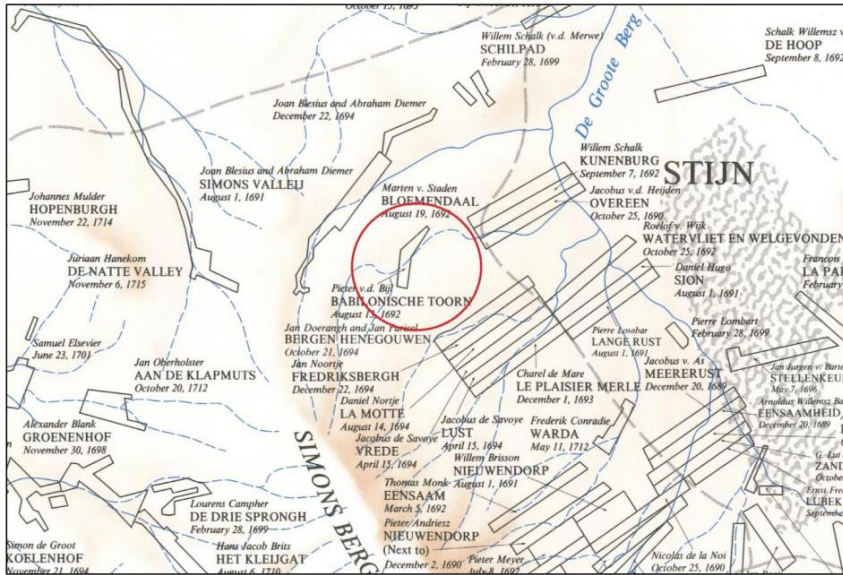
Figure 19 View from higher up the slopes of the farm.





Figure 20 Close-up view with area that will be enclosed, shown in red

7 | Historical Maps



Babylonstoren, Guelke Cape Colony 1657-1750. Babylon's Toren is an old cape farm granted in 1692.

Figure 21: 1692 Farm grant

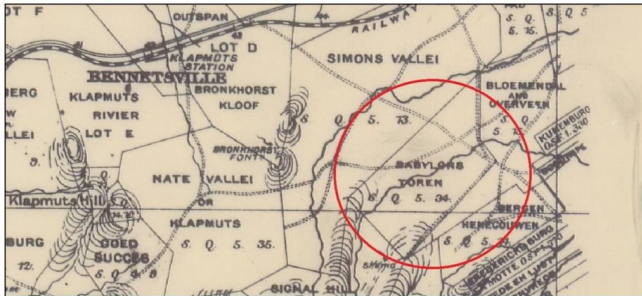
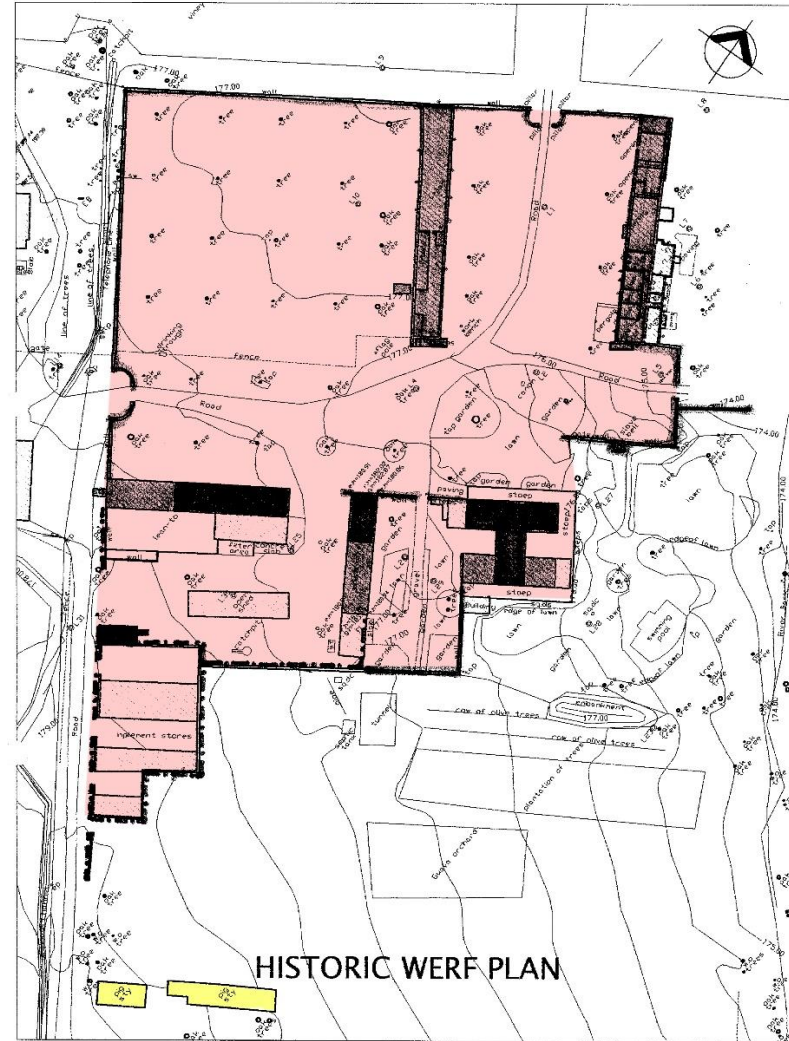


Figure 22: Southern districts 1880-1900



Babylonstoren
Plaas 1268, Paarl
Datum: 06.11.2009 Project No: 1309 Skaal 1:1000

MALHERBE RUST
ARCHITECTS ARGITEKTE
TEL +27 21 872 1823 FAX +27 21 872 5467

8 | Assessment of Cultural Significance as per previous HIA done on Babylonstoren Farm

Babylonstoren has high intrinsic, associational and contextual significance. The site falls into an area nominated as a Grade 1 World Heritage Site Status because of its cultural significance.

This status reflects the importance of the complex as an outstanding example of Cape farmstead architecture, although when viewed individually, none of the elements making up the composition are in themselves of exceptional heritage significance (Pentz, 2009:18).

8.1 Natural & Cultural Landscape

The rectangular patchwork of fields and orchards of the district, defined by farm orchards, furrows, avenues, windbreaks and boundary fences, reflects the changing pattern of ownership, agricultural practices and land-use over time (Pentz 2009: 10).

The central block of existing development forms the hub of the farm, giving physical structure and form to the landscape. The vineyard layouts and gardens in blocks are symmetrical with the werf forming the main axis. The strong geometry is modified by the natural features such as the water courses and peak, and sloping topography of the land.

Upon this underlying layer is another more detailed and complex layer of axes and spatial compositions, generated by the arrangement of features on the werf.

Pentz states that “it is the overall composition of the built landscape, rather than the individual built elements within it, that is the underlying heritage resource”.

8.2 Important Views

Important views associated with Babylonstoren, its setting and the broader landscape identified in the Heritage Impact Assessment by Pentz (2009: 16).

1. Views from the scenic route, including long distance and panoramic views over farmland to the Simonsberg, middle distance views to features such as Babylonstoren Peak and foreground views to the werf complex.
2. View from approach along Babylonstoren road, aligned along the axis of the historic werf.
3. Views looking out from Babylonstoren, including views to the surrounding mountain ranges and granite dome of Paarl Rock.

8.3 Aesthetic, Historical and Scientific significance

The architectural fabric is of considerable significance. Individual buildings are not the best examples of their type. The whole ensemble making up the werf and spatial qualities of the place, is of high significance.

Prominent Dutch and Huguenot families are associated with the farm. Included in this history is the story of Manisa, a slave born at Babylonstoren in 1824.

Stone Age tools have been found on the farm, and the buildings contribute to the knowledge of farming and building practices in the region at a specific time.

09 | Development Indicators

The following indicators are identified in the 2009 Heritage Impact Assessment done by Pentz:

1. Maintain as much as possible of the 'working farm' character, with tourism playing a secondary role.
2. Agricultural land and existing vineyards/ orchards should be retained.
3. Observe setbacks from the scenic route and screen new development with trees.
4. New buildings should be kept as low as possible.
5. New development should not encroach on the historic werf and garden, and should be set back from the historical development.
6. New development should respect established development patterns including the existing framework of fields, roads, axes and the resultant geometry.
7. Architecture form, materials and finishes should complement the historical aesthetic without attempting to copy, mimic or reproduce historic features.
8. Parking areas should be informal. Additional vehicular traffic should not impinge on the werf.

10 | Impact Assessment

Description of Proposal

The client's brief is for a new store (for garden tools and to store equipment and farm vehicles under shade), new pond as landscape feature and to enclose an existing section of agricultural land with a garden ring wall.

Impact on Cultural Significance

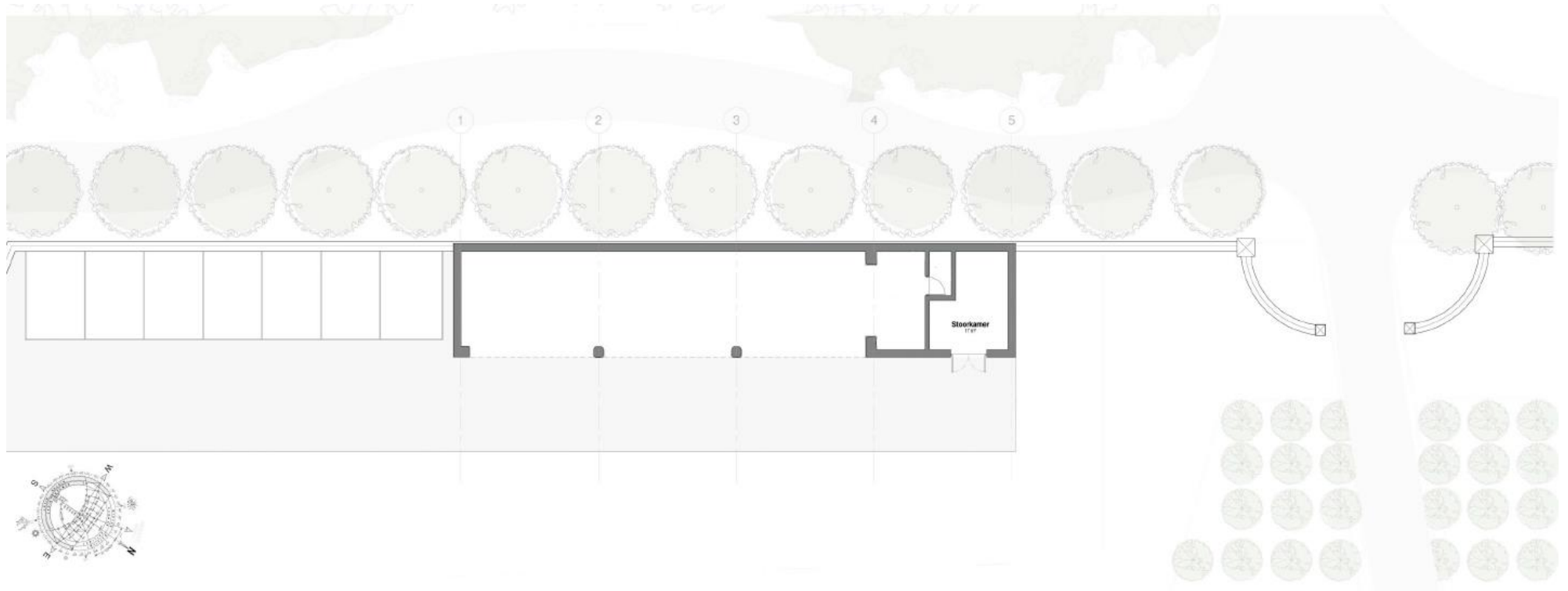
The client's brief is for a new store (for garden tools and to store equipment and farm vehicles under shade) and to enclose an existing section of agricultural land with a garden ring wall.

- The proposed structures places emphasis on the layout of an existing agricultural piece of land, defined by existing farm roads and tree avenues.
- The proposed structures are for bona fide farming activities and enhances the 'working character' of the farm.
- The 'shape' emphasised in the landscape, corresponds to the man-made watercourse rather than the spatial arrangement of the werf and is therefore a result of a natural progress of building development.
- The spatial relationship of the proposed development to the remaining structures as a whole (enforced by strong underlying geometry) appears arbitrary.
- The new development is a single storey structure and does not encroach on the historic development.
- The form, materials and finishes follow the same aesthetic used for new structures elsewhere on the farm and enforces the idea of a coherent whole.

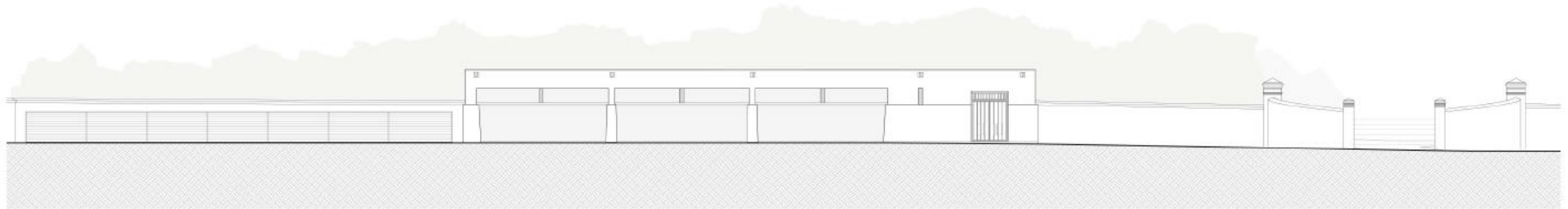
The proposed building and alterations will have a low impact on the significance of the farm complex.

11 | Layout Drawings

11.1 Sketch design for Information only



Tuinstore vloerplan
skaal 1:100



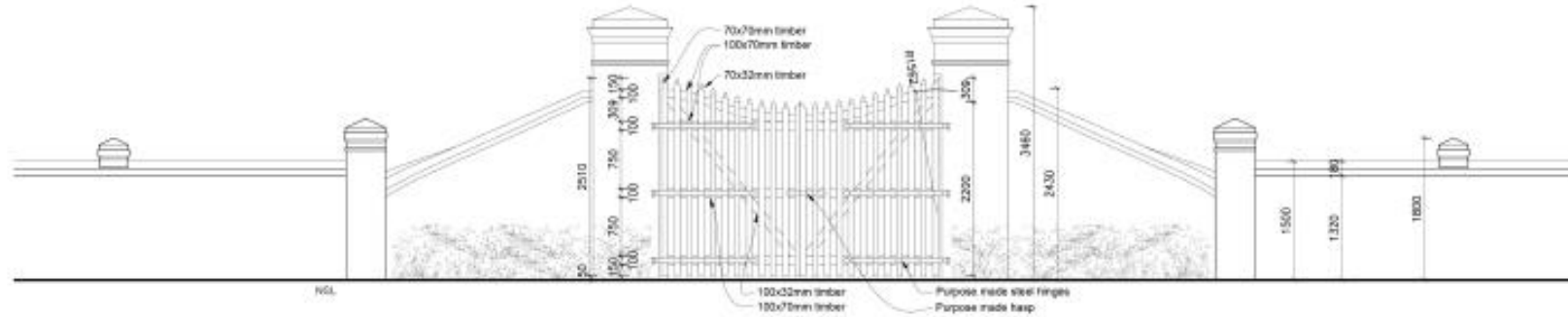
Tuinstore aansig
skaal 1:100



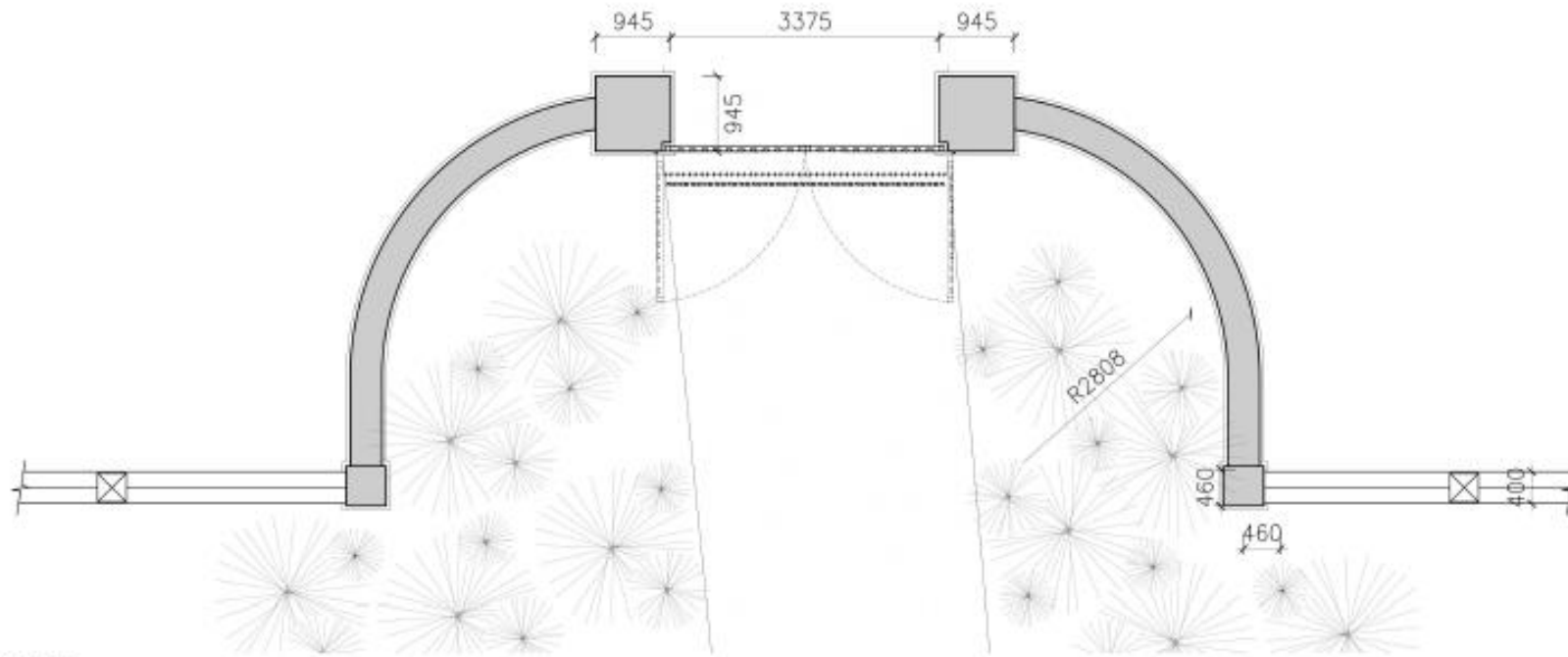
Figure 23 View from east elevation, from inside the new garden ring wall.



Figure 24 View of south-west elevation, from outside new garden wall.

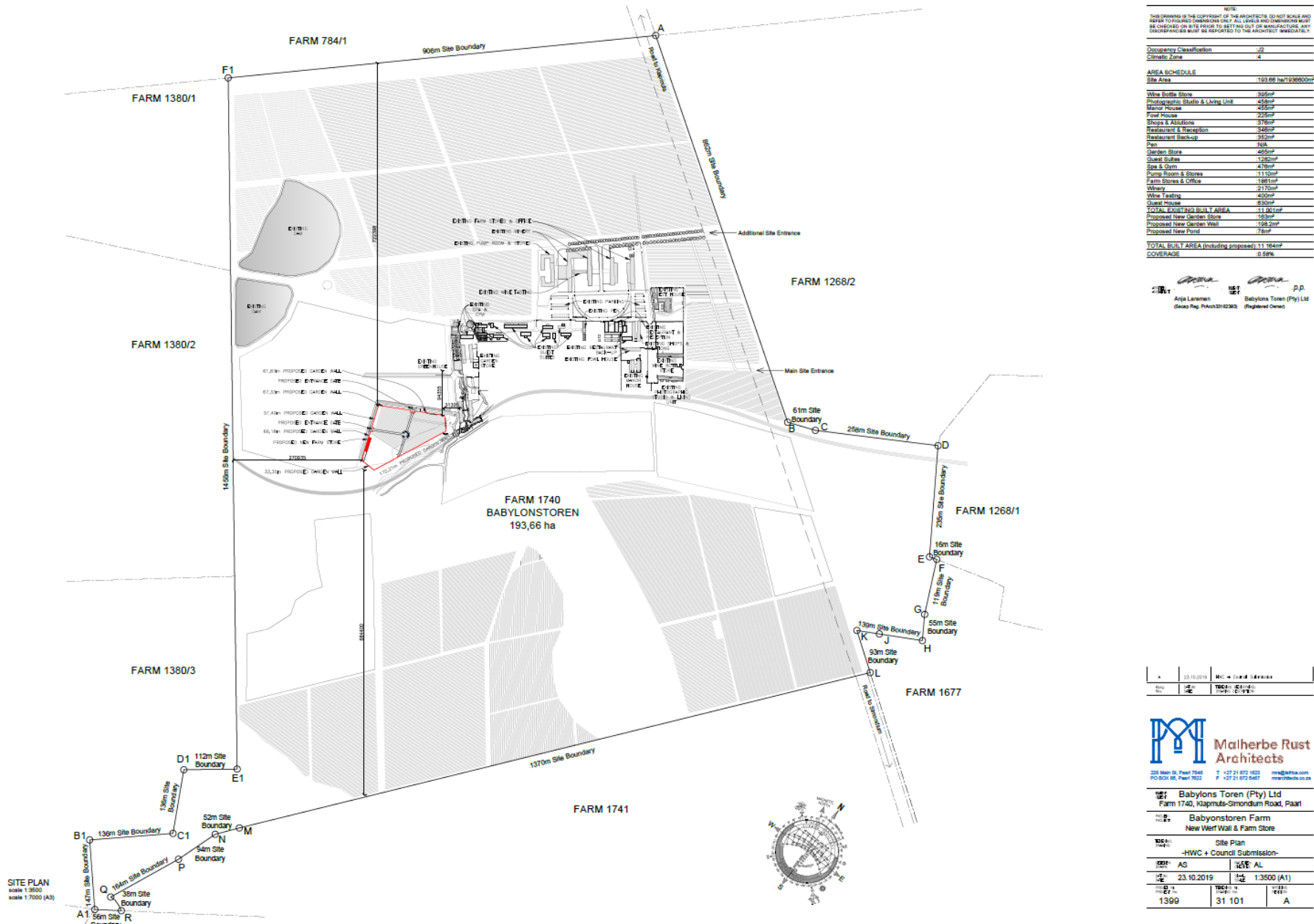


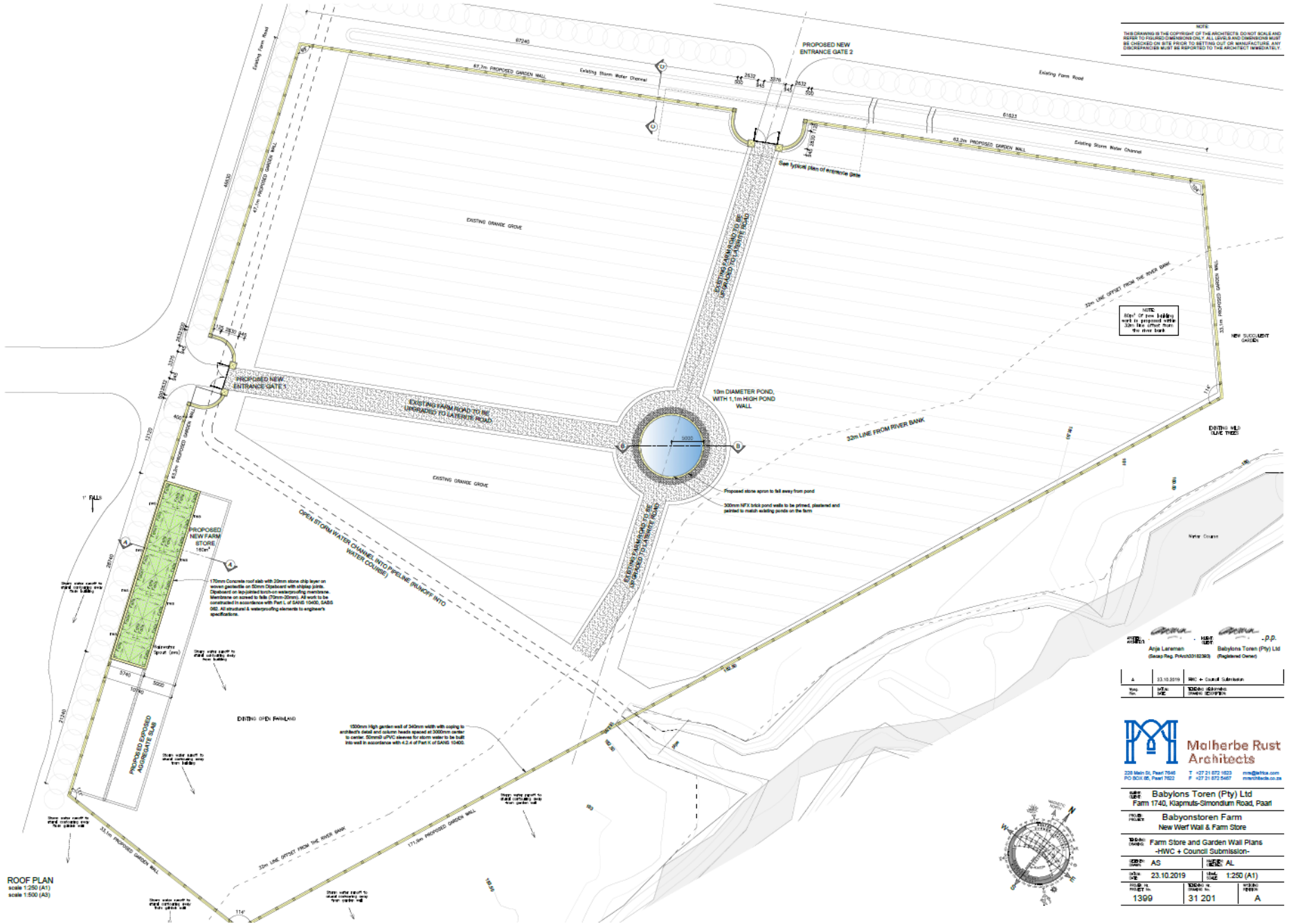
Hek Aansig
 scale 1:50 (A1)
 scale 1:100 (A3)



Hekplan
 scale 1:50 (A1)
 scale 1:100 (A3)

11.2 Drawings prepared for Approval





NOTE
THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECTS. DO NOT SCALE AND REFER TO DIMENSIONS SHOWN ONLY. ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED ON SITE PRIOR TO SETTING OUT OR MANUFACTURE. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

NOTE
Level of floor slabbing
will be finished 100
mm below ground level
for any base

Architects: Anja Laraman, Babylons Toren (Pty) Ltd
 (Group Reg. Ptnr/02182963)
 -p.p.
 H&B: H&B OFF

A	31.10.2019	NIC - Council Submission
Rev	DATE	BY
1	31.10.2019	AN

M Malherbe Rust Architects
 233 Main St, Paarl 7545 T +27 21 872 1833 m@malra.co.za
 PO BOX 65, Paarl 7522 F +27 21 872 5487 malra@malra.co.za

Babylons Toren (Pty) Ltd
 Farm 1740, Klipmuts-Simondium Road, Paarl
Babylonstoren Farm
 New Werf Wall & Farm Store

Project Name	Farm Store and Garden Wall Plans -HWC + Council Submission-
Client	AS
Date	23.10.2019
Scale	1:250 (A1)
Drawn By	AL
Checked By	AL
Project No.	1399
Year	31 201
Phase	A

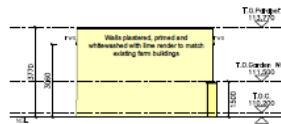


ROOF PLAN
 scale 1:250 (A1)
 scale 1:500 (A2)

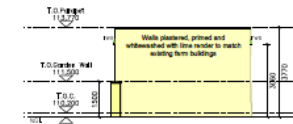
Babylonstoren Garden Wall and Store | NID Application



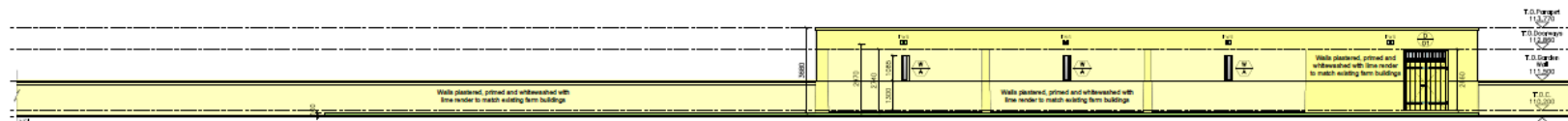
WEST ELEVATION (FARM STORE)
scale 1:100 (A1)
scale 1:200 (A3)



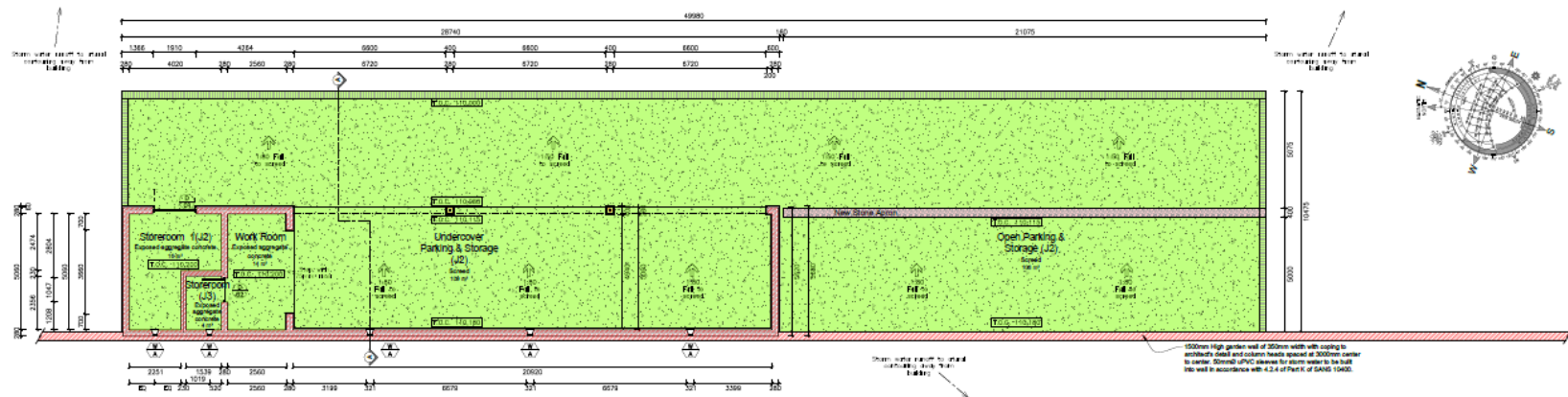
NORTH ELEVATION (FARM STORE)
scale 1:100 (A1)
scale 1:200 (A3)



SOUTH ELEVATION (FARM STORE)
scale 1:100 (A1)
scale 1:200 (A3)



EAST ELEVATION (FARM STORE)
scale 1:100 (A1)
scale 1:200 (A3)



PLAN (FARM STORE)
scale 1:100 (A1)
scale 1:200 (A3)

NOTE
THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECTS. DO NOT SCALE AND REFER TO DIMENSIONS UNLESS CALLED OUT. ALL LEVELS AND DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO SETTING OUT OR MANUFACTURING. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

ROOM DATA		
AREA	Level	Floor Finish
STOREROOM U2	112.500	Finished & Grouted Concrete Slab
STOREROOM U3	112.500	Finished & Grouted Concrete Slab
WORK ROOM	112.500	Finished & Grouted Concrete Slab
UNDERCOVER PARKING & STORAGE U2	112.500	Finished & Grouted Concrete Slab
UNDERCOVER PARKING & STORAGE U3	112.500	Finished & Grouted Concrete Slab
OPEN PARKING & STORAGE	112.500	Finished & Grouted Concrete Slab
DOWN PIPE	112.500	Finished & Grouted Concrete Slab
DOWN PIPE	112.500	Finished & Grouted Concrete Slab
DOWN PIPE	112.500	Finished & Grouted Concrete Slab

COUNCIL & TENDER NOTES:
EDUCATIONS: - to comply with SANS 10400 Part G:
All eaves must be less than 3.0m deep, otherwise an engineer must be consulted.

FOUNDATIONS: - to comply with SANS 10400 Part H:
Reinforced concrete bridge to be minimum 700x500mm 20MPa for load bearing walls & 400x300mm 20MPa for internal non load bearing walls & include 1% & 50mm for concrete, or as per engineer's detail and specifications.

FLOORS: - to comply with SANS 10400 Part J:
Served to 100mm to 20mm or equivalent 100mm thick 20MPa concrete ground slab surface with mesh ref 103, on SABS 903 Type C Green damp proof membrane, on 100mm sand on well compacted 80mm maximum 100mm layer to 20% moist ash.

WALLS: - to comply with SANS 10400 Part K:
External 300mm M25 14MPa clay brick cavity wall with min. 200mm M25 10MPa clay brick cavity wall on top, with minimum cavity width of 20mm and maximum 110mm. Galvalume steel 'butterfly' see min. of 2.5 tpa per m² min.

FOUNDATION WALLING: Minimum 300mm cavity brick concrete tied up to sloped DPC with weep holes. DPC & DPM to be of high quality. SABS approved, laid to manufacturer's specifications. No horizontal damp-proof course shall be less than 100mm above the level of the adjacent finished ground.

ROOFS: - to comply with SANS 10400 Part L:
Roof: 170mm Reinforced concrete roof slab with 20mm slope drip aggregate layer or cover gullies on 20mm Cleared with stable joints. Cleared on top-jointed location waterproofing membrane. Membrane on top of 10mm to 20mm to fall from outlet. All work to be constructed in accordance with Part L of SANS 10400, SABS 903. All structural & waterproofing relevant to engineer's specification.

GLAZING: - to comply with SANS 10400 Part N, SA 204 & B3:
Safety glass as per Tables 2.1 & 4 of SANS 10400 Part N.

LIGHTING AND VENTILATION: - to comply with SANS 10400 Part O:
Natural lighting: 10% of floor area of room.
Natural ventilation: 2% of floor area of room.

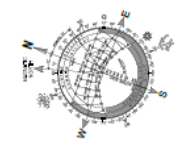
STORM WATER DISPOSAL: - to comply with SANS 10400 Part R:
All storm water to connect to existing storm water main of farm.

FIRE PROTECTION: - to comply with SANS 10400 Part T:
Fire layout as per separate fire plan if required by occupancy class.

REFUSE DISPOSAL: - to comply with SANS 10400 Part U:
Adequate storage area to be provided.

ENERGY USAGE IN BUILDING: - to comply with SANS 10400 Parts XA & 204:
Building Occupancy: J5 - not required to comply with Energy Usage in Buildings.

BUILDING SEALING:
Permissible air leakage (AL):
Maximum permissible AL for operable glazing shall be 2.0 L/m² with a pressure difference of 25 Pa.
Maximum permissible AL for non-operable glazing shall be 0.5 L/m² with a pressure difference of 25 Pa.



WITNESSED BY:
Anja Lareman - J.P.P.
Babylons Toren (Pty) Ltd
(Group Reg. F44263102282) (Registered Owner)

A	23.10.2019	HWC + Council Submission
Rev.	01	REVISED PLAN

Maiherbe Rust Architects
228 Main St, Pret 1746 T: +27 21 872 1823 maiherbe@mairust.co.za
PO BOX 55, Pret 1702 F: +27 21 872 5487 maiherbe@mairust.co.za

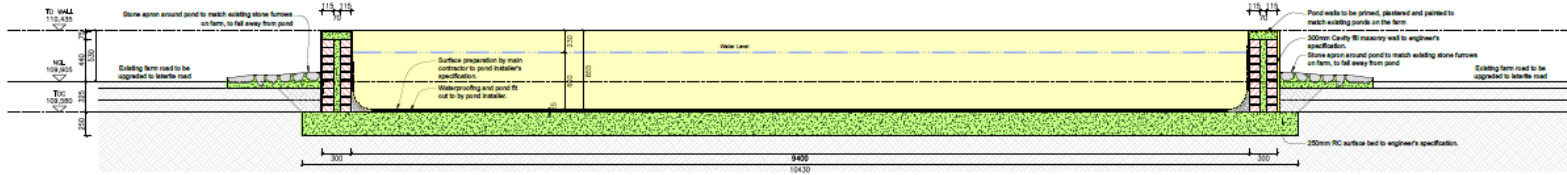
NET Babylons Toren (Pty) Ltd
Farm 1740, Klompus-Simondium Road, Paarl
Babylonstoren Farm
New Wert Wall & Farm Store

Farm Store Plan & Elevations
-HWC + Council Submission-

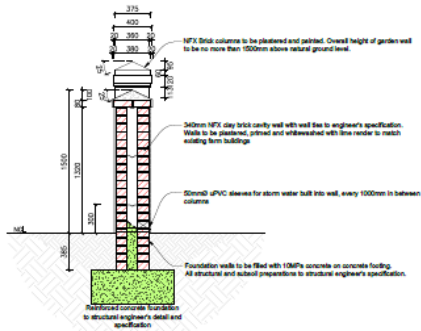
DOC: AS	DATE: AL
23.10.2019	1:50 (A1)
1399	31.202
	A

NOTE
THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECTS. DO NOT SCALE AND REFER TO DIMENSIONS ONLY. ALL LEVELS AND DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO SETTING OUT OR MANUFACTURE. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

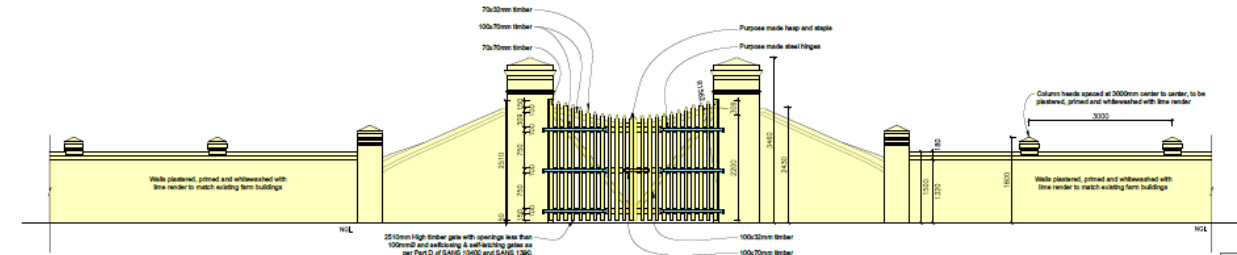
ARCHITECT: **Malherbe Rust Architects**
 BABYLONSTOREN FARM
 ARCHITECT: **Malherbe Rust Architects**
 BABYLONSTOREN FARM
 ARCHITECT: **Malherbe Rust Architects**
 BABYLONSTOREN FARM



SECTION B-B (POND)
 scale 1:25 (A1)
 scale 1:50 (A3)

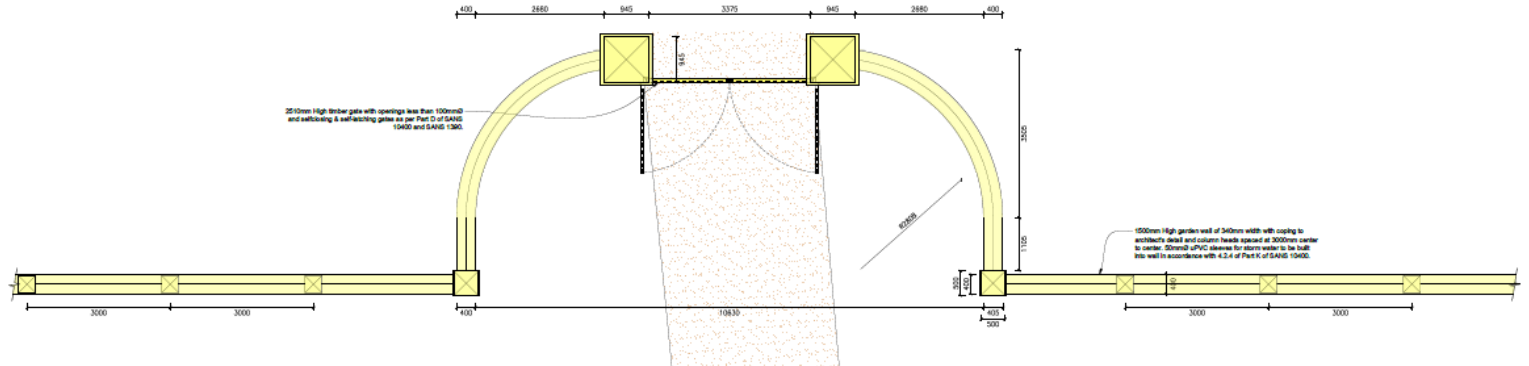


SECTION C-C: TYPICAL SECTION OF GARDEN WALL
 scale 1:25 (A1)
 scale 1:50 (A3)



TYPICAL ELEVATION OF ENTRANCE GATE & GARDEN WALL
 scale 1:50 (A1)
 scale 1:100 (A3)

AutoCAD SHX Text
 NGL



TYPICAL PLAN OF ENTRANCE GATE
 scale 1:50 (A1)
 scale 1:100 (A3)

A	23.10.2019	HWC + Council Submission
REV	DATE	DESCRIPTION

Malherbe Rust Architects
 228 Main St, Paarl 7645
 P.O. Box 101, Paarl 7622
 T +27 21 072 1622
 F +27 21 072 5407
 info@malherberust.co.za
 www.malherberust.co.za

Babylons Toren (Pty) Ltd
 Farm 1740, Kaapmuts-Simondium Road, Paarl
Babylonstoren Farm
 New Werf Wall & Farm Store

Scale:	Garden Wall & Pond Details & Sections
Client:	HWC + Council Submission
Drawn by:	AS
Checked by:	AL
Date:	23.10.2019
Scale:	1:100 (A1)
File No:	1390
Block No:	31 401
Sheet No:	A

NOTE
 THE DRAWING IS THE PROPERTY OF THE ARCHITECT'S FIRM. SCALE AND
 REFERENCE TO DRAWING DIMENSIONS ONLY. ALL LEVELS AND DIMENSIONS MUST
 BE CHECKED ON SITE PRIOR TO STARTING OF CONSTRUCTION. ANY
 DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

ELECTRICAL LEGEND

LIGHTING (J2 or as specified)

- Lighting Circuit
- Socket Tube Fluorescent
- Industrial Surface Light Fitting
- Wall Surface Light Fitting

SWITCHES

- Single light switch - 1.1m high

POWER

- Lighting Plug Point
- Socket Plug Point
- 3 Phase Plug Point
- Waterproof Plug Point

FIRE PROTECTION LEGEND

SYMBOLS

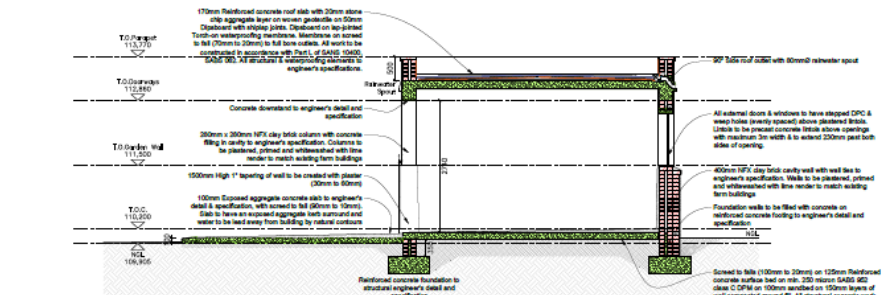
- Fire Extinguisher - 4kg DCP Type
- Escape Route

SIGNAGE

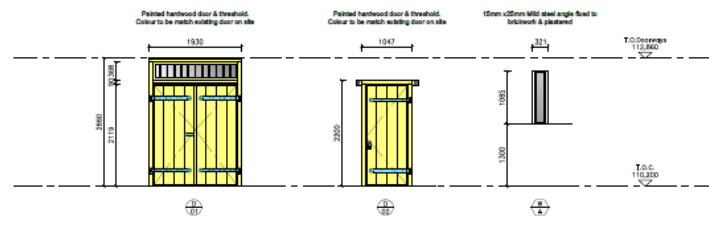
- Fire escape sign
- Fire extinguisher sign
- Location of fire fighting equipment

MOIHA
 Atja Lerenah
 (Coop Reg. PA40031838)

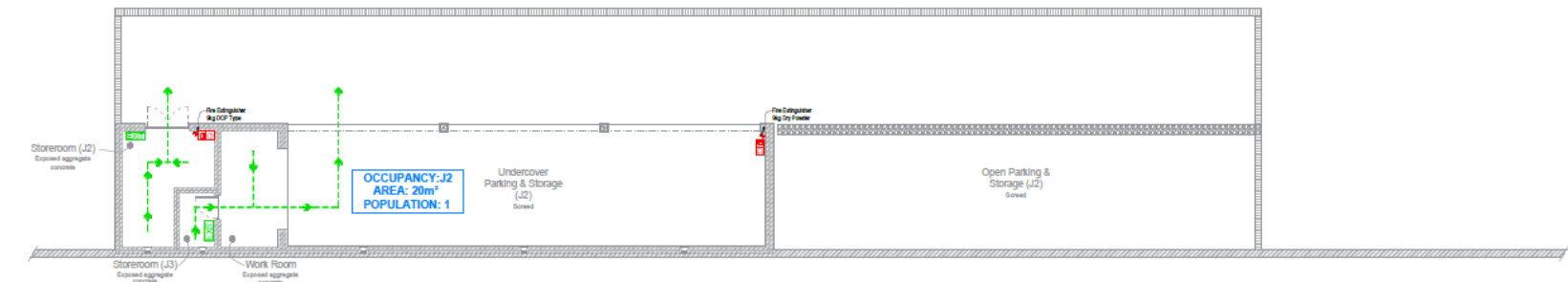
MOIHA
 Babytons Toren (Pty) Ltd
 (Registered Owner)



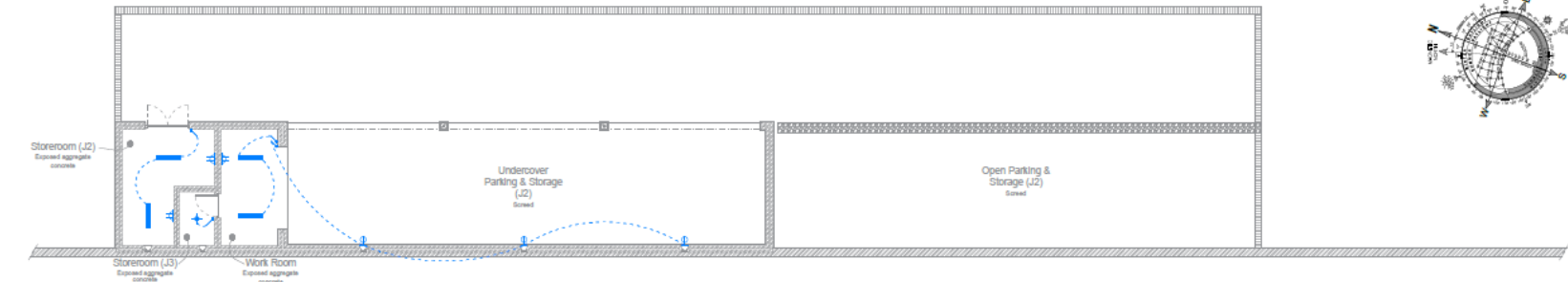
SECTION A-A (FARM STORE)
 scale 1:50 (A1)
 scale 1:100 (A3)



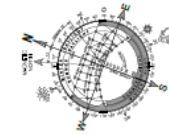
DOOR & WINDOW SCHEDULE
 scale 1:50 (A1)
 scale 1:100 (A3)



FIRE PROTECTION PLAN (FARM STORE)
 scale 1:100 (A1)
 scale 1:200 (A3)



ELECTRICAL LAYOUT (FARM STORE)
 scale 1:100 (A1)
 scale 1:200 (A3)



A	23.10.2019	MC + Council Submission
Drawn by	JAN	MOIHA Architects
Checked by	MC	MOIHA Architects

MOIHA
 Malherbe Rust Architects

200 Main St, Paarl 7646 | +27 21 872 4833 | mra@moiha.com
 PO Box 88, Paarl 7602 | +27 21 872 5467 | www.moiha.co.za

MOIHA
 Babytons Toren (Pty) Ltd
 Farm 1740, Klappmuts-Simondium Road, Paarl

MOIHA
 Babylonstoren Farm
 New Werf Wall & Farm Store

MOIHA
 Farm Store: XA + Fire Plans & Section
 -HWC + Council Submission-

Scale: AS	Scale: AL
Date: 23.10.2019	Sheet: 1:50 (A1)
Project No: 1399	Sheet No: 31 802
Client: MOIHA	Client: MOIHA
Client: MOIHA	Client: MOIHA

12| Recommendations

Recommended that the existing Heritage Impact Assessment on the farm be consulted in order to measure the application against the development indicators identified, confirm the impact on the significance of the cultural resource and no further studies be required.

13| References

PENTZ, A.

2009 Heritage Impact Assessment.

HARRIS, S.

2007 A Short History of Babylonstoren.

DU TOIT, D.

2008 Motivation for the Modern Werf of Babylonstoren, Drakenstein