

PROPOSED STORE

BABYLONSTOREN, FARM 1740, PAARL

Section 34 Application; Building Older than 60 Years

Prepared by Anja Lareman for Malherbe Rust Architects.

July 2019

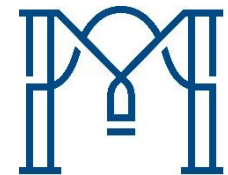


Table of Contents

1 PREAMBLE	1	8 CONSULTATION PROCESS	15
		8.1 Interested & Affected Parties	15
2 EXECUTIVE SUMMARY	2	9 ASSESSMENT OF CULTURAL SIGNIFICANCE	16
2.1 Site Name	2	10 BRIEF AND DESIGN INDICATORS	17
2.2 Location	2	11 IMPACT ASSESSMENT	17
2.3 Locality Plan	2	Description of Additions & Alterations	17
2.4 Description of Proposed Development	2	Impact on Cultural Significance	17
2.5 Heritage Resources Identified	2	12 LAYOUT DRAWINGS	18
2.6 Anticipated Impacts on Heritage Resources	3	13 RECOMMENDATIONS	27
2.7 Recommendations	3		
2.8 Authors and Date	3		
2.9 Client	3		
3 LEGAL AND POLICY FRAMEWORK	4		
3.1 National Heritage Resources Act	4		
3.2 Local Bylaws & Zoning	4		
4 LOCALITY PLAN	5		
5 HERITAGE RESOURCE ANALYSIS	6		
5.1 Historical Werf	6		
5.2 Existing structures	6		
6 HISTORICAL PHOTOGRAPHS AND MAPS	8		
7.1 PHOTO SHEET	10		

1 | Preamble

This document contains information from, and should be read in conjunction with documents prepared by **Andre Pentz** from Urban Design Services cc:

- The **Heritage Impact Assessment**, January 2009
- **Heritage Statement (Revised)**, July 2014

2 | Executive Summary

2.1 | Site Name

Babylonstoren, Farm 1740, Klapmuts-Simondium Rd, Simondium

2.2 | Location

33°49'27.14"S 18°55'33.90"E

2.3 | Locality Plan

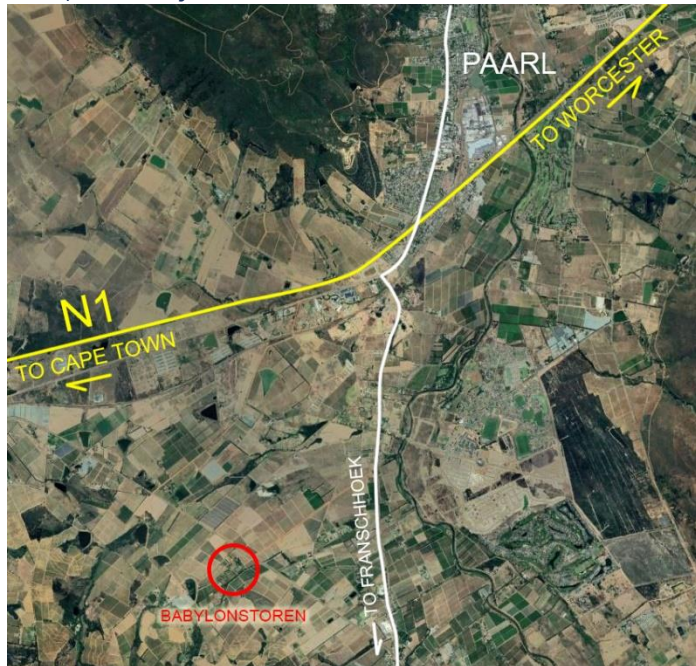


Figure 1 See Section 4 for detailed Locality Plan

2.4 | Description of Proposed Development

The following additions and alterations are proposed:

1. Demolish part of an existing pen to allow the footpath to continue on the axis from the historic werf to the guest cottages.
2. Demolish an existing pen, currently used as a bicycle store, and build a new luggage store on the pen's footprint.

2.5 | Heritage Resources Identified

Former Grading: none

SAHRA Grading: none

Drakenstein Heritage Survey Grading: Provincial Heritage site (Grade II) - No formal gazetted grading.

Heritage Impact Assessments done by Andre Pentz in 2009 identifies the historic werf "grade 1 – exceptional significance, and the buildings vary between grade II and grade III". Significant axial relationships between buildings and landscape. Significant in terms of historical, architectural and contextual value, and has landmark quality.

Previous studies consulted:

- **HIA** by Andre Pentz (Jan 2009)
- **Heritage Statement (Rev)** by Andre Pentz (Dec 2014)
- **Cultural Historic Research** by Steward Harris ('Babylonstoren – The story of a Drakenstein Farm' April 2007)
- **Archaeological Impact Assessment: Stable Buildings** by Katie Smuts & Harriet Clift (May 2010)
- **Historical Background, Significance and Structural Analysis** by Malherbe Rist Architects (Sept 2010)

2.6 | Anticipated Impacts on Heritage Resources

The proposed additions and alterations will have a low impact on the heritage resources.

2.7 | Recommendations

1. Proposed development should enhance and not detract from the significance of the farm complex as a whole by adhering to the proposed indicators.
2. The structures proposed to be altered are significant because of their spatial relationship to the farm complex but have little or no value as structures on their own.
3. The new luggage store should be in keeping with the placement/ orientation, size and materiality of the existing structures (to maintain a 'working farm' character).
4. The introduction of a pedestrian gate on the existing footpath (and repositioning of the thoroughfare between the two structures) reinforces the axis from the historic werf. This has a positive impact on the significance of the historic werf.

2.8 | Authors and Date

This document was prepared in August 2019 by Anja Lareman for Malherbe Rust Architects.

2.9 | Client

Malherbe Rust Architects have been appointed by the owners to assist with the application in order to obtain a permit for the proposed work.

3 | Legal and Policy Framework

3.1 | National Heritage Resources Act

This application for a permit is made in terms of Section 34 of The Act (NHRA 25 of 1999).

Section 30(11)(b) states the requirement to notify conservation bodies who have registered their interests. Accordingly, prior to HWC/BELCom submission the proposal will be circulated to the relevant Interested and Affected Parties, for a 30-calendar day comment period.

The registered IAP's for this area are:

ACTEAM

Chairperson: Clive Theunissen & Zenobia Ayford

Contact Details:

021 807 4718

Drakenstein Municipality Heritage Resources

Drakenstein Heritage Foundation:

Chairperson: Len Raymond & Jeanette Fisher

Contact Details:

021 872 7143

Paarl300

Johan Malherbe & Anne-Marie Fick

Contact Details:

073 460 6792

Heritage Western Cape

Western Cape Government

021 483 9598

3.2 | Local Bylaws & Zoning

The farm is zoned Agriculture I & Agriculture II

4 | Locality Plan

Babylonstoren is located on the Klapmuts-Simondium road, Simondium

33°49'27.14"S 18°55'33.90"E

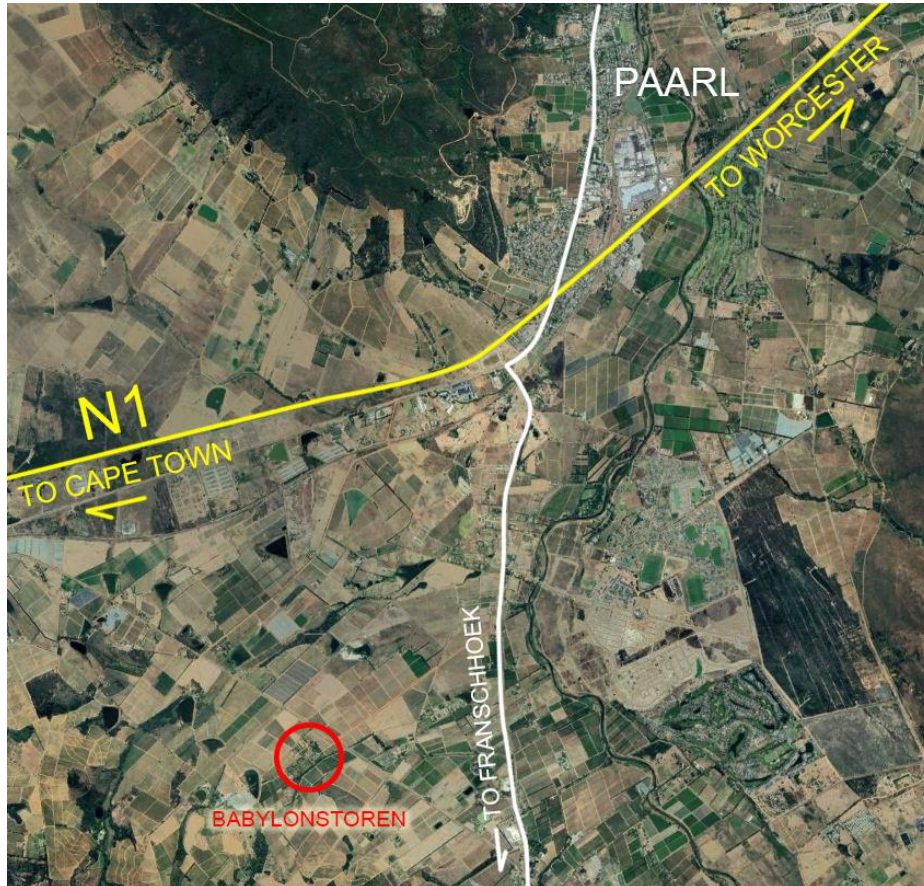


Figure 2 Map showing location of Babylonstoren in Drakenstein area.



Figure 3 Map showing Babylonstoren on Main Road 205, between Klapmuts and Simondium

5 | Heritage Resource Analysis

Previous studies (listed in the executive summary) covers the analysis of historic resources on the farm extensively.

The focus will therefore be on the existing structures older than 60 years that will be directly impacted. The proposed impacts will be discussed elsewhere.

5.1 | Historical Werf

Babylonstoren has high intrinsic, associational and contextual significance. The site falls into an area nominated as a Grade 1 World Heritage Site Status because of its cultural significance.

This status reflects the importance of the complex as an outstanding example of Cape farmstead architecture, although when viewed individually, none of the elements making up the composition are in themselves of exceptional heritage significance (Pentz, 2009:18).

5.2 | Existing structures

The existing pens were used as old pigsties on the farm and do not form part of the cluster of buildings 'identified as structures that were linked with the farming methods' on the first werf.

The pigsties, although older than 60 years, do not form part of the historical werf.

The HIA mentions the pigsties (Pentz, 2009: 16)

'later accretions and alterations to the historic werf, including the building of outbuildings, extended into the 20th century. These included buildings for the stabling and housing of domestic animals (horses, cows and pigs) and associated activities.'

The existing pigsties are identified as 20th century structures with 'little or no significance' although located in an identified 'zone of significance' on the farm.

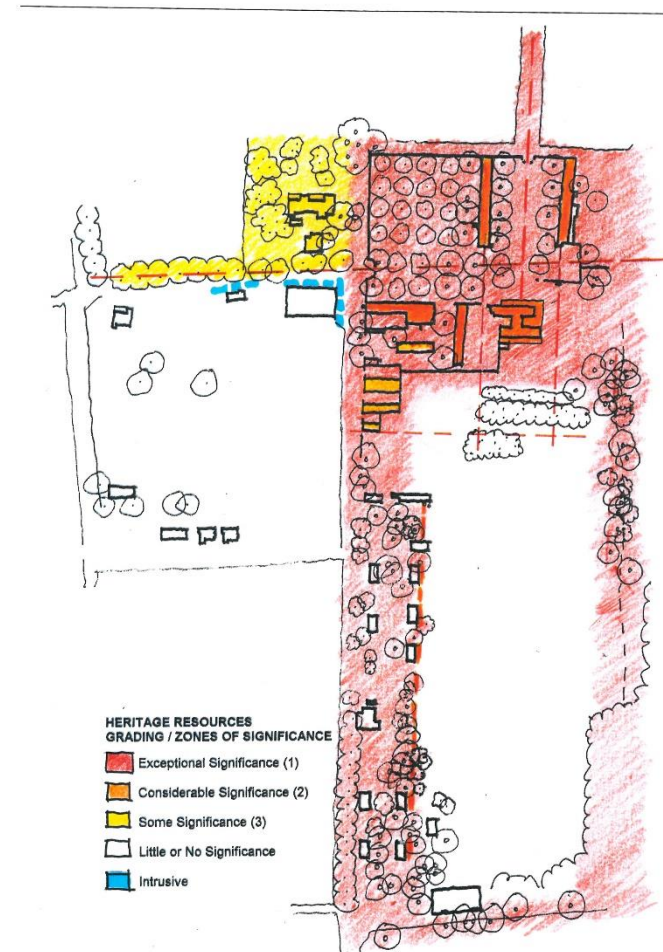


Fig 11 Heritage Resources: Grading / Zones of Significance

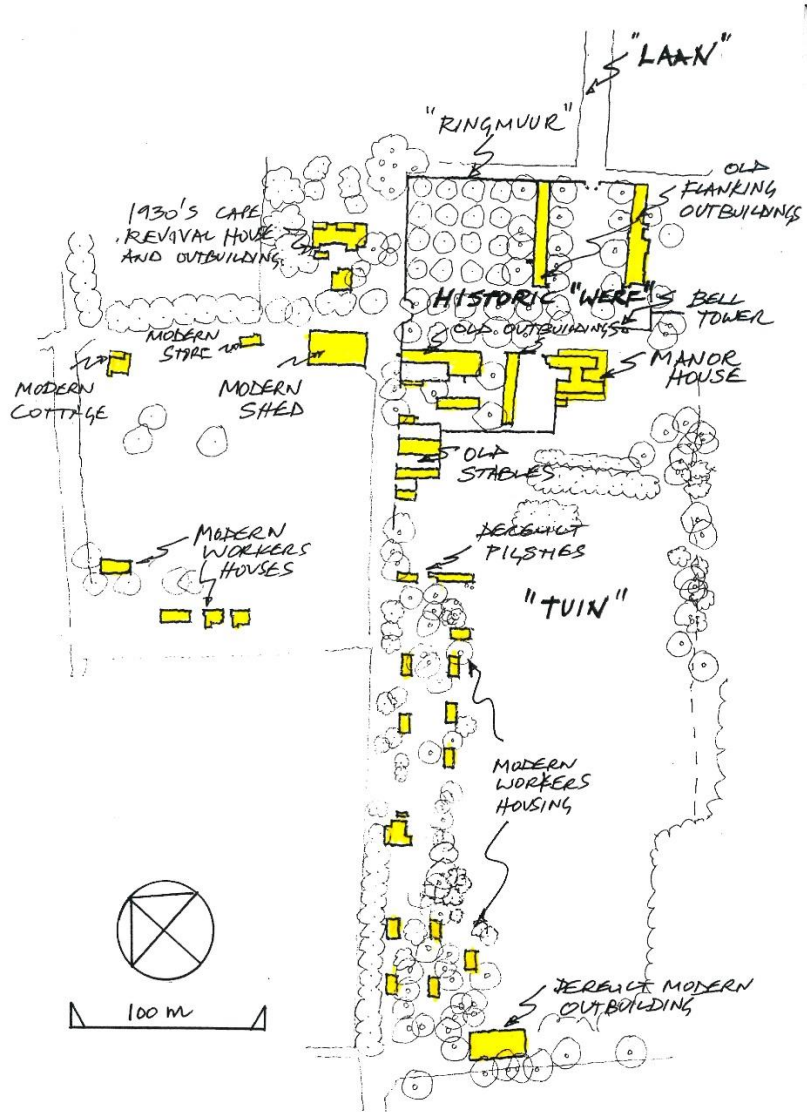
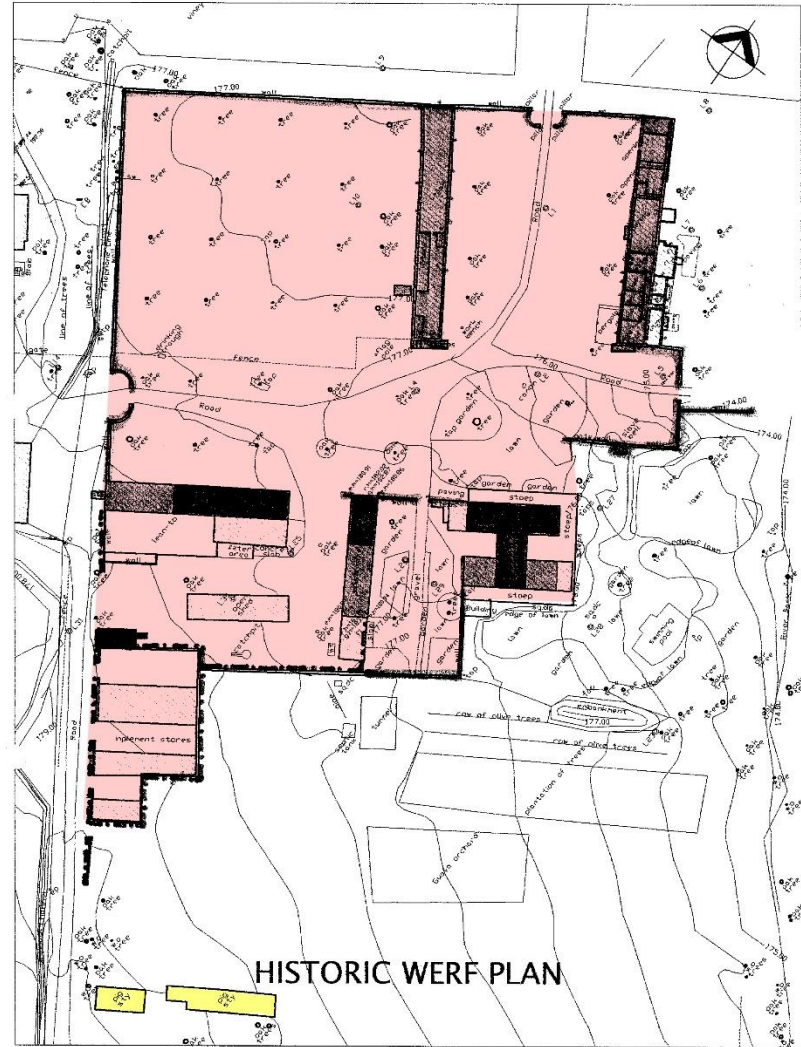


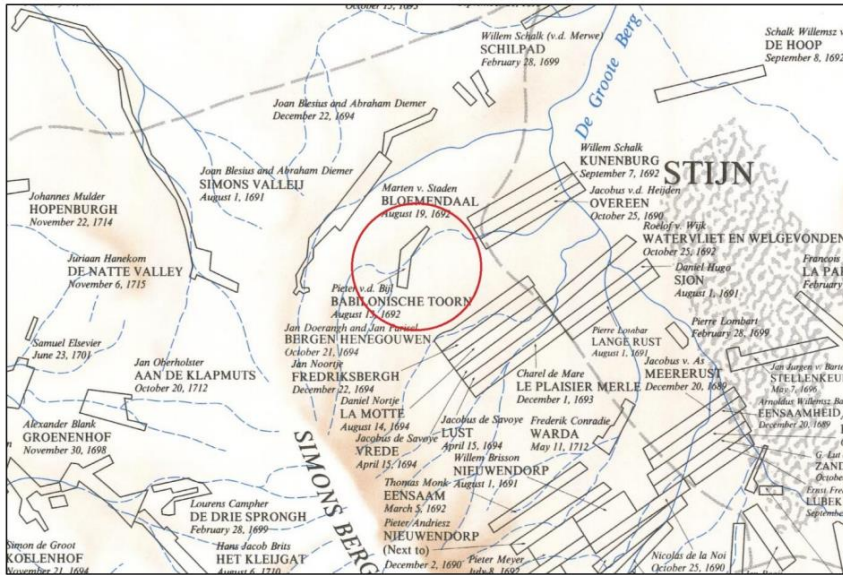
Fig. 7: Built landscape



Babylonstoren
 Pleas 1268 - Paarl
 Datum: 06.11.2000 Projekt No. 1389 Skaal 1:1000

MALHERBE RUST
 ARCHITECTS ARCHITEKTE
 TEL +27 21-872 1622 FAX +27 21-872 8467

6 | Historical Photographs and Maps



Babylonstoren, Guelke Cape Colony 1657-1750. Babylons Toren is an old cape farm granted in 1692.

Figure 4: 1692 Farm grant

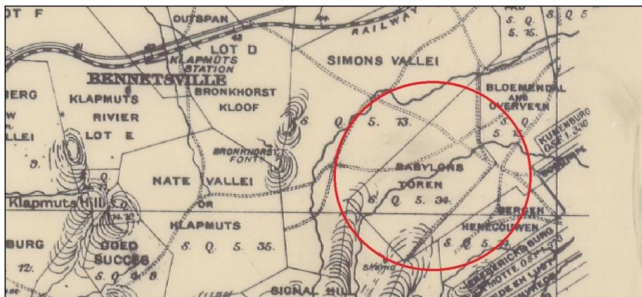


Figure 5: Southern districts 1880-1900

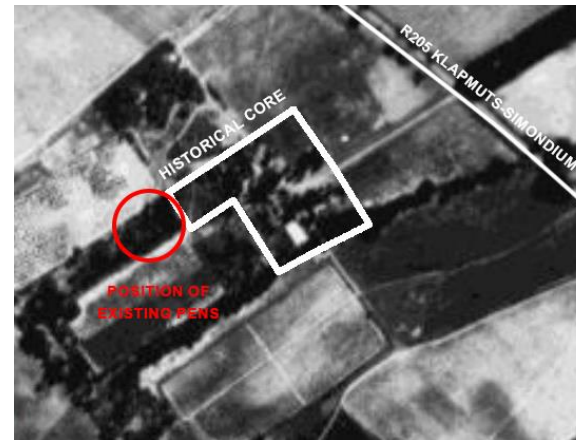


Figure 6: 1938 Aerial Photograph above and 1945 Aerial Photograph below. The pigsties are not yet visible on the photographs.

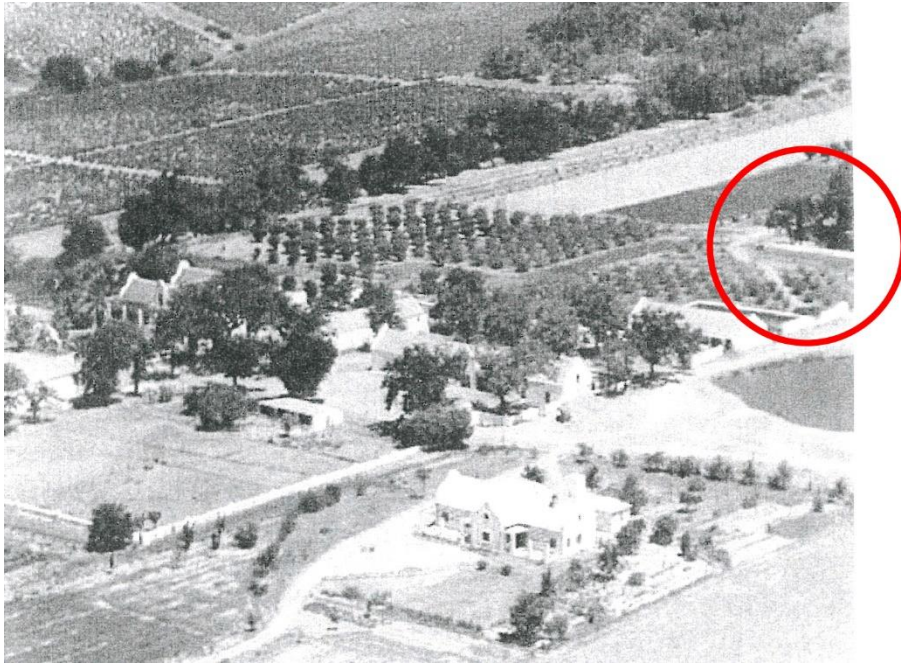


Figure 7: 1953 Aerial Photograph. The pigsties are visible. Source: Stewart Harris



Old pig shed west of ruin

Figure 8: 2009 Photograph. Source: HIA, A. Pentz, 2009

7.1 | Photo Sheet



Figure 9: Footpath approaching the existing buildings from the north west. The guest cottages are located beyond the existing buildings.



Figure 10: Spekbos tuin in front of the existing buildings, seen from the north west.



Figure 11: Close-up image of the structures, with the 'pigsty' on the west visible in the background.



Figure 12: Photograph of the 'pigsty' on the west, viewed from the other side (south east). The Spekbos tuin and Kraal buildings are visible in the background.



Figure 13: Same footpath seen from the south east side. The spekbos tuin and Kraal buildings are visible in the background.



Figure 14: Image taken more to the north east. Oak trees visible in the foreground.



Figure 15: East elevation of 'pigsty' proposed to be demolished.



Figure 16: West elevation of 'pigsty' to be demolished in the foreground, and 'pigsty' to be altered seen beyond.



Figure 17: Inside one of the pens on the west side.



Figure 18: Inside one of the pens on the east side.

8 | Consultation Process

8.1 | Interested & Affected Parties

The comments received from the relevant interested and affected parties will be included in this section.

ACTEAM

Status: In 30-calendar day comment period, awaiting response.

Comment:

Drakenstein Heritage Foundation:

Status: In 30-calendar day comment period, awaiting response.

Comment:

Paarl300

Status: In 30-calendar day comment period, awaiting response.

Comment:

Heritage Western Cape

Status: In 30-calendar day comment period, awaiting response.

Comment:

9 | Assessment of Cultural Significance

The pigsties are located in an identified 'zone of significance' on the farm. **The relationship of the built fabric to the surrounding buildings, and spatial relationship of the whole, is significant.**

The buildings, described since 2009 as 'old pigsties', are no longer used as pigsties or pens for farm animals.

The brickwork of the structures are modern clay-baked bricks used in the 1950/60s. Although the structures are older than 60 years, **the buildings themselves have little or no significance.**

10 | Brief and Design Indicators

The client's brief is to change the existing building into a storeroom used for hotel guests' luggage and the bicycles currently stored in the structure.

1. Demolish existing pen

- The modern clay-brick building is older than 60 years but identified in the 2009 HIA as having *little or no significance*.
- The building's spatial relationship to the remaining structures as a whole, is significant.
- The building, in its orientation and position, contributes to the significance of the complex as a whole.

2. Proposed luggage store & alteration of an existing structure

The following principles were identified in the 2009 HIA and should be considered with regard to any new development which may impact the heritage values (Pentz, 2009: 20).

- Maintain 'working farm' character.
- New buildings should be kept as low as possible.
- New buildings should not encroach on the historic werf and tuin and should be set back.
- New development should respect established development patterns including the existing framework of fields, roads, axes and the resultant geometry.
- Architectural form, materials and finished should complement the historic aesthetic without attempting to copy, mimic or reproduce historic features.

11 | Impact Assessment

Description of Additions & Alterations

See section 12 | Layout Drawings.

Impact on Cultural Significance

The proposed building and alterations will have a low impact on the significance of the farm complex.

1. Demolish existing pen

- The building itself is not significant or conservation worthy.
- The footprint, materiality and scale of the existing building in relation to other structures on the farm is important and will be retained in the proposed structure.

2. Proposed luggage store & alteration of an existing structure

- The new luggage store will be built on the footprint of the existing pen, and follow the same internal partitioning and openings (for e.g. the doors are proposed in the same position as existing gates).
- The orientation and size of the new building closely relates to the existing structure.
- The materiality and finish of the proposed building will be the same (building kept as low as possible with a 'working farm' character).
- The building style follows the contemporary architectural style/ layer set by other new buildings on the farm.
- The axis from the historic werf through to the cottages are reinforced with the placement of the new building, which has a positive impact on the significance of the historic werf.

12 | Layout Drawings



Figure 19: Architectural render of the proposed development. Image for information only.



Figure 20: Architectural render of the proposed development, showing the existing pigsty on the left with proposed luggage store on the right. Image for information only.



Figure 21: Architectural render showing the position, orientation, scale and materiality of the proposed building in relationship to the existing pigsty and surrounding landscape. Image for information only (the double swing door was initially proposed on the short end of the building, but is proposed on the long end in the final drawings).



Figure 22: Aerial photograph showing the proposed development in relation to the historic werf.

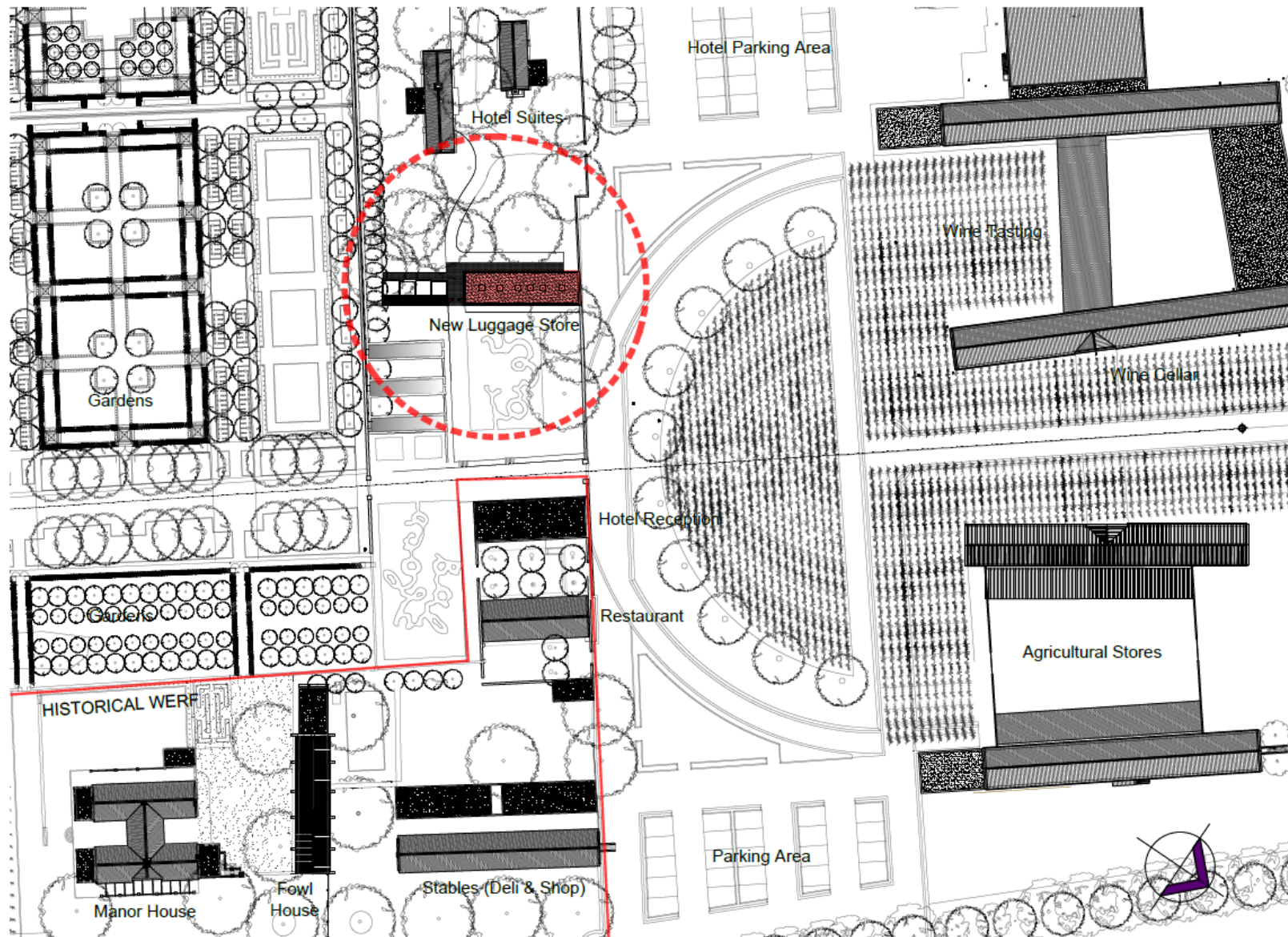


Figure 23: Site plan showing the proposed development in relation to the historic werf and surrounding buildings.

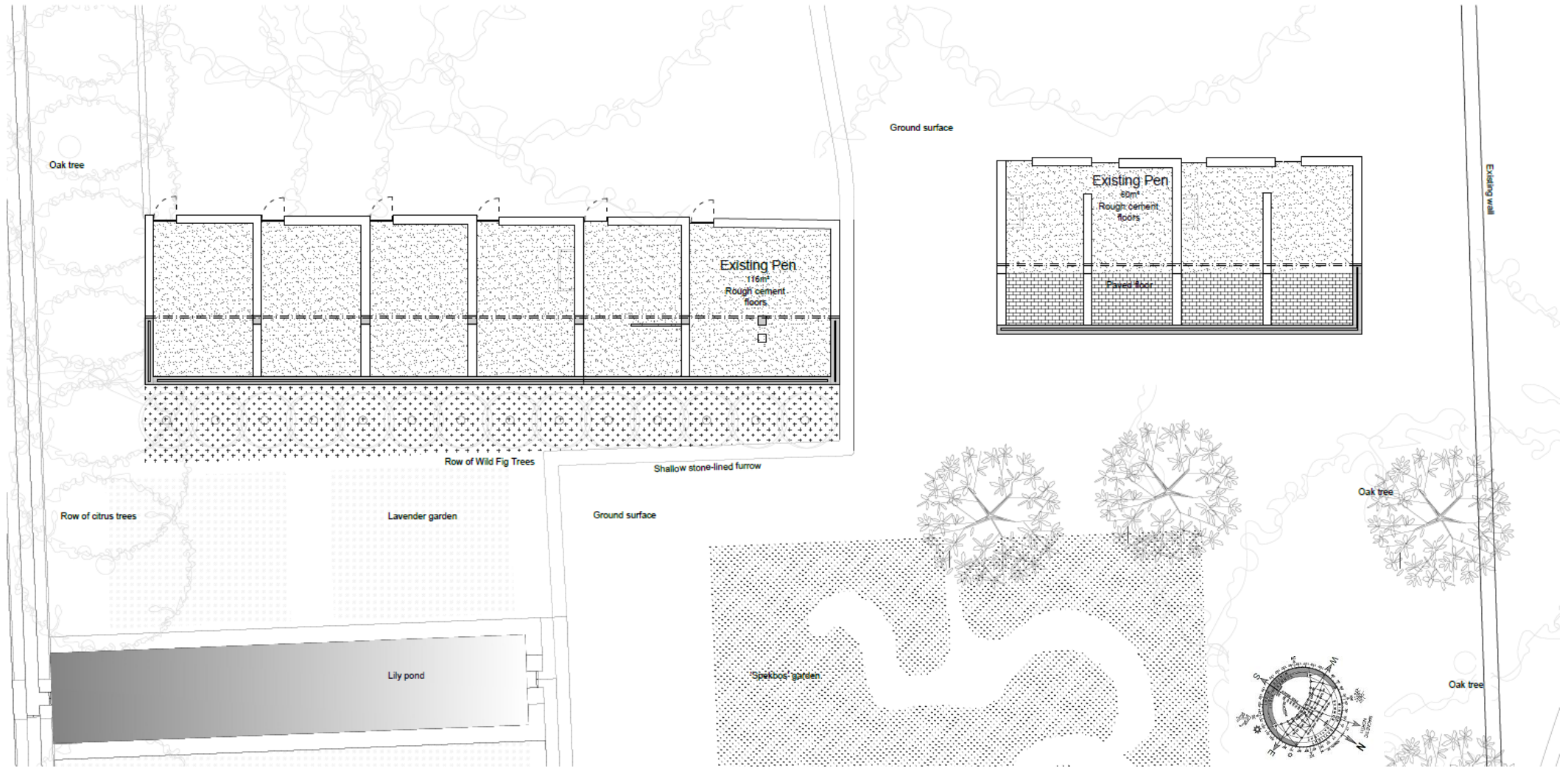
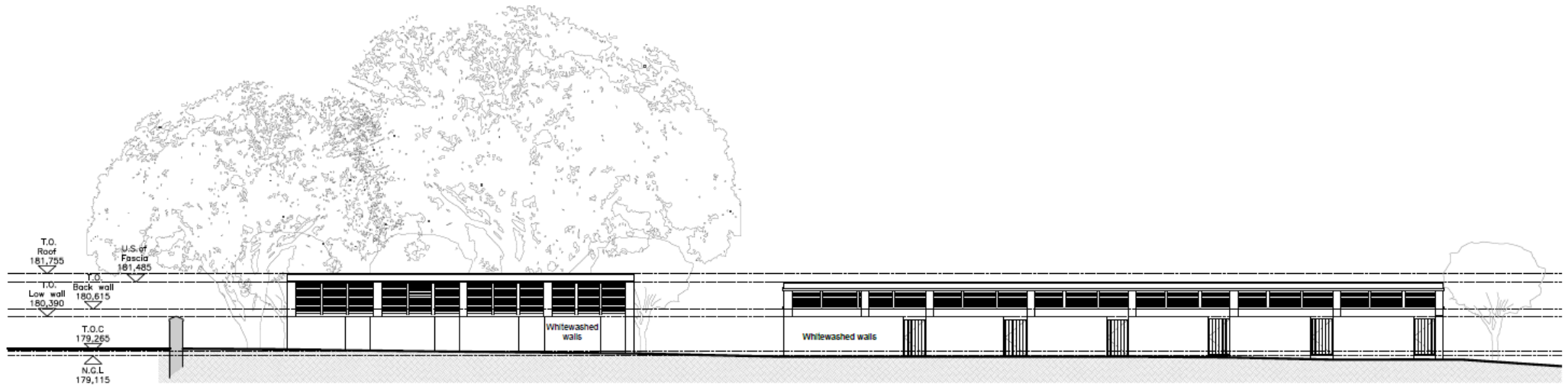
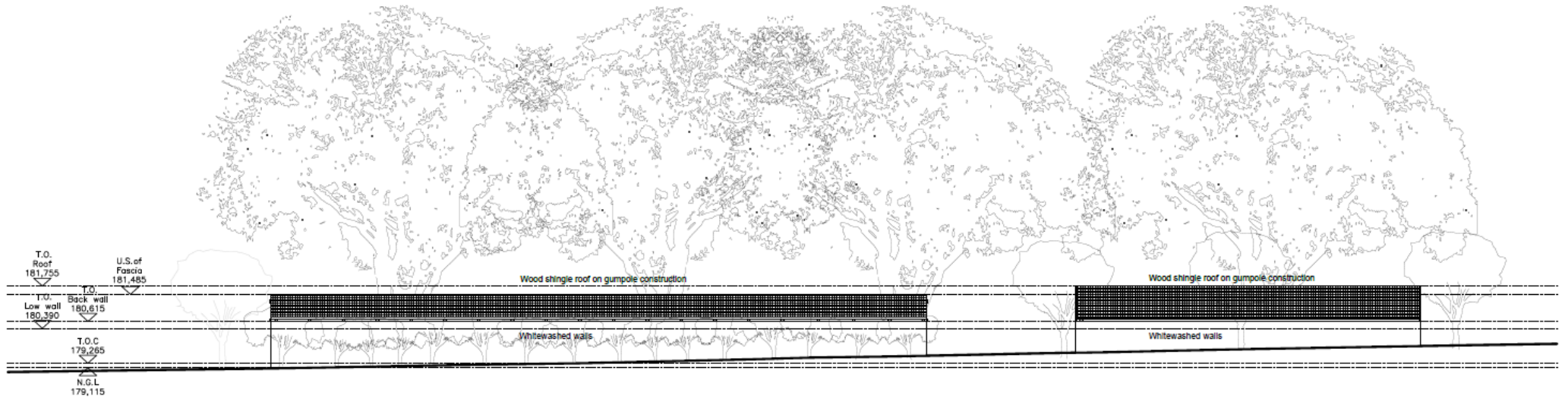


Figure 24: Measured drawing of existing structures



SOUTH WEST ELEVATION OF EXISTING STRUCTURES



NORTH EAST ELEVATION OF EXISTING STRUCTURES

Figure 25 Measured drawings of existing structures

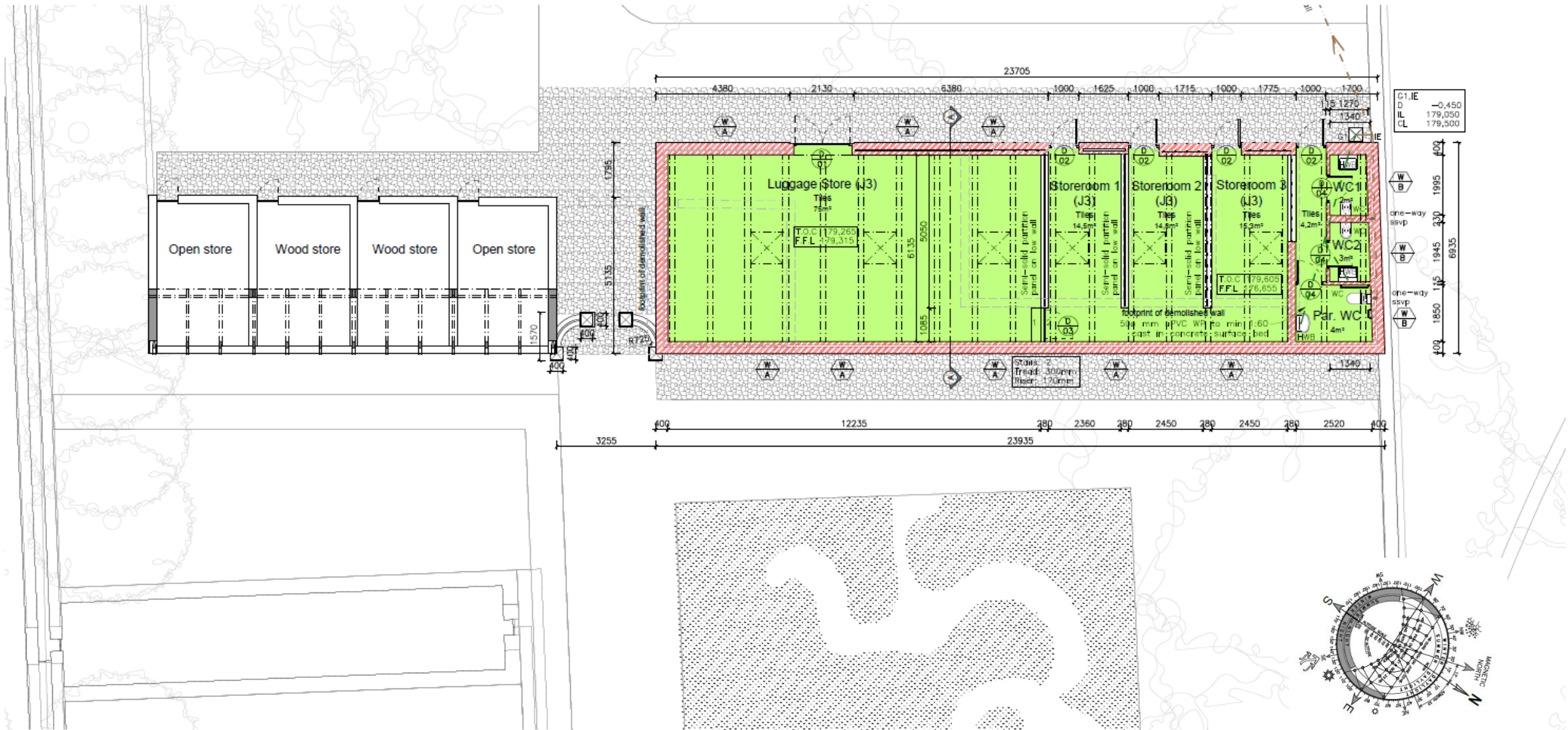


Figure 26 Proposed ground floor plan of Luggage store

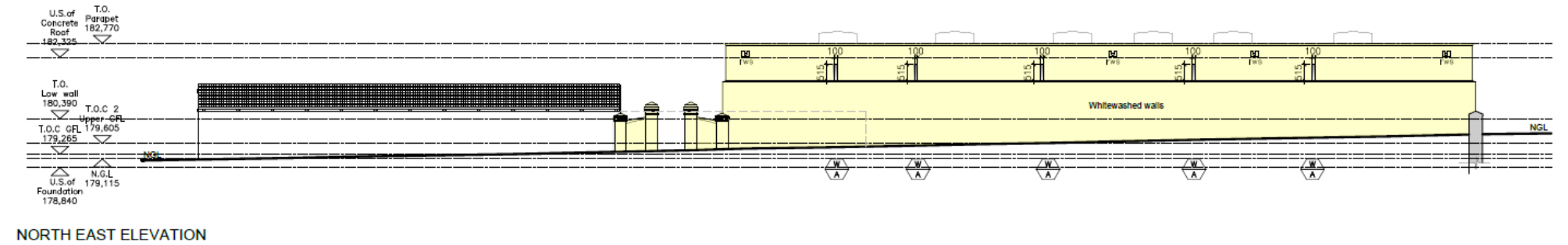
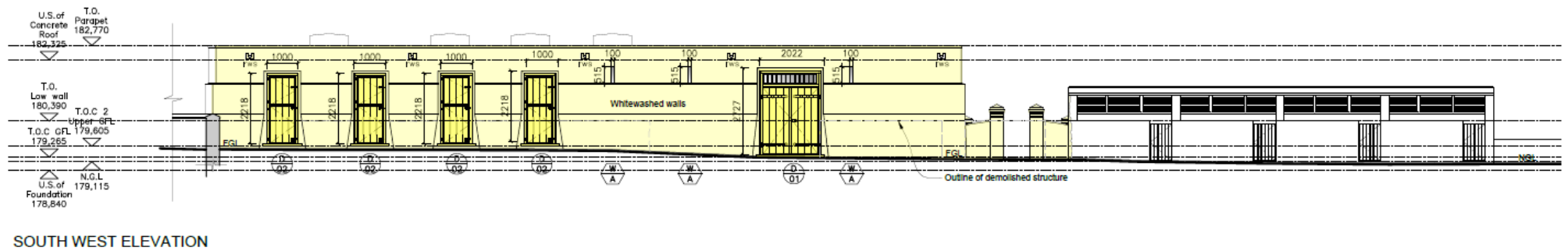
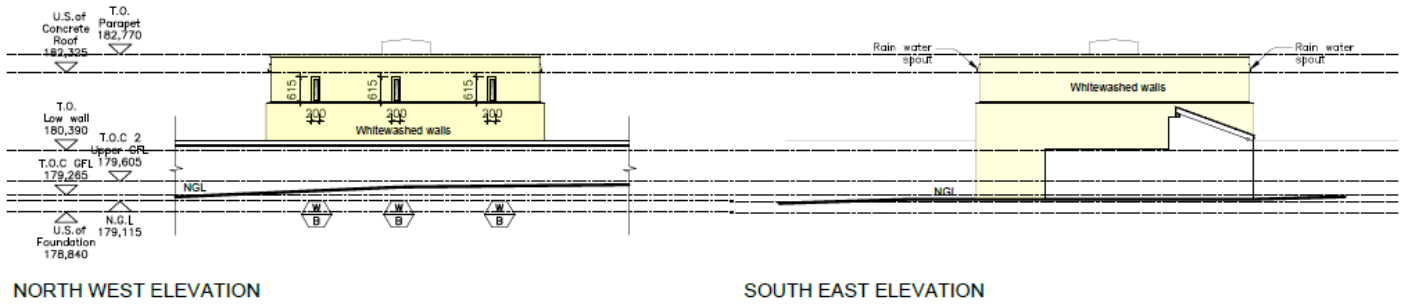


Figure 27 Proposed elevations of Luggage store

13| Recommendations

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3. The new luggage store should be in keeping with the placement/ orientation, size and materiality of the existing structures (to maintain a 'working farm' character).
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