

HERITAGE STATEMENT

KROPMAN VILLAGE, NIEUWEDORP, FOUNDERS' ESTATES NATIONAL HERITAGE SITE,
BOSCHENDAL FARMLANDS, DWARS RIVER VALLEY, STELLENBOSCH

*Application submitted to SAHRA in terms of Section 27 of the NHRA (Act No. 25 of 1999) for:
Alterations and Additions to Four Farm Cottages*



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17 March 2021


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HERITAGE

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SECTION A: INTRODUCTION

A Heritage Statement has been prepared to accompany a development application to the South African Heritage Resources Agency (SAHRA) in terms of Section 27 of the National Heritage Resources Act (Act 25 of 1999; NHRA). The proposed development involves the alteration of a national heritage site (NHS) being the Boschendal Founders Estates (FE) situated in the Dwars River Valley of the Stellenbosch Municipality of the Western Cape.

The property affected by the proposed development is registered as Portion 11 of Farm 1685, Boschendal and is owned by FE 11 (Pty) Ltd. The alteration involves the renovation of four vacant semi-detached farm cottages. The cottages are referred to as the Kropman Village.

A.1. STUDY BRIEF

Sarah Winter Heritage Consultant working in association with Rennie Scurr Adendorff (RSA) was appointed by FE 11 (Pty) Ltd to submit a Section 27 permit application to SAHRA and for this to be accompanied by a Heritage Statement which includes the following:

1. The identification and assessment of heritage significance at various scales, namely the broader landscape, farm werf and building scale.
2. The formulation of heritage related design and landscaping indicators informing the design development process.
3. The advice of a professional archaeologist regarding the archaeological significance/sensitivity of the site and requirements for archaeological mitigation including monitoring.
4. The outcome of consultation with the Stellenbosch Municipality Heritage Section and registered local conservation bodies.
5. The assessment of heritage impacts of the proposed development including the consideration of mitigation measures and alternatives.
6. To make recommendations whether or not the proposed development should be approved and what conditions of approval should be applied.

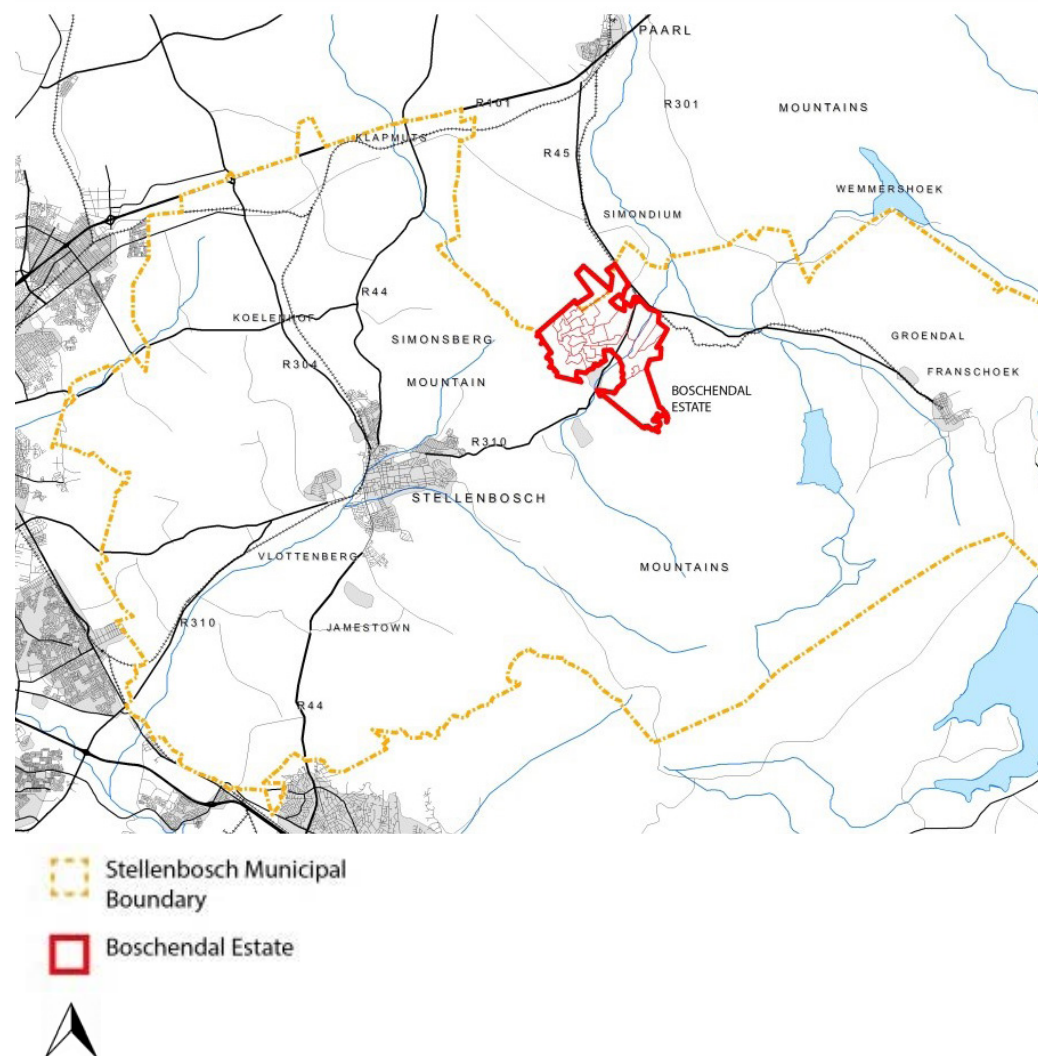


Figure 1: Regional Location Plan of Boschendal Estate (Source NM Associates).

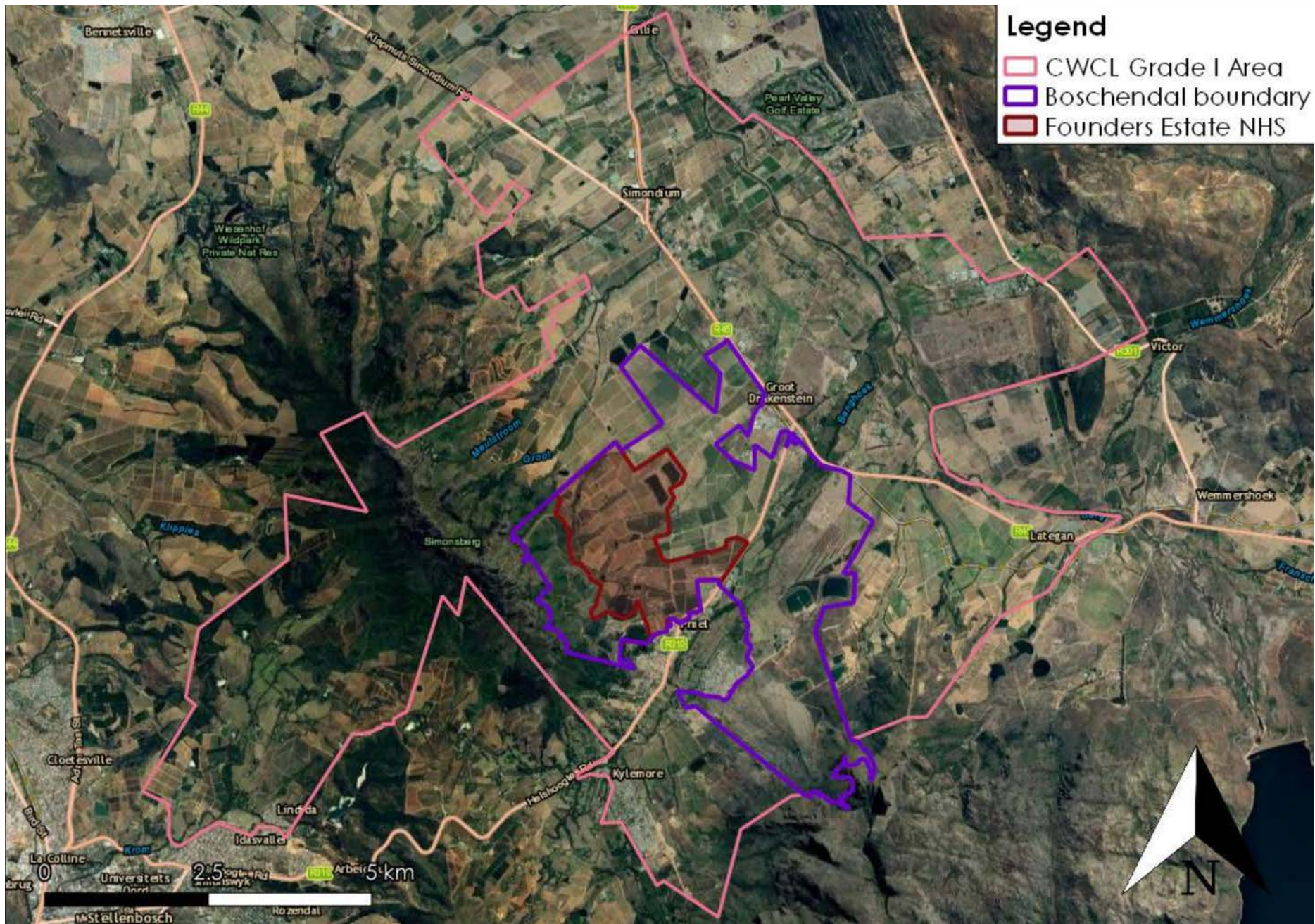
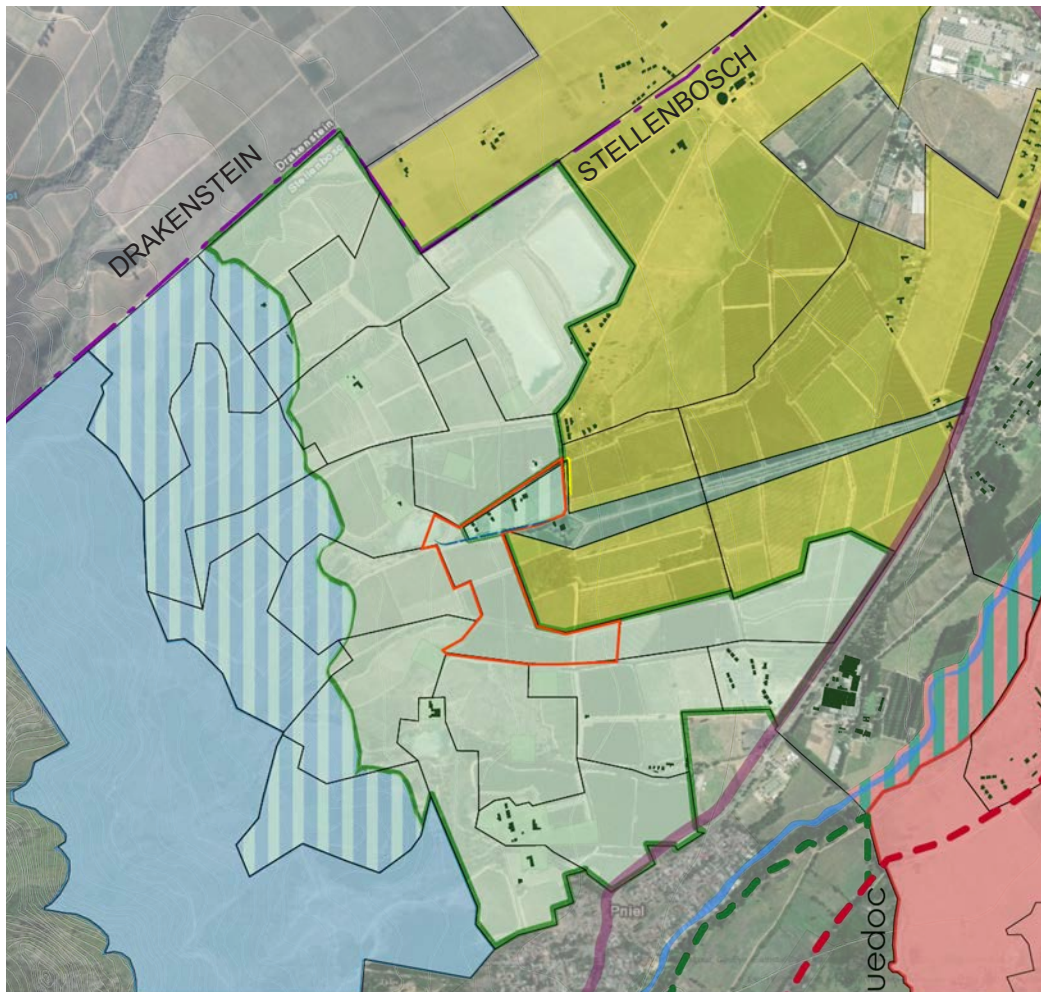


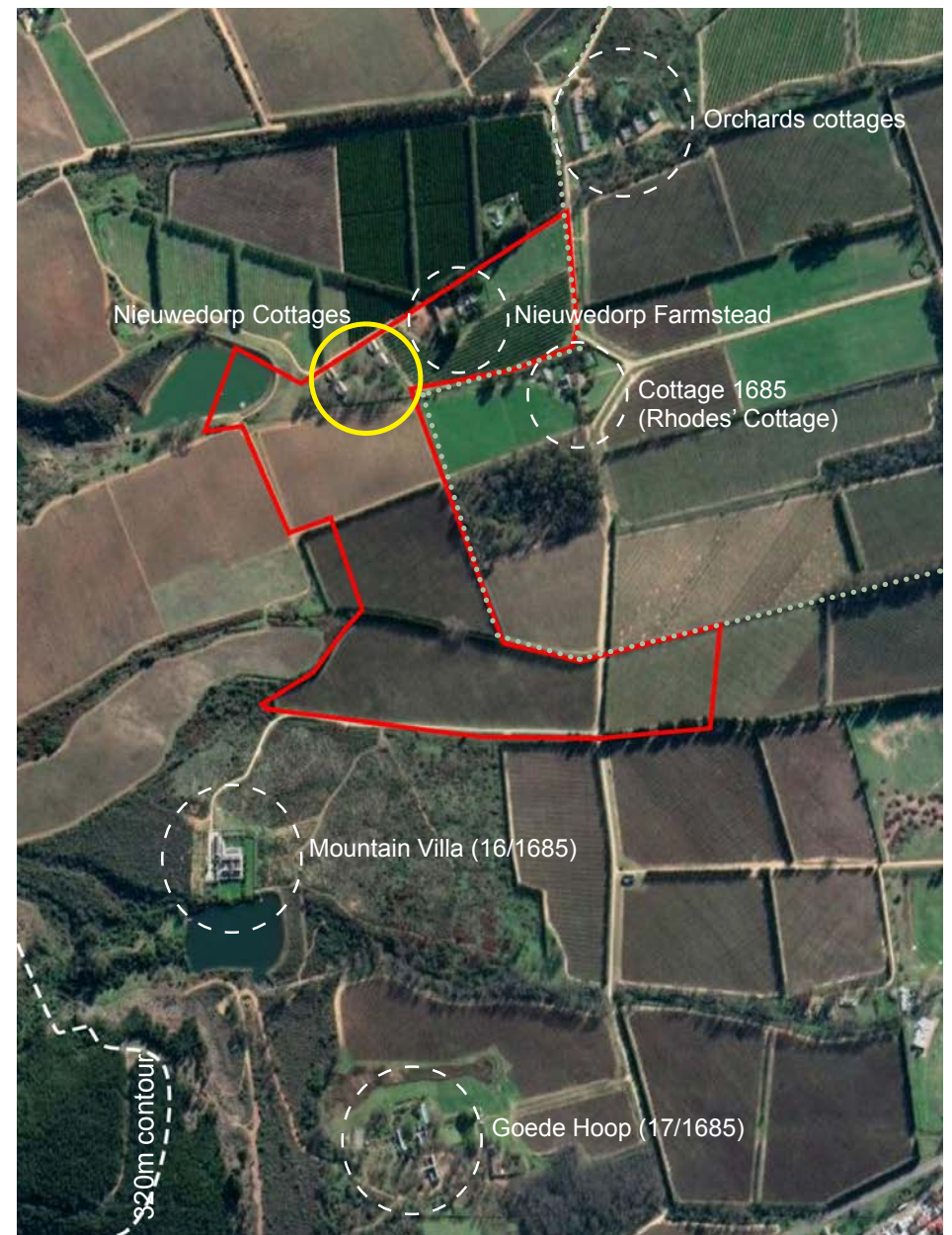
Figure 2: Location of Founders Estates National Heritage Site within Boschendal Estate (Source: RSA 2019)



- ▬ >320m Contour Slopes
- ▬ Founders' Estate Precinct
- ▬ Boschendal North Precinct
- ▬ Historic Werf Precinct
- ▬ Site Boundary
- ▬ Nieuwedorp werf
- ▬ Municipal Boundary

* **NOTE:** Striped areas indicate boundary overlap.

Figure 3: Location of Portion 11 of Farm 1685 within Founders Estates (Source: RSA)



- ▬ Founders' Estates boundary and extent of National Heritage Site
- ▬ Nieuwedorp, Portion 11 of Farm 1685, boundary
- Nieuwedorp cottages / Kropman Village cluster

Figure 4: Location of Kropman Village within the Portion 11 of Farm 1685 (Source: Cape Farm Mapper).

A.2 SITE DESCRIPTION

Portion 11 of Farm 1685, Boschendal is one of the 18 Founders' Estates farm portions resulting from a consolidation and subdivision application approved by SAHRA in 2008. It measures 20, 4926 hectares as per survey diagram attached as Appendix A. The relevance of the conditions of approval this Section 27 application are discussed in Section B.

Kropman Village comprises four semi-detached farm workers' cottages dating to the mid-20th century. They are arranged facing north-east with two building pairs stepped in relation to the slope and a generous space between the upper and lower pair.

The cottages have been vacant since circa 2000 when farm labour living on the estate for generations was relocated to a new housing development at Lanquedoc. The Kropman Village cottages are distinct from other cottage clusters on the estate, predominantly built in the 1980s and comprising a larger number of cottages e.g. the Rachelsfontein, Excelsior and York farm cottages. The placement of the Kropman Cottages in the landscape is also distinct. They are placed on higher ground on the lower slopes of the Simonsberg, adjacent to a stream and within fair proximity to the homestead below. By comparison, the 1980s cottages are more randomly placed in the landscape, albeit located on lower ground and more visually discrete.

The Kropman Village cottages are of a simple utilitarian design and construction: rectangular in form; raised plinth; pitched corrugated iron roof; recessed front door with steps, afdak bathroom and kitchen additions to the rear; steel casement windows; 3 roomed with an internal fireplace. The buildings are in a poor condition with a lack of repair and maintenance.

Distinctive site features include a stream running to the south and the access road to farmstead to the north. Mature trees include oaks and there are possible remnants of cottage gardens, e.g. a well-established rose bush and fig tree. There is a significant level change between upper and lower cottage pairs. The character of the space between the cottage pairs is loose and informal; no hard landscaping, no boundary treatments, no formal

plantings, with a sense of being embedded in an agricultural context; part of a farm werf, surrounded by orchards and close to a farm dam.

The cottages cannot be seen in isolation to the Nieuwedorp homestead and barn located below and to the east of the cottages. They are an integral component of the historical layering and settlement qualities of the farm werf as a whole. The homestead dates to the early 20th century and the barn to the 19th century. The werf may include the subsurface remains of an earlier homestead, as it is possible that the existing homestead is located on the footprint of the earlier homestead (ACO 2009).

Nieuwedorp homestead has distinctive Cape Revival features in terms of its H-shaped plan form and curvilinear 'holbol' gables with similarities to Champagne located approximately 1.5km to the east. Its twin front gables are a distinctive feature in the landscape with the backdrop of the Simonsberg. The renovation of the homestead was approved by SAHRA in 2014 (SAHRA Permit ID 1535).

A late 20th century garage structure is located immediately to the west of the homestead and has no heritage significance.



Figure 5: Site Description; Nieuwedorp naming of parts, precinct scale (Source: Cape Farms Mapper)





1



2



3



4



5

Figure 6: The site context: access road, approach and views (images 2019, 2020, 2021).



1



2



3



4



5

Figure 7: *Nieuwedorp cottages placement in landscape (images 2019, 2020, 2021).*



Figure 8: *Nieuwedorp cottages (images 2019, 2020, 2021).*



Figure 9: *Immediate agricultural context - north and south fields (images 2019, 2020, 2021).*

A.3 PROJECT DESCRIPTION

The proposal is to adapt, upgrade, extend and reuse the four existing, vacant, workers' cottages located on the Nieuwedorp werf on the slopes behind the homestead and barn. The renovation and adaptation provides four dwellings for an interrelated family group. This involves the consolidation of each twinned unit into a single dwelling, with an upgrade to services, built extensions and the addition of garages and external stoeps and spaces with pergolas. The massing of the existing cottages will be retained.

The front/north-eastern facade will be largely retained as is, with the existing living spaces reserved for bedroom accommodation, while the rear kitchen and bathroom space is demolished. This demolition will allow for new additions to the existing structures. The proposed intervention remains single storey to retain the existing character.

Landscaping will remain mostly informal using existing landscape elements; the farm access road will be upgraded and gravel finished. The intention is to retain the agricultural character of the site.

A.4 STATUTORY FRAMEWORK

A.4.1 Section 27 of the National Heritage Resources Act

The cottages are located within the Founders Estate NHS and are therefore protected in terms of Section 27 of NHRA. The proposed alterations trigger the need for a permit of approval from SAHRA in terms of the 27 (18).

Section 27 (18) of the NHRA stipulates that, "No person may destroy, damage, deface, excavate, alter, remove from its original position, subdivide or change the planning status of any heritage site without a permit issued by the heritage resources authority responsible for the protection of such site." In terms of Section 2 (i) "alter" means "...any action affecting the structure, appearance or physical properties of a place or object, whether by way of structural or other works, by painting, plastering or other decoration or any

other means."

A.4.2 Applicable Other Legislation

1) Environmental Legislation

There are no NEMA triggers as the proposed development would be below the relevant thresholds indicated in the EIA Regulations, 2014 (as amended). An EIA Applicability Checklist will be submitted to the Department of Environmental Affairs and Development Planning (DEA&DP) to confirm same. Triggers in terms of the NWA will be discussed with the Department of Water and Sanitation (DWS), however the proposed activities would be low risk from an ecological perspective and should, therefore, be covered under a General Authorisation.

2) Stellenbosch Municipal Zoning Scheme By-Law (SM ZSBL)

The adaptive reuse of the cottages for farm employees does not constitute a rezoning or consent use in terms of agricultural zoning property. The property is located within the Dwars River Valley Rural Conservation Area.

In terms of section 246 (2) of the SM ZSBL, the council of Stellenbosch Municipality may designate an area as Urban or Rural Conservation Overlay zone. The SM ZSBL locates all of the Boschendal Estate that falls under the jurisdiction of the Stellenbosch Municipality in the Dwars River Valley Rural Conservation Area. However, the proposed alterations do not require special consent from the municipality, as they do not involve any of the activities listed under a) to f) of Section 246 (2) of the ZSBL. More specifically they do not involve the "external demolition or alteration to an existing building or structure which is visible from a public road" (emphasis added).

A.4.3 Stellenbosch Heritage Inventory (2018)

The Stellenbosch Heritage Inventory does not include Nieuwedorp as an individual heritage resource but refers to the Founders' Estates as an NHS located within Landscape Unit A07. Of relevance to this application are

various Development Criteria for interventions within a farm werf context as extracted below:

- Respect traditional werf settlement patterns by considering the entire werf as the component of significance. This includes the backdrop of the natural landscape against which it is sited, as well as its spatial structure. Any development that impacts the inherent character of the werf component should be discouraged.
- Interventions on the werf must respect the layout, scale, massing, hierarchy, alignments, access, landscaping and setting.
- Historical layering must be respected and protected. Alterations and additions to conservation-worthy structures should be sympathetic to their architectural character and period detailing. Inappropriate 'modernisation' of conservation-worthy structures and traditional werfs should be prevented. Inappropriate maintenance can compromise historic structures. Heritage expertise is required where appropriate.
- Ensure visual harmony between historical fabric and new interventions in terms of appropriate scale, massing, form and architectural treatment, without directly copying these details. Distinguish old from new.
- Encourage the multifunctional use of existing heritage sites and resources with different but sensitive new uses. Development and adaptive re-use that caters for the integration of different modes of access and a greater diversity of users should be encouraged.
- Encourage interventions to revive heritage features in decline, by engaging with innovative development proposals where appropriate, and considering sensitive adaptive reuse strategies for each, specific heritage resource.
- Adaptive strategies need to take the surroundings as well as the structures into account.
- Where the historic function of a building is still intact, the function has heritage value and should be protected.

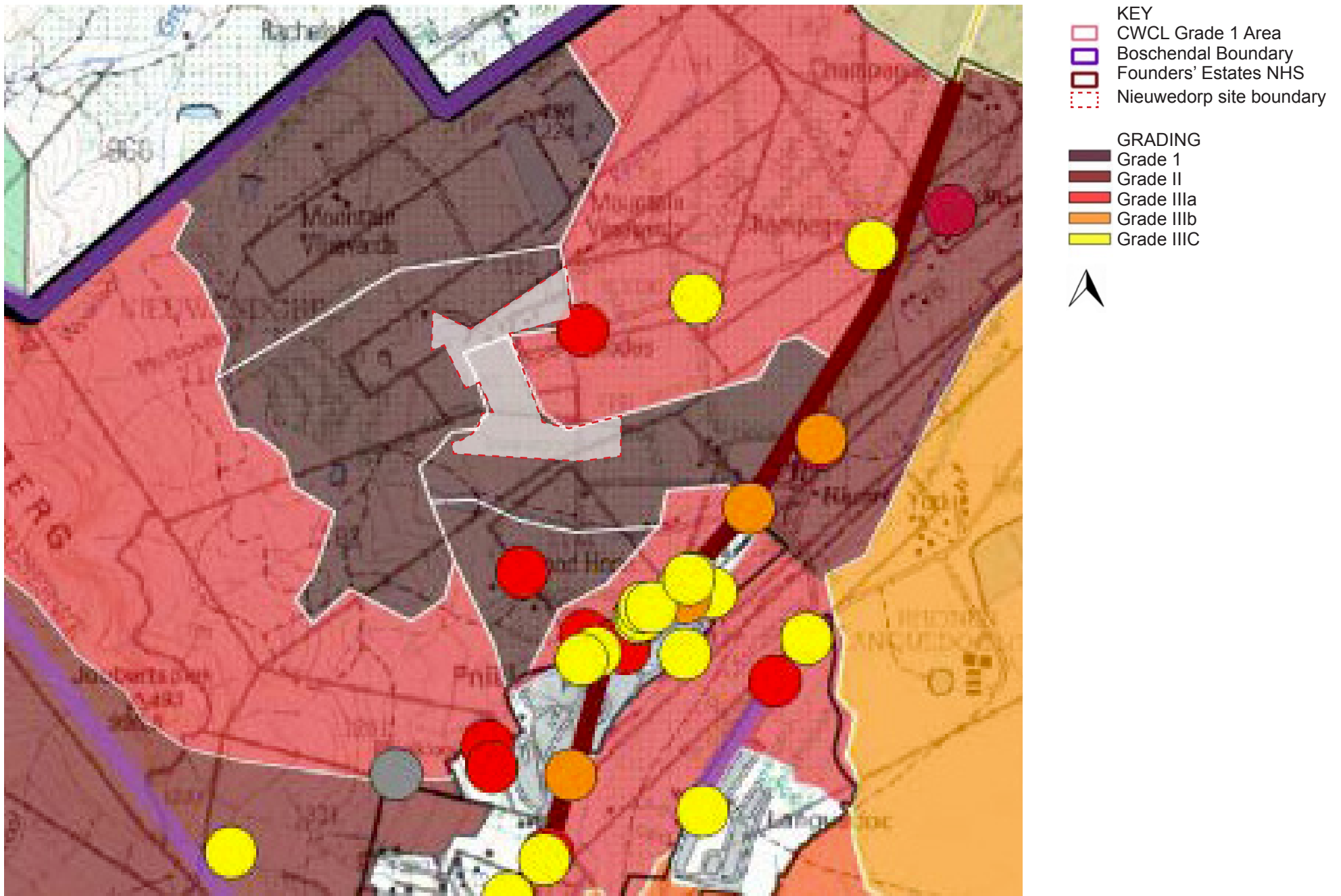


Figure 10: Stellenbosch Municipal Heritage Inventory Grading Map for Boschendal after Todeschini et al., 2017 (Source: Cape Winelands Heritage Survey (2016) Appendix 7: Area F - Dwarsriver).

A.5 STUDY METHODOLOGY

The wider Boschendal Farm has been the subject of numerous academic, private and local authority studies and analyses. These have included environmental, architectural, social and industro-agricultural studies of the history and evolution of this sector of the Dwars River Valley and the settlements that combine to form Boschendal Estate.

This report has drawn on that body of work, in particular, the 2006 HIA for the Founders' Estates development (Baumann, Winter 2006), the 2013 Heritage Statement for the renovation and maintenance of the Nieuwedorp homestead and barn (Baumann, Winter & Jacobs 2013), and the recently completed, comprehensive baseline study for the Boschendal Conceptual Framework (RSA 2019). Studies of the built environment (Aikman 2005, Winter 2014) have provided valuable records of the role and typology of farm workers accommodation at various scales.

The Kropman Village is one of numerous cottage clusters on Boschendal which became vacant after 2000 when farm labour accommodation was moved off the estate. From a cultural landscape perspective, the principle of the adaptive reuse of these cottage clusters is supported but also with consideration of potential impacts on built environment and landscape character, including cumulative impacts. This requires consideration of a general pattern of farm cottages being randomly placed and scattered across the landscape with little consideration of settlement-making and as an expression of an attitude to farm labour dating to the 20th century.

However, each of these cottage clusters need to be considered in their own right in terms of intrinsic and contextual heritage values, and the ability to accommodate change from a land use, built form and landscape perspective. This approach has informed an assessment of the Kropman Village.

This report has been prepared by Sarah Winter in collaboration with Mike Scurr and Rennie Scurr Adendorff Architects (RSA) to accompany the permit application.

A.6 STATEMENT OF INDEPENDENCE

Neither Sarah Winter Heritage Consultant, nor Mike Scurr and Rennie Scurr Adendorff Architects as the architectural heritage consultant has any legal or personal ties to Boschendal or other professionals involved in this proposal, nor to any companies that may be involved in the process that is to follow. There is no financial gain tied to any positive outcome. Professional fees for the compilation of this document will be paid by Boschendal but are not linked to any desired outcome.

SECTION B: BACKGROUND TO THE FOUNDERS' ESTATES

Boschendal (Pty) Ltd has acquired the rights to the subdivision and development of eighteen (18) so-called Founders' Estates. The Founders' Estates effectively comprise 18 different farms measuring between 21 and 44 hectares each with a Developable Area of 0.8 hectares per farm (i.e. one farmstead per farm) and the remaining farm being included in an agricultural lease area where the agricultural land is managed as a single entity including no cadastral expression of individual farms. This is in accordance with an approval by the Stellenbosch Municipality in 2005 issued under the Land Use Planning Ordinance (Ordinance 15 of 1989; LUPO).

The Founders' Estates was subject to a heritage assessment process and was approved by SAHRA in 2008 subject to a number of conditions. The status of compliance of these conditions was detailed in a report to SAHRA prepared by Sarah Winter dated October 2020 and is summarised below:

It should be noted that the requirement for an AHRMP, CMP and the Landscape Guidelines is being addressed and will be submitted to SAHRA in due course.



Figure 11: Before consolidation and subdivision 2006. Star marks Nieuwedorp (Source: Baumann, Winter 2006).

No.	Document	Responsibility	Author	Status	Responsible Authority
1	Heritage Management Agreement	Boschendal	Richard Summers	APPROVED	SAHRA
2	Design Guidelines	Boschendal	Richard Summers Sarah Winter Nicolas Baumann	APPROVED	SAHRA
3	Landscape Guidelines	Boschendal	BOLA Landscape Architect	DRAFT	SAHRA
4	Archaeological Historical Residues Management Plan	Boschendal	ACO Tim Hart	DRAFT	SAHRA
5	Conservation Management Plan including a discrete CMP for Nieuwedorp	Boschendal	Sarah Winter	DRAFT	SAHRA

Table 1: Status Quo of Heritage Documentation applicable to the Founders' Estates

For the purposes of clarity for the Kropman Village application, it is important to note the following:

1. This application is a new Section 27 application for the alteration and addition of four existing cottages.
2. The four cottages are located outside of the Developable Area for Founders Estates 11 as shown in Figure 12 below.
3. In terms of the approved Founders Estates Design Guidelines (2010) and the role of the Master Review Committee (MRC), the MRC design review process is not applicable to the Kropman Village cottages.
4. The Design Guidelines do not specifically address the Kropman Village cottages but a number of overall objectives and principles, and guidelines are applicable as set out in Section B.1 below.



Figure 12: *Developable Areas (marked with red dashed box) with the Founders Estates Portions. The Kropman Village cottages are located outside of the Developable Area for FE 11.*

B.1 APPLICABLE DESIGN GUIDELINES

1) **Overall Objectives and Principles**

- The need for development to harmonise, complement and respond to the qualities of the broader landscape and also the unique features of each Founders' Estate.
- The principles of authenticity and integrity being applicable in terms of ensuring a positive response to all historical layers of the landscape as well as its role as a consolidated working farm as opposed to an ornamental, suburban or fragmented landscape.
- A positive response to the historical patterns in the landscape that have endured over time specifically the pattern of buildings in relation to topography, water and patterns of access; buildings did not occur randomly in the landscape but in response to a carefully considered and environmentally based set of structural principles.
- New development should be subordinate to the landscape in terms of scale, massing, architectural treatment and movement patterns.
- The addition of a new contemporary layer in the landscape but not at the expense of existing layers of heritage significance.

2) **Overall Design, Planning and Architectural Guidelines**

- The emphasis should be on a rural building typology as opposed to an urban or a suburban typology; buildings should not compete or contrast sharply with the rural qualities in terms of massing, scale, height and architectural treatment.
- Foreign stylistic architectural expressions or imitation of historical Cape architecture are not permitted.
- Buildings shall be visually recessive in the landscape; they should be nestled into rather than being superimposed onto the landscape.
- Building forms should be fragmented with the main components orientated parallel to the contours; major plan form elements should be connected with minor plan form elements (verandas, pergolas and lean-to structures) in order to reduce the scale and visual prominence of the built form.
- Draw on the local vernacular including the use of materials, plan form, roof form, building height and width, wall to aperture relationships.

- Protect, retain and enhance buildings and landscape features of heritage value and contribute to the landscape character and sense of place.
- Natural features such as mountain backdrops, significant vegetation, slopes and water courses should be carefully considered in the design and planning of improvements.
- Retain the landscape setting of places including views towards and from a place, as well as historical and visual spatial relationships between places such as Rhodes Cottage (Cottage 1685) and Nieuwedorp.
- Do not introduce built form or landscaping patterns which erode the agricultural character of the working farm by establishing a clear interface between the agricultural components of the working farm and the farmstead domains.
- Maintain planting types and patterns which contribute to the aesthetic and historical character of the place such as tree lined avenues, windbreaks, tree canopies, forests, homestead gardens, cultivated fields.
- Protect the experiential quality of farm roads with careful consideration to the appropriate nature of boundary treatments, gateways, signage and road engineering interventions (road width, surfacing and edge treatments) in keeping with a rural landscape character.

3) ***Design, Planning and Architectural Guidelines for Historical Farmsteads (Goede Hoop and Nieuwedorp)***

- A policy of minimal intervention to significant historical fabric should be adopted.
- Authenticity is a key tenet in their conservation and thus should correspond to the available facts, avoid conjecture and not distort the evidence.
- Alterations and additions should be of a neutral or harmonious nature; they should respect the physical context, historical character, scale and visual cohesion of the existing architecture and significant spaces, including detailing and finishes.
- Any physical intervention must take into account the potential and/or known archaeological sensitivity of the site.

B.2 PREVIOUS APPROVED PLANS OF NIEUWEDORP FARMSTEAD

Nieuwedorp homestead and barn were the subject of a NHRA S-27 application to SAHRA in 2013, for the repair and maintenance work to the homestead and barn, and renovation of the homestead. The work to the homestead was completed, but the work to the barn was not undertaken.



Figure 13: (Above) Nieuwedorp homestead; (below) Barn building, image 2019 (Source: Winter, RSA).

SECTION C: HISTORICAL OVERVIEW

Nieuwedorp's land was granted in five parts from 1689, chronologically to Arnoldus Basson, Jacobus van As, Erasmus van Lier, Willem Basson and Pierre Meyer. Willem was the son of Ansela of Bengal. Once enslaved to van Riebeeck, she was later manumitted and transitioned to burgher society. She was the mother of Anna de Koning (born in slavery) and Jacobus van As. In 1701 the farm was a consolidation of five properties owned by Jacobus van As, who, like his mother, had acquired significant property and wealth. After his death in 1713 his estate was sold – most of it to Jacob de Villiers, son of Jacques De Villiers, owner of Boschendal in 1724. The De Villiers family now owned half of the Valley and retained control through the 18th and 19th centuries (Titlestad 2008). The land was predominantly producing grapes for wine-making.

In 1886 the outbreak of phylloxera virtually destroyed all the Cape vineyards, leaving many farmers bankrupt and the Cape economy in ruin. Nieuwedorp was one of 26 farms in the Drakenstein Valley to be acquired by Cecil John Rhodes from 1897 and consolidated under Rhodes Fruit Farms (RFF). RFF was initially established as an experimental and training centre for the development of a Cape fruit industry and was soon to become the centre of a thriving export industry (Baumann & Winter 2006; Titlestad 2008).

Herbert Baker's extensive architectural intervention in the Valley began at Rhodes' request with the Champagne homestead was built in 1900 as a RFF manager's residence designed by the Baker and Masey firm (Titlestad 2008). Baker also designed a cottage for Rhodes that was constructed adjacent to the site of the original, ruined Nieuwedorp homestead (its exact location is unknown). The long barn with stable manger forming part of the current Nieuwedorp farmstead dates to the late 18th/early 19th century and is probably associated with the original Nieuwedorp homestead.

The early 20th century valley landscape was altered by a dramatic shift from wine to fruit farming. It was also associated with the introduction of corporate farming methods and new employment opportunities resulting from the growth and diversification of the fruit industry. This necessitated



Figure 14: *Extract of 1923 Topographical Plan of a portion of Rhodes Fruit Farms Ltd (Source: Surveyor General, Boschendal Collection).*

the construction of additional farm managers' and workers' houses. The new homestead at Nieuwedorp, a farm manager's dwelling, was built in the 1920s and has similarities to Baker's design for Champagne.

De Beers took over RFF in 1925 and appointed an internal expert in the fruit industry, Alfred Appelyard, as Managing Director with the aim of consolidating and restructuring the business operation. In 1937 De Beers sold RFF to Abe Bailey and after his death in 1940 a syndicate of business interests acquired RFF and they owned and developed it for the next 28 years. Jack Manning was appointed Managing Director after the death of Appleyard in 1949. It was during the 1950s and 1960s that massive expansions and improvements were undertaken – new dams were constructed and irrigation doubled the productive agricultural area and increased yields by 700%, new workers cottages were constructed, transport was mechanized, refrigeration technology improved and the export markets boomed. By 1968 RFF employed hundreds of people and produced and packaged large scale export crops (Baumann & Winter 2006; Titlestad 2008). It was during this mid-20th century period (1938-1949) that the four Nieuwedorp cottages were constructed.

In 1969 Anglo American and de Beers purchased RFF, retaining it for the next 31 years. In the 1970s and 1980s a number of cottage clusters were constructed on the estate: typically semi-detached, box-like structures with low pitched roofs and little or no detail. The units are generally arranged in rows or grouped loosely around communal open space depending on the size of the clusters, which may have as many as 30 structures.

In 1998 Amfarms disposed of its landholdings in the Dwars River Valley, and in 2003 a consortium of investors (Boschendal Pty Ltd) purchased 2242 hectares of these landholdings. Boschendal (Pty) Ltd still owns the estate to the current day.

By the time the landholdings were sold, farm employees of Amfarms, once resident in cottage clusters on Boschendal, had been relocated to Lanquedoc, and numerous workers' cottages, including the Nieuwedorp group, have been unoccupied since (Baumann, Winter 2006, 2013, 2016).

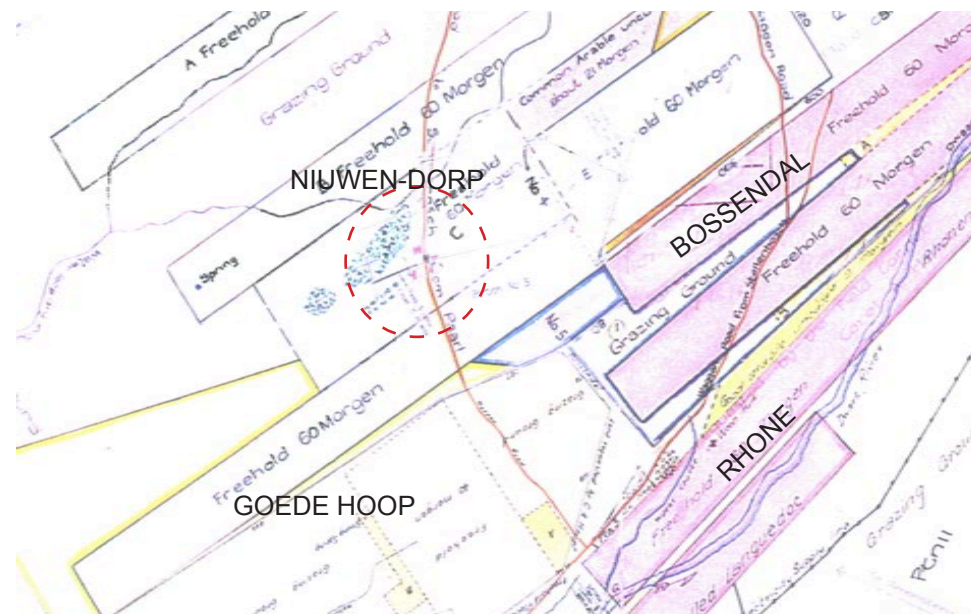


Figure 15: Extract, compilation of early cadastral grants. Location of Nieuwedorp (now Rhodes Cottage) and Nieuwedorp werf circled (Source: Titlestad HIA 2006).



Figure 16: Nieuwedorp homestead pre 1930s and long barn late 18th century/early 19th century (Source: CA AG7553).

C.1 NIEUWEDORP WORKERS' COTTAGES

Aikman's 2005 study of Boschendal built environment looked at the worker housing typology of the farm: Initially, following emancipation of enslaved people, farm workers were housed in simple two-roomed dwellings with an external hearth and thatched roofs. These were invariably arranged in a linear pattern, parallel to farm roads and water furrows. Only one such complex remains on the estate, although now much altered.

Baker's introduction of a new form of workers' housing was established at Languedoc C1902. It is highly representative of a planned labourers' village influenced by the Arts and Crafts Movement and the concept of the "garden village" (Baumann & Winter 2006; Titlestad 2008). It comprised semi-detached units with steeply pitched corrugated iron roofs and distinctive central gable detail. This form has evolved over the 20th century.

The group of four structures situated behind the Nieuwedorp homestead and barn have been dated by historic aerial imagery to the decade 1939 to 1948. The 1938 aerial shows evidence of agricultural buildings on the location of the upper set of four cottages, showing that the dwellings were built on the site of an existing settlement.

The four paired units are arranged in two rows, on natural terracing between the dam and homestead werf. The site is bounded by the oak tree edged, stone lined water course to the south, and the access road on the north edge. Working agricultural fields extend beyond these natural boundaries.

The masonry structures have 30° galvanised double pitch roofs with projecting purlins at gable ends. The entrance doors are recessed, each having small projecting concrete front steps. The large hearth and chimneys may have been external, later incorporated within the structure, with the addition of the bathroom and kitchen lean-tos c1960s. Factors such as the siting - in close proximity to the manager's house - the size, the timber flooring, and the intimacy of the grouping suggest that this accommodation was built for farm employees of some status.



Figure 17: Cottages at Languedoc Village (Source: Boschendal Archive)

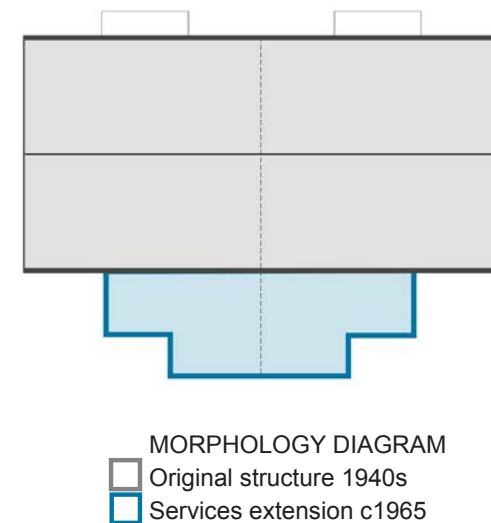


Figure 18: Nieuwedorp cottage form and extension.

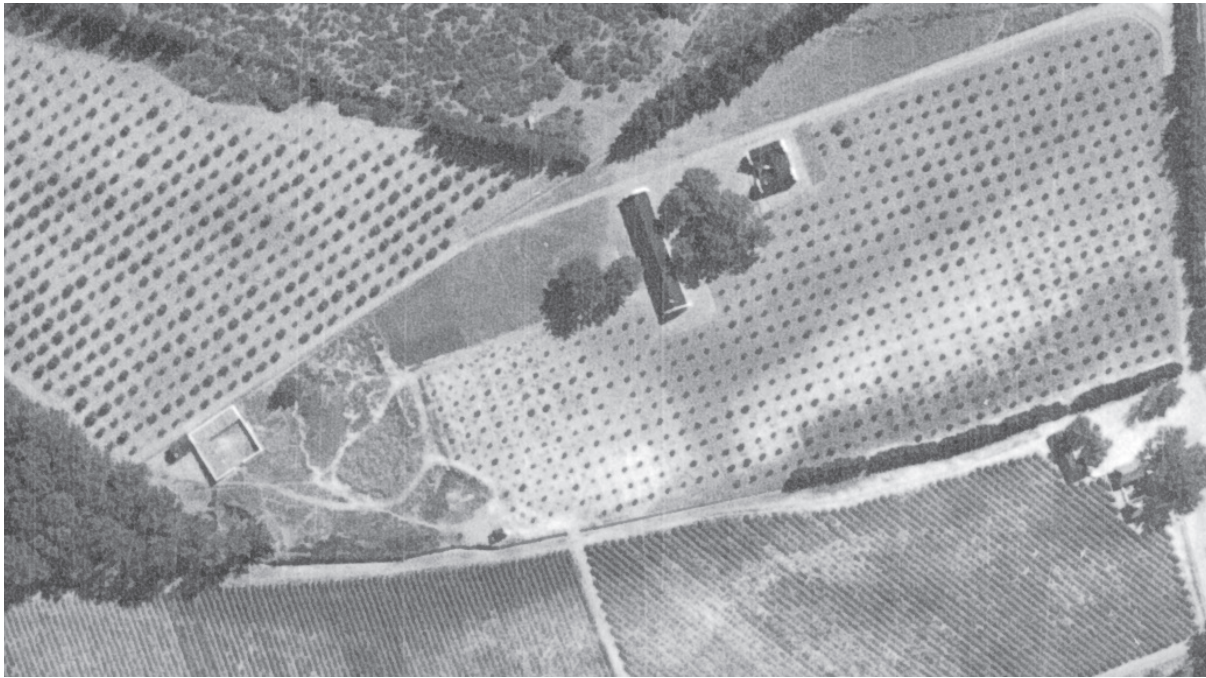


Figure 19: 1938 (top left). Shows built kraal form at top of werf area demonstrating an established settlement (Source: NGI 126_081_12251).

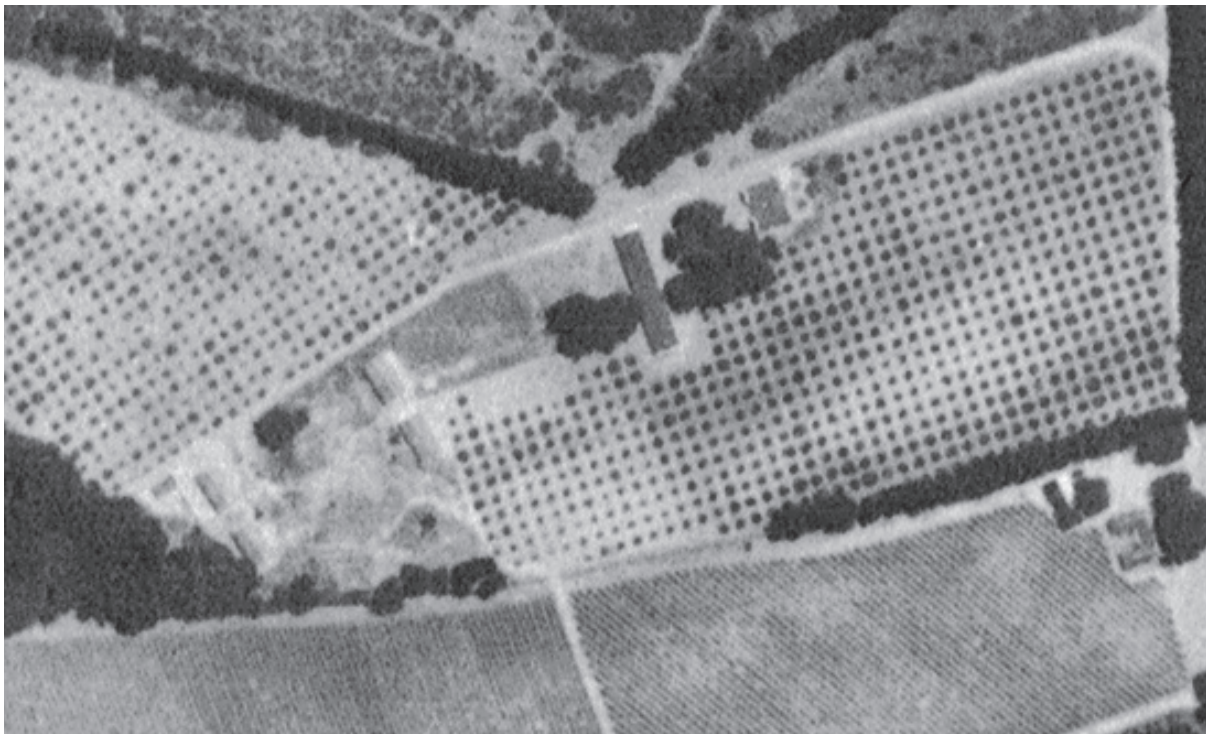
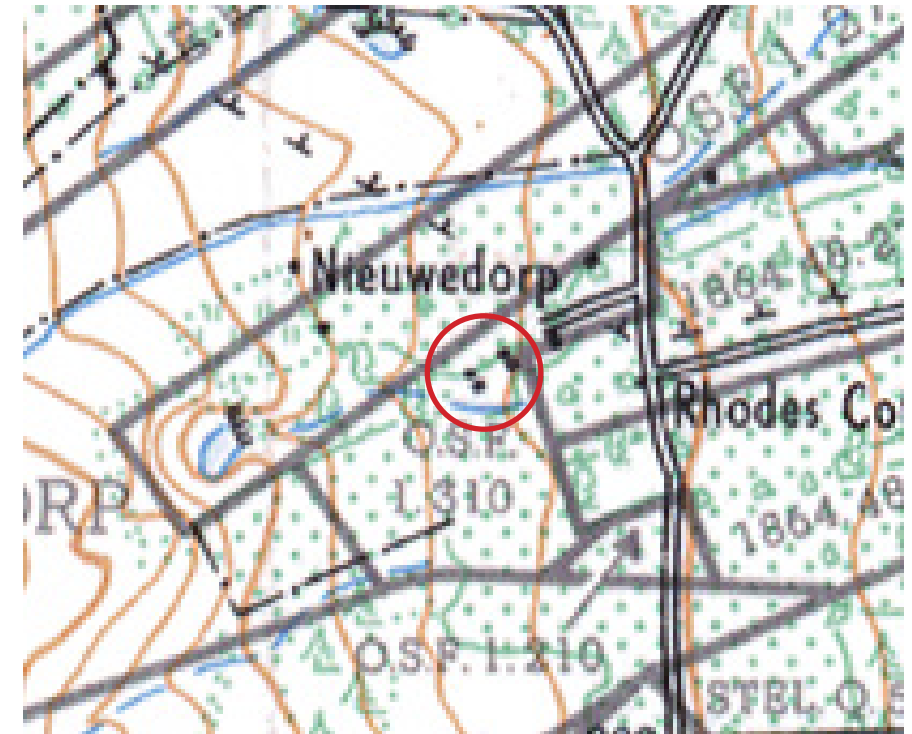


Figure 20: 1949 (bottom left). Shows wcottages in place, without added rear lean-to structures (Source: NGI 225_016_0331).

Figure 21: 1960 (below). Topocadastral showing four cottages (circled)



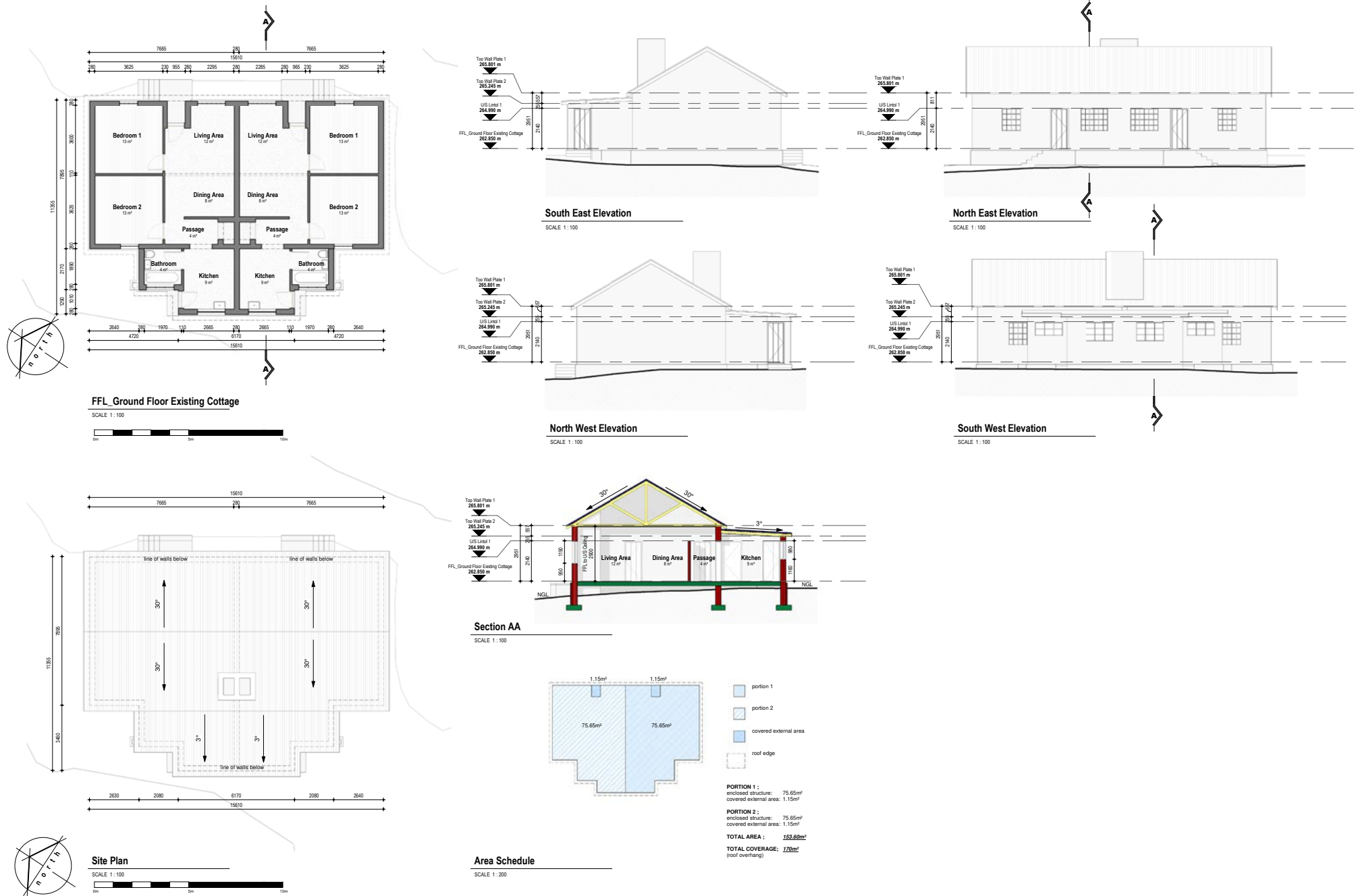


Figure 22: As built drawings, showing an example of a cottage (Source: Slee & Co Architects (PTY) Ltd.)

The Kropman Village or Nieuwedorp cottages have been vacant since circa 2000 when farm labour living on the estate for generations was relocated to a new housing development at Lanquedoc. The Kropman Village cottages are distinct from other cottage clusters on the estate, predominantly built in the 1980s and comprising a larger number of cottages e.g. York farm cottages, Agerdam cottages and Uilkraal cottages.



Nieuwedorp cottages (1940s)



York Farm Cottages (1980s).



Agerdam Cottages (1980s).



Uilkraal Cottages (1980s).

Figure 23: *Examples of workers' cottages on Boschendal lands (Source: RSA; Baumann, Winter).*

SECTION D: STATEMENT OF HERITAGE SIGNIFICANCE

The heritage significance of the Kropman Village site needs to be considered at various scales as set out below.

D.1 FOUNDERS' ESTATES NATIONAL HERITAGE SITE

The significance of the Founders Estate, the portion of the Cape Winelands Cultural Landscape (CWCL) declared a National Heritage Site, is described as follows in the gazetted declaration:

The Boschendal Founders Estate, Dwarsrivier Valley, Cape Winelands Cultural Landscape is a product of the interaction between the natural landscape of great scenic beauty, the tireless labour of a slave population, biodiversity and human activities and responses over a long period which have created features and settlement patterns that are equally celebrated for their beauty, richness and diversity. The Dwarsrivier Valley, more than any of the other CWCL landscapes is a showcase of the genius of the slave infused society of the Cape, with the majority of the slave descendants still working the soil. This cultural landscape encompasses a great variety of significant heritage resources, developed out of the interaction between peoples of many cultures with each other and the place. (Government Gazette Notice 31884, 13-02-2009)

Historical value:

- It reflects a pattern of early colonial settlement and expansion during the late 17th and 18th centuries with an emphasis on agricultural production concentrated in the well-watered fertile valleys.
- The role of the landscape as role as both a pioneering and continuous agricultural base since late 17th century, when rectangular plots were granted at the foot slopes of Simonsberg in relation to the Berg and Dwars Rivers.
- Although almost entirely cadastrally redefined, the enduring nature of this role is evident in the continuity of the Goede Hoop and Nieuwedorp

farms from the 17th century.

- A temporal and thematic layering of the landscape in terms of:
 - Land ownership patterns (colonial dispossession, freehold, quitrent, feudal, family networks, institutional/corporate)
 - Patterns of labour (slavery, indentured labour, wage labour, migrant labour) and related shifts from a feudal to a corporate to a democratic order.
 - Patterns of built form (18th century origins of Goede Hoop farm werf, possible remains of 18th century Nieuwedorp farm werf and its later early 20th century expression, cottage clusters dating from the early 20th century onwards)
 - The planted landscape (windbreaks, tree lined routes, forests, field patterns).
- The role of Goede Hoop farm werf as an agricultural entity dating to late 17th century & evidence of layering relating to shifting social-economic trends over time (livestock farming, wine production, fruit farming, labour, family networks).
- Historical associational linkages across the landscape in terms of ownership patterns with most of the farms being owned by extended family networks for more than a century and then farmed as a single entity since 1897 under Rhodes Fruit Farms, later Amfarms until 2003.
- The contribution of Goede Hoop and Nieuwedorp to a collection of historical farmsteads (Boschendal, Rhone, Rhodes Cottage, Champagne).
- The role of the landscape in the history of the fruit industry with the establishment of Rhodes Fruit Farms and its association with important figures in the development of the export fruit industry at the turn of the 20th century.
- The presence of a major corporate institution (Rhodes Fruit Farms-Amfarms) spanning more than a century and its associated impacts on the landscape in terms of farming, infrastructure, built form, patterns of labour and institutional memory.
- The incorporation of an early industrial mining landscape, possibly one of the earliest colonial-period in mines in South Africa; representation of a mid-18th century VOC mining operation linked to global trade and other VOC prospecting efforts at the Cape; layering of use over time from

intensive mining activities to a place of refuge/retreat & 'passive' forms of natural resource utilisation.

Social value:

- Its associations with a farm working community who worked and inhabited the landscape for generations with remnant cottage clusters in the landscape being a tangible link with this history and occupying a conceptual space between the recognition of slavery and farm labour under apartheid, and a shift towards democracy.

Aesthetic Value:

- The cohesive and iconic visual quality of a broad agricultural sweep framed by the Simonsberg and forming a spectacular backdrop to a collection of historical set pieces located on the lower slopes (Goede Hoop, Rhodes Cottage and Nieuwedorp).
- Views towards the landscape from the main movement network through the Dwars River Valley (R45 and R310).
- A coherent landscape structure in terms of an orthogonal field pattern reinforced by windbreaks and tree lined routes, a system of water courses feeding the Dwars and Berg Rivers and the movement network.
- The strong east-west axis terminating at Rhodes Cottage (Cottage 1685) along the yellowwood avenue and linking the historical set piece with the Boschendal-Rhone Heritage Precinct.
- The primary north-south movement route linking the historical set pieces of Goede Hoop, Rhodes Cottage, Nieuwedorp and eventually Excelsior near the R45.
- Positive response in the form of a range of historical built form typologies (farmsteads, managers' houses and farm cottages) that reveal a sense of fit in the landscape in terms of a response to topographical conditions (following the contours, avoiding steep or visually exposed slopes, below the 320m contour), generally with limited footprint embedded in an agricultural landscape and located within a copse of trees.

Architectural value:

- The representative nature of the built form in terms of typology, hierarchy and historical layering.
- The intact and representative nature of Goede Hoop reflecting various stages in evolution of Cape farm werf tradition with strong evidence of historical layering and possessing a distinctive linear layout.
- The significance of Rhodes Cottage as a formal set piece in the landscape, its visual spatial linkages with Boschendal Rhone, its associations with the work of Herbert Baker and Rhodes Fruit Farms; an intact and representative example of the cottage typology with Arts and Crafts stylistic influences.
- The significance of Nieuwedorp with visual-spatial and historical linkages with Rhodes Cottage and having architectural significance in its own right.

Archaeological Value:

- The primary area of archaeological significance in the Founders' Estates is the Silvermine Landscape which has national and international significance.
- Of potential archaeological significance and sensitivity is the Nieuwedorp farmstead.

D.2 NIEUWEDORP FARM WERF

The Nieuwedorp werf is of suggested Grade IIIA heritage value within the context of the NHS and has historical, architectural, aesthetic, social and scientific significance in terms of the following:

- The association of the farm with a pattern of early colonial settlement during the late 17th and 18th centuries with an emphasis on agricultural production concentrated in the well-watered fertile valleys of the region.
- Its dramatic setting with the backdrop of the Simonsberg, visual dominance of a productive agricultural landscape and views across the

Valley; its careful placement in the landscape nestled into footslopes, in a copse of trees and overlooking the lands.

- Its visual-spatial and historical linkages with Rhodes Cottage and their location in relation to the primary north-south movement route linking the historical set pieces.
- Views towards the twin front gables of the homestead as a distinctive feature in the landscape.
- The historical layering of the farmstead; the early 20th century character of the homestead with its Cape Revival features, the long barn as pre-dating the homestead to the late 18th early 19th century and the farm cottages dating to the mid-20th century.
- The associations of the homestead with the Rhodes Fruit Farms and architectural value in terms of its distinctive Cape Revival features and resemblance to the Baker designed Champagne homestead nearby.
- The high heritage significance of the long barn which has architectural value with emphasis on its proportions, shape and presence; historical layering in the form of distinctive early 20th century gable ends and corrugated iron roof, a much earlier wall construction and surviving interior features within the stables section (feed cribs, cobbled floor and stalls).
- The relatively informal layout of the farmstead with an absence of axial relationships and formal placement of buildings, and the manner in which the tree lined approach towards and through the farmstead is experienced as a sequence of spaces moving up the slope; the front façade of the homestead viewed across an agricultural field, the homestead and its treed garden setting, the farm yard with the strong presence of the long barn with its impressive curvilinear gable end facing the road, an orchard zone of subtle separation between the farmstead and the farm cottages, moving up the slope as the four cottages are revealed in terms of their discrete scale and form and sense of being embedded in an agricultural landscape and working farm (orchards, windbreaks and farm dam).

D.3 FARM COTTAGES AND LANDSCAPE FEATURES

The heritage significance of the cottages is largely contextual as a grouping in terms of their settlement qualities, relationship to the Nieuwedorp homestead and barn and landscape context. They have social historical significance as a representative example of farm workers' housing. Within a pattern of farm workers' housing on the estate dating the 20th century, they are a relatively early example.

Distinctive settlement qualities are based on a combination of their discrete scale and form representative of a farm cottage typology, their response to a sloping topography arranged in two building pairs stepped in relation to the slope and facing north-east with the backdrop of the Simonsberg.

The placement of the Kropman Cottages in the landscape is very distinct in comparison to most of the other cottage clusters on the estate and which appear to be scattered randomly in the landscape. As a discrete grouping on the lower slopes of the Simonsberg and in relation to a stream, they also have a distinct relationship with the Nieuwedorp farmstead.

The cottages cannot be seen in isolation to the Nieuwedorp homestead and barn located below and to the east of the cottages. They are an integral component of the historical layering and settlement qualities of the farmstead as a whole including the experiential qualities of a sequence of spaces.

The character of the treed space between the cottage pairs is loose and informal; no hard landscaping, no boundary treatments, no formal plantings, with a sense of being embedded in an agricultural context; part of a farm werf, surrounded by orchards and close to a farm dam.

D.4 ARCHAEOLOGY

There are three areas of archaeological sensitivity within the Founders' Estates including the area of the Nieuwedorp homestead and the Kropman Village, as identified in the Draft Archaeological Residues Plan for the Founders Estates prepared by the Archaeological Contracts Office (2020; ACO). Archaeological remains may include buried structures and domestic middens dating to the earlier and later colonial periods, all of which contribute to the understanding of the place (ACO 2013).

It should also be noted that the 1938 aerial shows a kraal structure pre-existing and above the four cottages (Figure 19).

D5 GRADING SUMMARY

Grading of built form and landscape features within the Founders' Estates NHS;

- Nieuwedorp werf (homestead and barn): 3A
- Nieuwedorp cottages: 3C
- Stone lined water furrow with oak trees: 3C

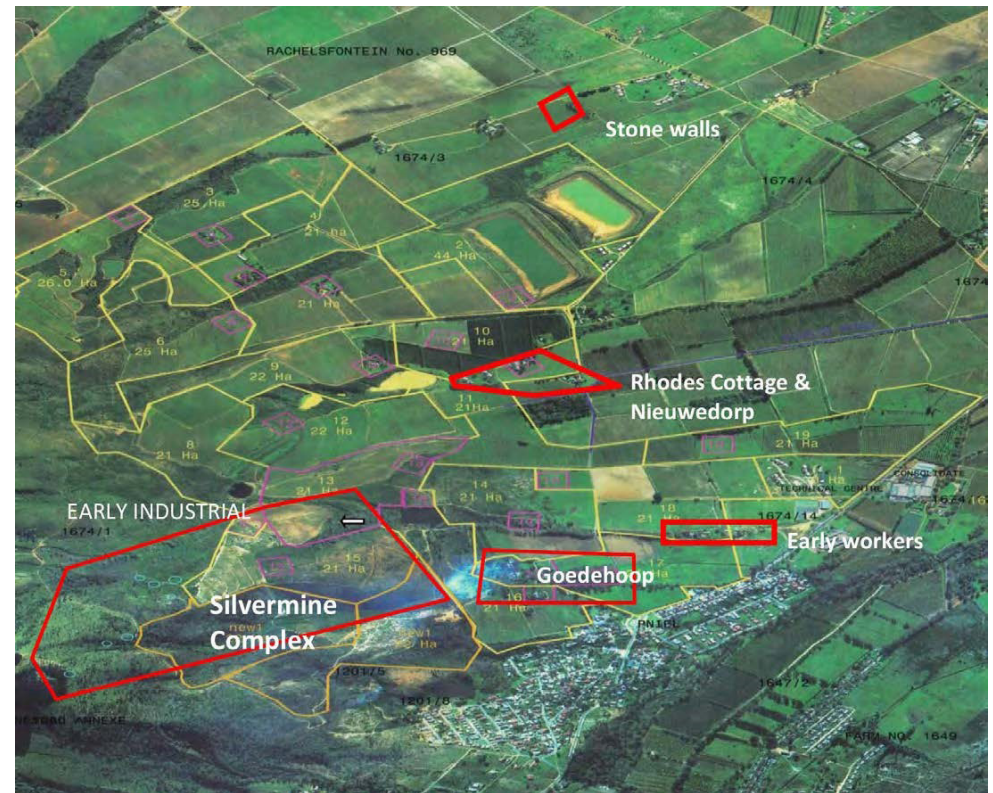


Figure 24: Area of Archaeological Sensitivity (Source Tim Hart, UCT Contracts Office)

HERITAGE RESOURCES & CULTURAL LANDSCAPE FEATURES: SITE SCALE



Figure 25: Heritage resources and cultural landscape features

SITE NAME: NIEUWEDORP

ADDRESS OF THE SITE

FARM NAME	Nieuwedorp
FARM NUMBER	1685/11
CURRENT USE	Vacant
ORIGINAL USE	Workers' Accommodation

PROTECTION AND GRADING

Curr. NHRA Protection	S-27
>60YRS?	Yes
PROPOSED GRADING	Grade IIIC
LANDSCAPE UNIT GRADE	Grade I
REVISED LU GRADE	Grade I

SIGNIFICANCE

Associational	Medium	Age	Low
Architectural	Low	Rarity	Medium
Archaeology	Medium	Scientific	None
Representivity	Medium	Symbolic	High
Intangible	High		

ARCHITECTURAL STYLE

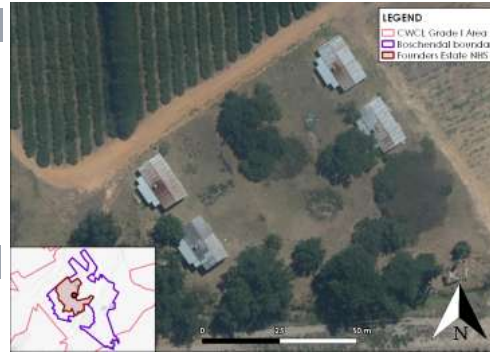
Mid-C20th farm worker cottages

ARCHITECT/BUILDER

Amfarms

GROUPING WITH OTHER SITES

Cottage clusters



MAP (RSA, 2019)



SITE PHOTO (RSA, 2019)

LATITUDE/LONGITUDE

18°57'14.60" E 33°52'46.39" S

SITE DESCRIPTION

Four paired units within a stand of old oaks; built 1940s with later lean-to extension. Raised plinth, recessed entrance, large hearth. Typical of workers' accommodation

CONTEXTUAL DESIGN

Utilises previously developed site. Paired cottages in elevated position on natural terracing behind homestead. Site bounded by road (north) and water furrow (south). Modest interface between cottages. Direct association with Nieuwedorp farm operations.

EVIDENCE OF DEMOLITION

Pre-existing structure demolished prior to cottage construction

INVASIVE ELEMENTS

None

REFERENCES

Aikman H. & Berman, A. 2005. Boschendal Heritage Assessment: Built Environment Survey and Evaluation. Unpublished report for Baumann and Winter Heritage Consultants. Aikman and Associates: Cape Town.
 Baumann, N., Winter, S., Dewar, D. And Louw, P. 2017. Heritage Impact Assessment: Boschendal Village Node, Portion 7 of Farm 1674 and Portion 10 of Farm 1674, Boschendal, Stellenbosch Municipality, August 2017. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Baumann and Winter.
 Wolff Architects. 2019. Boschendal Estate: Landscape Heritage Report. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Wolff Architects.
 Wolff Architects. 2018. Boschendal Estate, Stellenbosch, South Africa: Conceptual Framework Report, 4 December. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Wolff Architects.
 Winter, S. 2013-2014. Review of Historical Built Environment. Unpublished report for Boschendal Ltd. Baumann and Winter Heritage Consultants: Cape Town.

SITE HISTORY

Cottages build for workers in 1940s (TBC) by Amfarms. Old oaks on site and 1938 aerial indicates presence of earlier building settlement on site

HERITAGE VULNERABILITY

Derelict but suitable for reuse as residential accommodation. Inappropriate reuse/ redevelopment will diminish social significance. Settlement has lost its functional use and any associated sense of community that may have existed at the time

STATEMENT OF SIGNIFICANCE

Good, representational of workers' housing of mid-C20th, associated with a social layer that existed prior to resettlement of workers in 2003-2005. Social, symbolic and intangible significance.

RECORDING DATE 2019/06/06 Revised 2021/03/04

SITE NAME: NIEUWEDORP

ADDRESS OF THE SITE		PROTECTION AND GRADING	
FARM NAME	Nieuwedorp	Curr. NHRA Protection	S.27
FARM NUMBER	1685/11	>60YRS?	Yes
CURRENT USE	Accommodation	PROPOSED GRADING	Grade IIIA
ORIGINAL USE	Manager's Accommodation	LANDSCAPE UNIT GRADE	Grade I
		REVISED LU GRADE	Grade I

SIGNIFICANCE				ARCHITECTURAL STYLE	
Associational	High	Age	High	Cape Revival Style manager's house	
Architectural	High	Rarity	High		
Archaeology	Medium	Scientific	Low		
Representivity	High	Symbolic	Medium		
Intangible	Medium				



MAP (RSA, 2019)



SITE PHOTO

ARCHITECT/BUILDER	LATITUDE/LONGITUDE
British Colonial/RFF	18°57'21.48" E 33°52'42.30" S

SITE DESCRIPTION

Twin gabled H-plan house with C20th layering including central verandah and exaggerated moulding on gables

CONTEXTUAL DESIGN

Cultural landscape setting with camphor trees and relationship to earlier barn. Visual-spatial relationship with Rhodes Cottage and Champagne

EVIDENCE OF DEMOLITION

Extensive historical layering indicates some demolition

INVASIVE ELEMENTS

Rear courtyard unsympathetically enclosed

REFERENCES

Aikman H. & Berman, A. 2005. Boschendal Heritage Assessment: Built Environment Survey and Evaluation. Unpublished report for Baumann and Winter Heritage Consultants. Aikman and Associates: Cape Town.

Baumann, N., Winter, S., Dewar, D. And Louw, P. 2017. Heritage Impact Assessment: Boschendal Village Node, Portion 7 of Farm 1674 and Portion 10 of Farm 1674, Boschendal, Stellenbosch Municipality, August 2017. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Baumann and Winter.

Wolff Architects. 2019. Boschendal Estate: Landscape Heritage Report. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Wolff Architects.

Wolff Architects. 2018. Boschendal Estate, Stellenbosch, South Africa: Conceptual Framework Report, 4 December. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Wolff Architects.

Winter, S. 2013-2014. Review of Historical Built Environment. Unpublished report for Boschendal Ltd. Baumann and Winter Heritage Consultants: Cape Town.

SITE HISTORY

Manager's house after Baker style, may include earlier fabric

HERITAGE VULNERABILITY

Elements in poor condition

STATEMENT OF SIGNIFICANCE

Homestead has some architectural value in terms of its distinctive Cape Revival features and its visual-spatial connectivity and close resemblance to Champagne, albeit being a watered-down version of the original Baker design.

RECORDING DATE 2019/06/06 revised 2021/03/04

SITE NAME: NIEUWEDORP

ADDRESS OF THE SITE

FARM NAME	Nieuwedorp
FARM NUMBER	1685/11
CURRENT USE	Workshop
ORIGINAL USE	Barn

PROTECTION AND GRADING

Curr. NHRA Protection	S.34
>60YRS?	Yes
PROPOSED GRADING	Grade IIIA
LANDSCAPE UNIT GRADE	Grade I
REVISED LU GRADE	Grade I



MAP (RSA, 2019)



SITE PHOTO

SIGNIFICANCE

Associational	High	Age	High
Architectural	High	Rarity	High
Archaeology	Medium	Scientific	Medium
Representivity	Medium	Symbolic	Medium
Intangible	Medium		

ARCHITECTURAL STYLE

Dutch period barn

ARCHITECT/BUILDER

Dutch period

GROUPING WITH OTHER SITES

Farm Buildings

LATITUDE/LONGITUDE

18°57'14.86" E 33°52'44.82" S

SITE DESCRIPTION

Cape longhouse barn with very thick walls on stone base. End gables match farmhouse with exaggerated mouldings. Loft door and masonry stairs

SITE HISTORY

Part of Nieuwedorp farm complex; altered by Baker

CONTEXTUAL DESIGN

Part of Nieuwedorp werf

HERITAGE VULNERABILITY

Building in poor condition

EVIDENCE OF DEMOLITION

None

STATEMENT OF SIGNIFICANCE

Historic, aesthetic and possible archaeological significance due to age and appearance. Possible social significance related to potential early slave presence

INVASIVE ELEMENTS

Extensive alterations by Baker to match manager's house

REFERENCES

Aikman H. & Berman, A. 2005. Boschendal Heritage Assessment: Built Environment Survey and Evaluation. Unpublished report for Baumann and Winter Heritage Consultants. Aikman and Associates: Cape Town.
 Baumann, N., Winter, S., Dewar, D. And Louw, P. 2017. Heritage Impact Assessment: Boschendal Village Node, Portion 7 of Farm 1674 and Portion 10 of Farm 1674, Boschendal, Stellenbosch Municipality, August 2017. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Baumann and Winter.
 Wolff Architects. 2019. Boschendal Estate: Landscape Heritage Report. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Wolff Architects.
 Wolff Architects. 2018. Boschendal Estate, Stellenbosch, South Africa: Conceptual Framework Report, 4 December. Unpublished report prepared for Boschendal Proprietary Ltd. Cape Town: Wolff Architects.
 Winter, S. 2013-2014. Review of Historical Built Environment. Unpublished report for Boschendal Ltd. Baumann and Winter Heritage Consultants: Cape Town.

RECORDING DATE 2019/06/06

SECTION E: HERITAGE INDICATORS AND GUIDELINES

The proposed adaptive reuse of the Nieuwedorp cottages needs to be informed by a number of heritage indicators and guidelines across various scales of analysis.

The issue of the nature of future development on the Boschendal estate has been the subject of various studies, but in particular:

- The Boschendal Village application which sought to limit sprawl and scattered development and to establish nodal type rural development patterns.
- The 2019 heritage baseline study and draft conceptual framework which sought to explore notions of restorative redevelopment and the need to explore other histories across the farm, and balance these against the dominant narrative of the historic core.

Neither attitude is mutually exclusive, but apply variously in specific locations across the farm.

In setting out the framework for the “Kropman Village” conversion of the Nieuwedorp cottages, heritage-based design indicators are therefore derived from, and placed within, the framework of previous studies undertaken for Boschendal farm.

Specifically, the following refer:

- RSA, 2019. Baseline Study: Heritage Inputs into Boschendal Farm Conceptual Framework.
- Baumann, N., Winter, S., Dewar, D. And Louw, P. 2012. Boschendal Heritage Impact Scoping Report: an in-principle review of the case and the identification of composite heritage indicators
- Todeschini, F. and Jansen, L. 2018. Draft Revised Heritage Inventory of the Tangible Heritage Resources in the Stellenbosch Municipality
- Todeschini, F., Jansen, L., Franklin, M., Abrahamse, C., Malan, A. and Lavin, J. 2018. Draft Conservation Management Plan for the Tangible Heritage Resources in the Stellenbosch Municipality: Phase 4 Report.

The Boschendal Baseline heritage study (RSA 2019) graded the various farm cottages across Boschendal as Grade IIIC heritage resources, with Thembaletu being Graded IIIA for social, spatial and architectural reasons. At the time of this survey, the date of the Nieuwedorp cottages was not verified and incorrectly ascribed to “Late C20th” and “1980s”. The subsequent detailed investigations in this heritage report now have confirmed the earlier origins and a construction date in the decade 1938-1948. Notwithstanding this, and their role as an early example of a later common type across the farm, the Grading of IIIC (within the higher graded landscape and heritage context) is deemed to still apply.

The broader themes identified in the Baseline Study remain relevant as a point of departure for discussing indicators, though the Nieuwedorp site has different and specific aspects to it.

Indicators adopted from the Boschendal Heritage Impact Scoping Report (Baumann et al., 2012)

The Boschendal Heritage Impact Scoping Report (Baumann et al., 2012) includes valuable mapping of “composite indicators” for the Groot Drakenstein-Simondium Valley. These maps were based on specialist studies, and developed through rigorous on-site analysis that has taken place over many years (Louw and Dewar, 2005; Pastor-Makhurane, 2005; Winter and Baumann, 2006; Dewar and Louw, 2007). They further served to inform the most recent heritage assessments of Boschendal (Baumann et al., 2017) and have been reviewed and supported by Heritage Western Cape in their assessment of the Boschendal Village application; as such they can be considered accepted base maps for further heritage analysis.

Two important issues underpin these indicators (Dewar and Louw, 2007). The first of these is the exceptionally high significance of the landscape which “demands that a conservative view must be taken to any development application, to ensure that the character and quality of the area as a totality is not compromised” (Dewar and Louw, 2007: 4).

The second is the necessary recognition that “the natural landscape is

an essential part of the heritage of the area; the cultural landscape is a central dimension of the environment” and that “[t]hey therefore cannot be approached as separate processes” (Dewar and Louw, 2007: 4).

Baumann et al. (2015: 4) note the following regarding their approach to regional settlement formation:

[It] was driven by a concern with authenticity...[and] to be authentic, settlement could not simply be scattered anywhere. Rather, each new development parcel should contribute to an emerging and strengthening system, where the different elements of the system lean synergistically on each other. The settlement system should relate to historical investments in infrastructure: the settlement zones should be concentrated within the zones of influence of two emerging, hierarchical, regional corridors effectively confining settlement to the periphery of the working farm.

In terms of settlement the key principles identified were seen as being central to authenticity:

- maintaining the dominance of wilderness and the working agricultural landscape;
- maintaining and enhancing continuities (of green space and of movement);
- respecting the valley section – no development on ridge-lines, steep slopes or public view-cones; and building on the agricultural superblock.
- the overall approach is one of consolidation and integration, not scatter.

E.1 BROADER LANDSCAPE SCALE INDICATORS FOR DEVELOPMENT

1. Ridge-lines, land steeper than 9° and elevated slopes, i.e. above the 320m contour line are identified as no-go areas.
2. No building is indicated for sites on good agricultural soils or embedded

moderate soils. (This would not apply to existing buildings or development which is supportive of an agricultural use).

3. Areas within the 100 year floodplain, wetlands, areas prone to flooding and riverine corridors, are categorised as potential no-go areas, as are areas of high/moderate biodiversity value dependent on the site specific environmental risks.
4. Rare and endangered indigenous fauna/flora that mainly occurs on the upper slopes of Simonsberg mountain and around wetland areas of the Groot Drakenstein require protection and promotion, while migratory paths also require consideration.
5. The Heritage and Cultural landscape map (Figure 27) identifies the historic farm werfs of the valley including inter alia Nieuwedorp. Any proposed work within this area should be limited, of low or no impact and should ultimately maintain and enhance heritage significance.
6. New development should integrate with existing settlement and route structures, while previous interventions that are at odds with historic settlement patterns should not be repeated or reinforced.

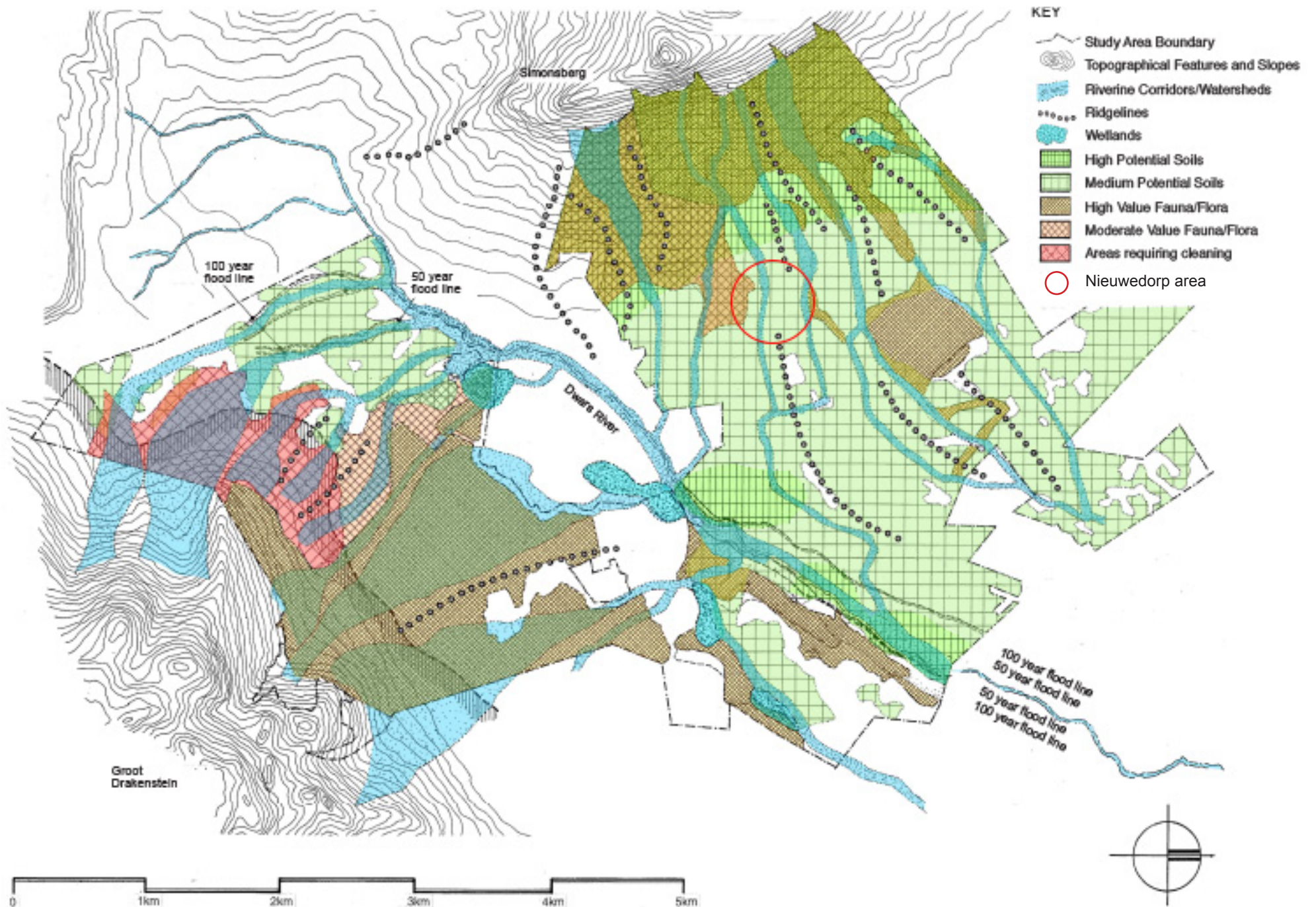


Figure 26: Natural landscape constraints and informants, Groot Drakenstein and Simondium valley (Source: Baumann et al. 2012).

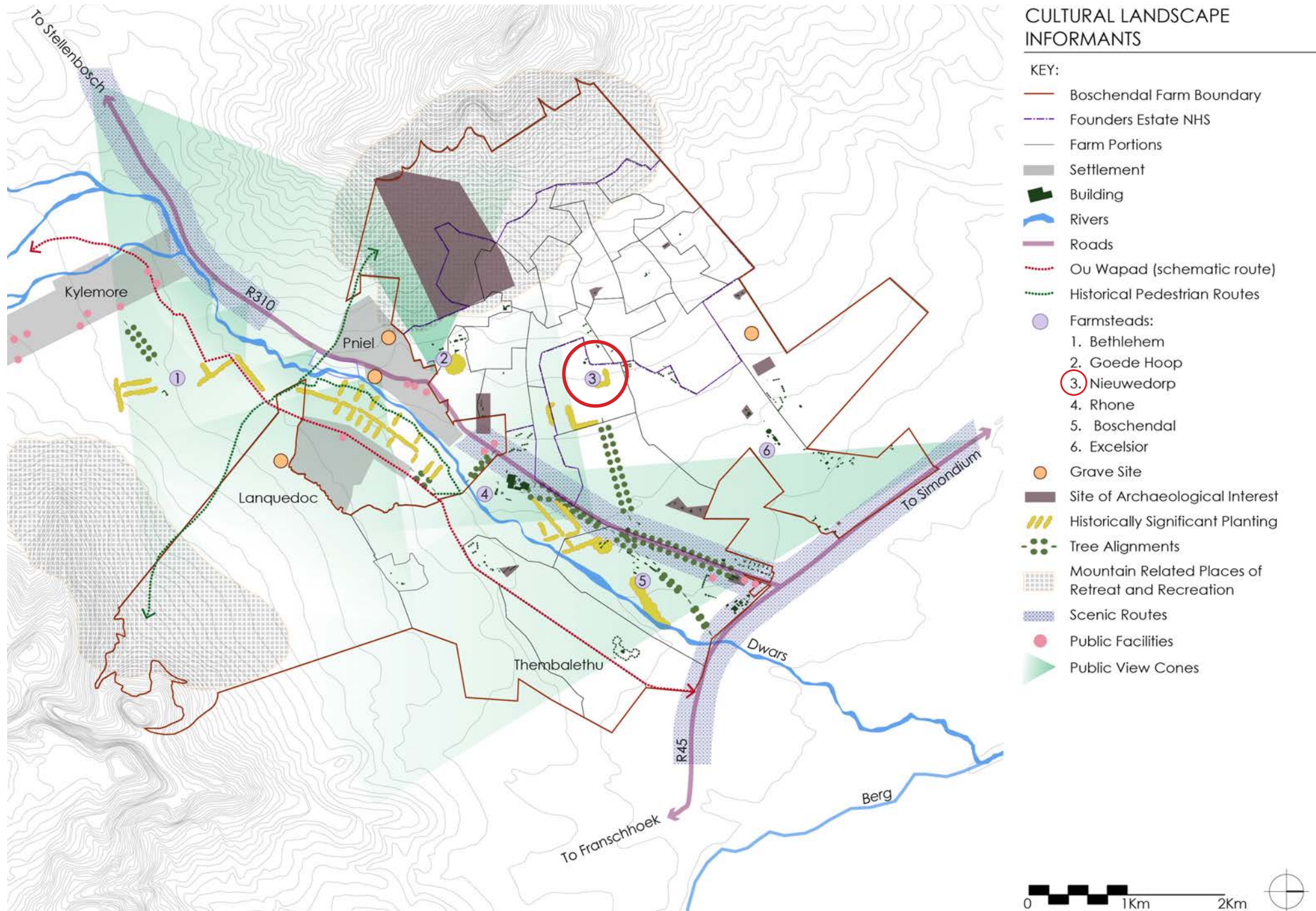


Figure 27: Cultural landscape informants (Source: RSA 2019).

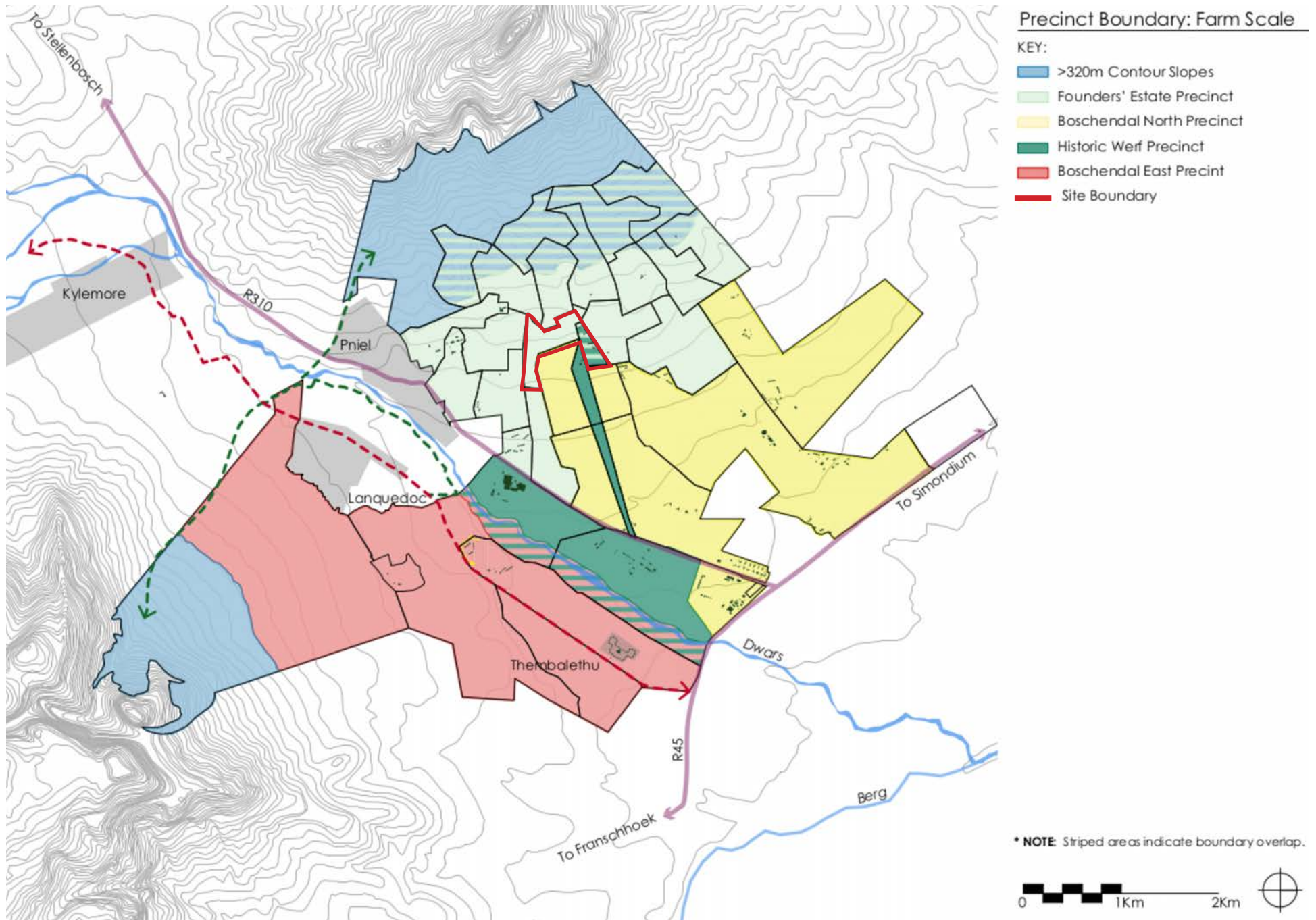


Figure 28: *Boschendal farm precinct identified map (Source RSA 2019).*

E.2 SITE SCALE INDICATORS

RSA (2019) identified 3 Overarching Principles with regard to the re-use of the farm workers cottages and the principles of Restorative Redevelopment:

- All proposed interventions should consider how the interface with pre-existing and pre-approved developments can be mitigated and refocused to achieve overall coherence. The process may therefore be iterative.
- Each development should be cognisant of the principles and attitudes of Restorative Redevelopment and thus should motivate how the redevelopment confronts and applies these principles and attitudes.
- Restorative Redevelopment seeks to address the legacy of commerce and private economic gain of the farm vis-à-vis the constituents of the surrounding valley. As such it is important that each intervention balances the economic sustainability of Boschendal as a business, with the aims of the economic and spatial justice principles of Restorative Redevelopment.

The subject site of the 4 Nieuwedorp cottages is both part, of and a forerunner to, the general 1970s/80s farm clusters as well as being a separate and somewhat special case. In form, materiality and usage, the cottages have much in common with the later developments. However, their age, layout and landscape position render them somewhat unique:

- These cottages are located within the Nieuwedorp ensemble, comprising the homestead, historic barn and the 4 cottages, sequenced along a linear road between vineyards and fruit tree groves.
- The site is undulating and has a strong visual presence in the immediate context and is visible from various vantage points.
- The site lies within the Founders' Estates NHS and has visual-spatial and historical linkages with Rhodes Cottage which falls within the historic core, which is to be included in the upcoming Historic Core CMP (refer to previous page, Figure 28, Boschendal farm precinct identified map).
- The cottages have a more rectilinear and formalised site layout, compared to the later more randomly grouped cottages sited on more desolate parts of the farm.

Notwithstanding these differences, the core attitudes and questions relating to the repurposing of farm cottages and the principles of restorative

redevelopment apply at the site scale and can be attained by:

- Foregrounding silenced narratives;
- Retelling the history of the farm through positive interventions that illustrate the multiplicity of stories relevant to the farm's heritage;
- Fostering linkages across the farm between settlements with historic links to it;
- Restoring and promoting the heritage significance and value of sites and features beyond the historic werfs and cores.

The Baseline Study (RSA 2019) noted:

When framing possible development on the farm within a system of balance, it becomes apparent that it is beyond the scope of a high level assessment such as this to set absolute limits on developments, or to determine carrying capacities. Rather, this study sets out to show that future development needs to address to a series of issues, as posed in the informing principles presented here. Any proposed development would then need to be evaluated on a case by case basis through consideration of how it addresses those issues, and responds to those challenges. This evaluation should be undertaken through the vehicle of a full farm SDP or individual HIAs.

It falls therefore to this Heritage Report to assess any implications for this site in terms of the broader narrative.

Sprawl:

In order to avoid sprawl, the location, density and distribution of development across the farm needs careful consideration and limitations need to be imposed. As such, developments that recreate organic, historic settlement patterns, i.e. in clusters around transport nodes and in ribbons along route alignments, should be encouraged. Where past social and economic circumstances or agendas have led to unfortunate settlement locations or development nodes, these should not be perpetuated and, rather, where the opportunity arises to remedy these developments, this should be undertaken.

Retention of authenticity:

- Maintain the dominance of wilderness and working agricultural landscape;

- Maintain and enhance continuities (of green space and of movement);
- Respect the valley section;
- No building on the agricultural superblock.

Rural Form and Coherence:

This principle speaks to the need to maintain and enhance rural land use patterns and ensure that the development neither disrupts traditional settlement patterns nor constitutes residential sprawl or the suburbanisation of rural spaces. Landscape character is predominantly wilderness and agricultural, and development must respect and maintain that dominance.

Balancing economic and social aspects:

The notion of balance arises from an understanding that, for both commercial and social enterprises on the farm to prosper, they need to work in collaboration and in harmony, and that promoting one at the expense of the other would be unsustainable and unfeasible.

While not every project will directly serve the purposes of social and economic redress, this can be attained through a farm-wide commitment to seek balance between commercial developments and those promoting active social redress. The pursuit of balance will allow the implementation of both commercial and social programmes on the farm that do not operate at the expense of one another, but rather are mutually beneficial (RSA 2019).

Cottage Clusters:

The redevelopment or adaptive reuse of existing infrastructure is considered preferable to the development of new areas, the construction of new buildings or the loss of rural land. Therefore, the design should seek to retain the form and siting of the cottages and to minimise the impact of additional areas on the site.

The strategic location of cottage clusters needs to be considered when assessing their suitability for redevelopment or adaptive reuse.

In this, the Nieuwedorp cluster site can be seen as a case in which the primary indicator and social imperative is not necessarily redress given its location, small scale and distance from areas with strong and ongoing links to surrounding settlements.

Pedestrian linkages:

The cottages are aligned along a farm access road which lends a strong visual character in the sequence of revealing the various buildings and an ordering mechanism to the placement of the cottages. The design should utilise and respect this alignment in forming the design response.

Access and Parking:

- Access roads should utilise existing farm roads and tracks wherever possible.
- Driveways to follow the contours to minimize cut and fill and should be obscured from view as far as possible, and visually fragmented by appropriate landscaping and planting.
- Driveways and parking should preferably not be under hard surfaces, and be consistent with a rural character of the estate. Materials to be considered in a landscape plan include grass, gravel, laterite, exposed aggregate concrete/pavers, cobbles and clay bricks.
- Parking areas should be obscured from view as far as possible, and visually fragmented by appropriate landscaping and planting.
- Road edges should not be hard landscaped.

Indicators Related to the site scale:

1. The reuse needs to maintain the agricultural character of the site and not create a domestic or semi-suburban compound.
2. Any alterations need to take into account visual impact from the main NE-SW farm road and tree avenue as well as key views down to the site from the dam to the west and from behind Rhodes' Cottage (Cottage 1685) to the south.
3. The dominant alignment of the 4 cottages at 90 degrees to the road should inform any alterations and extensions
4. Additions should be seen as secondary, ancillary structures and not dominate the low key landscape character of the site or indeed of the simple pitched roofed cottages themselves.
5. The landscaping of the site should remain rural and informal. Hard, paved surfaces are to be avoided or minimised.
6. Walls and fences are to be avoided.
7. The potential archaeological significance and sensitivity of the site should be addressed in terms of the archaeological monitoring of earthworks.

HERITAGE DESIGN INDICATORS: SITE SCALE

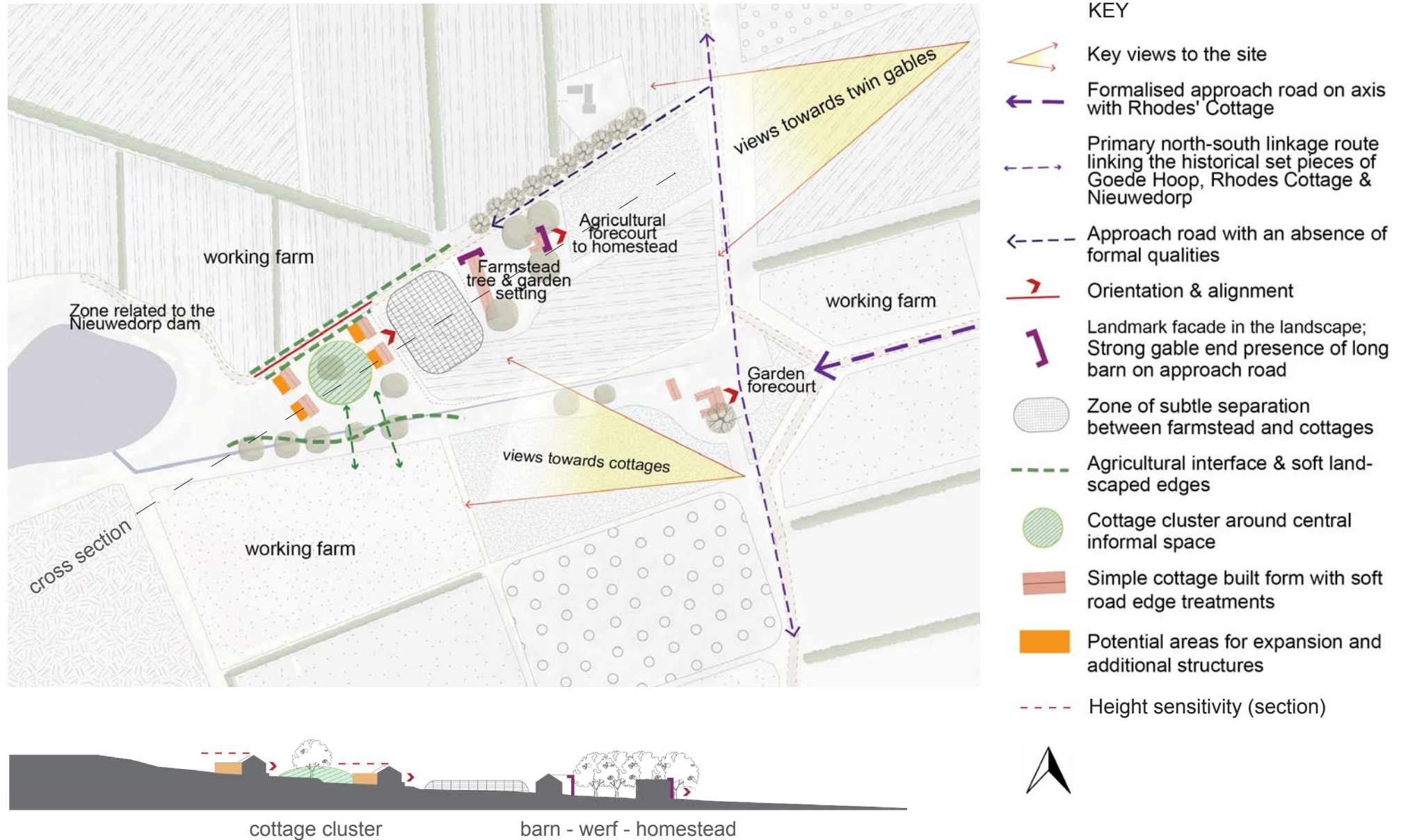


Figure 29: Heritage design indicators: site scale

E.3 BUILDING SCALE INDICATORS

Design principles speak to the materiality of structures, landscape features and built forms.

Form:

- Traditional vernacular forms, allowing for the multiplicity of vernacular forms should be employed in the redevelopment of existing infrastructure or the construction of new buildings and low-key additions where this is necessary. Additions could therefore create a dialogue between the simple, unremarkable original form and the dominant character of the site.
- Modest-scale, understated modern structures may be inserted where these do not dominate or detract from the dominant rural character.

Height:

Structures should not exceed single storey height to ensure that patterns and rhythm of traditional forms are respected. Any deviations from this would need to be carefully tested on a case by case basis in order to verify whether the additional height should be permitted.

Materials:

- The materiality of existing infrastructure should be respected and redevelopment of such structures should make use of appropriate materials that reflect the origin of these structures and not “aggrandise” their character. This should not be taken to mean, however, that no change is permissible, merely that a sensitive design approach is required which does not gentrify the character of the cottages.
- Where replacement of elements, such as asbestos roofing with corrugated iron, will enhance a structure, this should be considered.
- Modern materials can be considered for use on new structures or additions to existing structures only where these do not detract from the original or become visually dominant.

Indicators related to the building scale:

1. The subsidiary, modest, domestic scale of the grouping should remain unaltered.

2. Physical changes to the cottages should be modest in nature and not overwhelm or obscure their inherent character and form
3. The location, orientation and arrangement of the cottages in the landscape should be retained or reflected in any additional structures.
4. The pattern of cottage gardens set in the wider and more informal rural landscape should be reflected and developed going forward
5. The architectural strategy related to the cottages elsewhere on the farm has included various strategies that reasonably could be employed either on their own or as a mixed approach. These are; (i) interpretive adaptive reuse, (ii) renovation and refurbishment and (iii) demolishing and rebuilding.
6. The interpretive adaptive reuse strategy (i) is a valid approach, but is not easily achieved with the modest 20th fabric and there is a danger of mis-representing the largely social significance of this layer.
7. The more radical demolish and rebuild strategy (iii) can only be considered where the state of the remaining structure is so poor as to make renovation difficult.
8. The renovation and refurbishment strategy (ii) along with modest and clearly defined additional layers remains the preferred strategy and is appropriate at the Nieuwedorp cottages.
9. Such renovations and extensions need to remain low-key to be meaningful, and should respond to the particular site’s and precinct’s conditions to avoid losing authenticity, meaning or significance.
10. The sloping site section confirms the need to place any new build areas discreetly and without dominating the site or the existing cottages. It also confirms that a single storied intervention is the correct response.
11. Any add-ons should be placed to the rear/ S-W sides as rear extensions.
12. The scale and form of new areas should relate to the existing width module. If directly attached, the width should generally be of similar width to the house. Alternately, the extension can be achieved by means of an L-shaped wing with a courtyard gap space. In this case, both the courtyard and rear wing should be of similar width to the cottage and relate to the house.
13. In all cases, the intention is for the original, simple cottage form to remain legible in the landscape in terms of scale, form and massing, together with architectural elements such as doors, windows and pergolas.

HERITAGE DESIGN INDICATORS: BUILDING SCALE

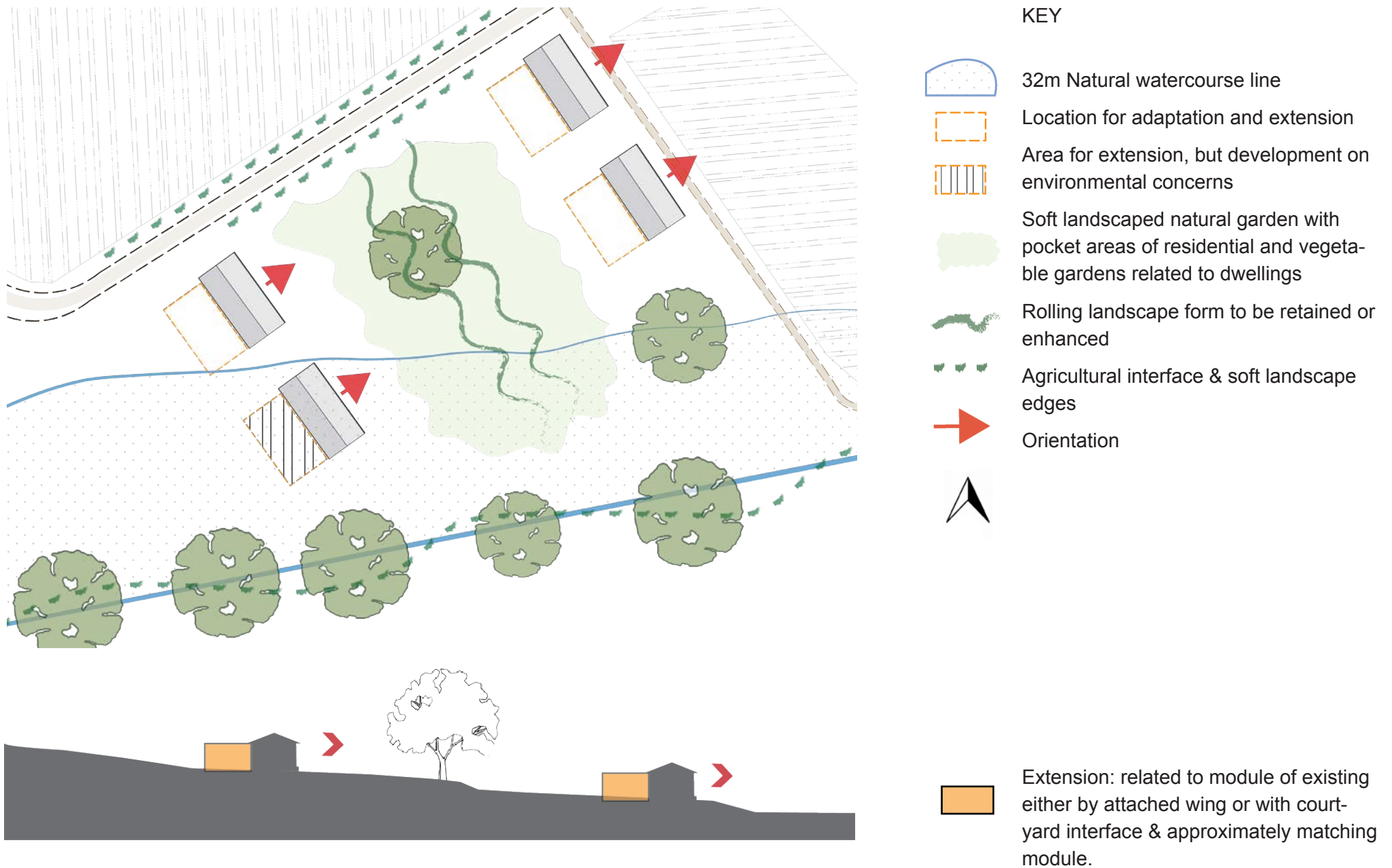


Figure 30: *Heritage design indicators: building scale*

SECTION F: THE DEVELOPMENT PROPOSALS AND CONSIDERATION OF ALTERNATIVES

The proposal sees each of the four semi-detached dwellings consolidated to become an independent house. Two design approaches have been considered. See full design pack in Annexure.

One of the four existing cottages retained, in its existing massing, as a representation of the past form and function. The other three cottages will be altered and extended to L-shape, with the demolition of the back kitchens and bathrooms replaced by low-rise elements in a scale and form that is appropriate to the existing, but clearly distinguishable from it.

F.1. PROPOSED WORKS

(Extract adapted from Architectural Design Statement by Johann Slee, Slee & Co Architects Pty Ltd)

Massing and structure:

- The main massing of the existing cottages will be retained as their north-eastern facades are essential to their character. Individual step threshold is to be extended to a connecting stoep. The windows are replaced with double doors opening onto this proposed stoep.
- The existing kitchen and bathroom space will be demolished to reduce risk of working on water-damaged foundations.
- This demolition will allow for new additions to attach onto existing main mass.
- The proposed intervention remains single storey to retain the low-rise character of the farm.
- The remaining historical structures will be reinstated and will house proposed new bedrooms.
- The north-eastern facades' windows are replaced with double doors which open onto proposed new 'stoep', retaining the facades' fenestration proportions.

Bathroom masses are attached to the side of historical masses, remaining below wall plate level to allow for existing roof structures form to be expressed.

The roof's structure remains with new corrugated sheeting and gutters replacing the existing rusted roof sheeting. In addition to the north-east facades planned stoep, a lightweight pergola structure with indigenous creepers is proposed to control solar heat gain.

The proposed addition to cottages is shaped to create a wind protected courtyard, allow for northern orientation for living spaces, as well as maximise on mountainous views. Roofscapes of proposed interventions will be a mixture between shed shaped and flat roof structures to clearly define old building and additional buildings. Connection between existing mass and new mass will be through a narrow mass with flat roof, connected to proposed L-shaped mass with shed roof structure.

Materiality of proposed additions:

- Masonry construction to match the existing in terms of undulated plaster and painted facades
- S-profile roof sheeting
- Aluminium and double glazed windows and doors to account for solar heat gain.
- Planted pergola structures over stoep areas to provide shelter to open stoeps, and create links between old and new facades.

Landscaping:

The natural re-wilding since the cottages were vacated presents the opportunity for indigenous flora to return to the area. The intention is to retain much of the existing infrastructure and flora, to keep to the farm character and create as little visual impact on surrounding landscapes and buildings as possible.

- Existing established trees surrounding the site will be retained and trimmed by professional arborists where necessary.

- The landscape intention is to create an indigenous fynbos veld garden to the cottages' surrounds
- Cottage courtyards fenced with indigenous hedges to allow owners to curate a secure garden environment for pets and children.
- Hedging of swimming pool area for safety (SANS 10400 part D).

- Formalising of central swimming pool, cottage courtyards and circulation areas. This is subject to a landscape plan including use of materials with preference to limiting hard surfacing.
- Access by the existing road which runs along the north-east edge of the site; road surfaced with gravel or suitable alternative surface treatment as per heritage indicators on page 38.

Scale in landscape retained:
low-rise densification of cluster

Front elevations
largely unaltered

Development to
rear of structures



Cottage form retained as
representational example
(limited alteration)

Soft edges;
agricultural interface

Enclosed courtyard
gardens



Informal natural landscape
between structures

Extended stoep added to
front elevation

Figure 31: Annotated 3D renders (Source: Extracts from drawings by Slee & Co Architects (Pty) Ltd.).

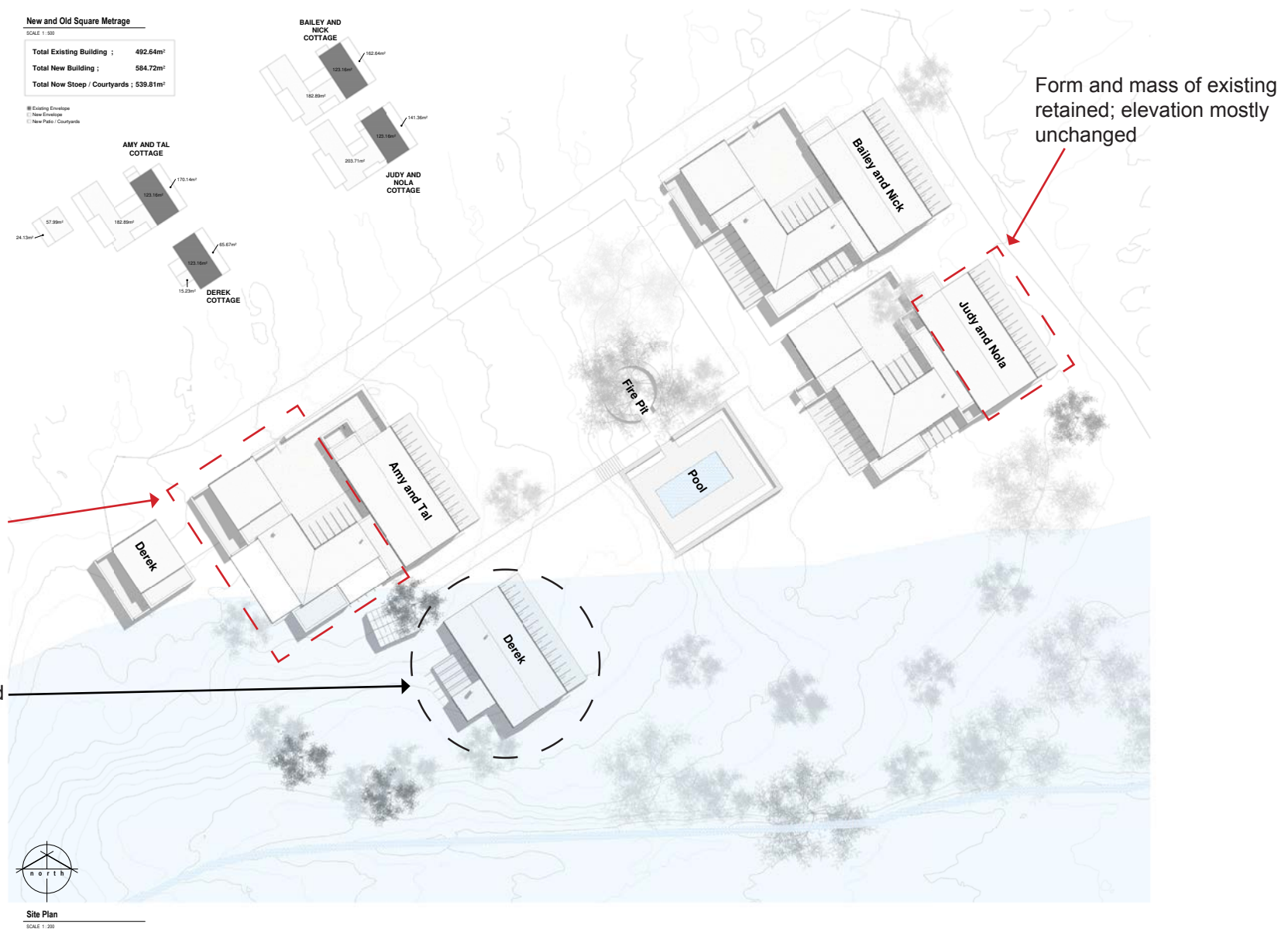


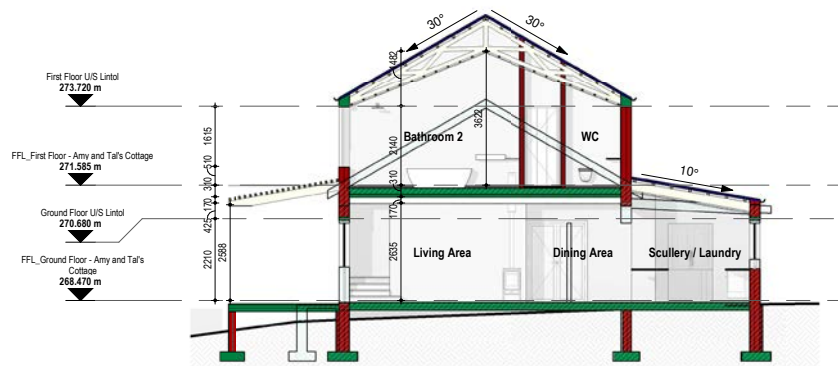
Figure 32: Annotated site plan (blue shading represents flood plain) (Source: Extract from drawings by Slee & Co Architects (Pty) Ltd.).

F.2 CONSIDERATION OF ALTERNATIVES

Extracts from the earlier proposal by Slee and Co Architects Pty Ltd - two storey structures - reconsidered as being inappropriate to in terms of visual impact, “embedded” quality and simple typology of the existing structures.

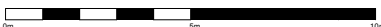


FFL First Floor - Judy and Nola's Cottage
SCALE 1:100

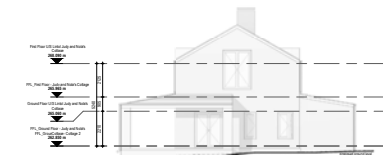


Existing Walls
Typical Section AA

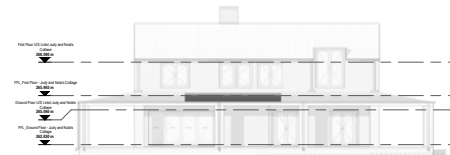
SCALE 1:100



S-W Elevation Judy and Nola
SCALE 1:100



S-E Elevation Judy and Nola
SCALE 1:100



N-E Elevation Judy and Nola
SCALE 1:100



N-W Elevation Judy and Nola
SCALE 1:100

SECTION G: ASSESSMENT OF HERITAGE IMPACTS

The principle of the adaptive reuse of the four cottages was supported from a heritage perspective at the start of the design development process. However, it was indicated that given the NHS status of the landscape context and the suggested Grade IIIA heritage status of the Nieuwedorp farmstead, a number of heritage indicators needed to be taken into account. Careful consideration needed to be given to the following primary issues:

- The scale, massing, form, architecture and landscaping treatment of the interventions to ensure that the cottages remain subsidiary to main historical buildings with an understanding of slope conditions and built form relationships (i.e. the cross section).

- Elements of the simple rural cottage typology being retained as opposed to implying a total 'rebuild' and incorporation of built form and decorative elements which are urban/suburban in character and a superimposition on a rural landscape.

The current proposals which are the subject of this impact assessment have successfully addressed the abovementioned issues and provide a good precedent for the adaptive reuse of farm cottages within the Founders Estates NHS, Boschendal Estate and the Cape Winelands Cultural Landscape.

This section of the report systematically assesses the proposals in terms of the heritage indicators outlined in Section E and at the three scales; broader landscape, site and building scales.

G.1 BROADER LANDSCAPE SCALE

HERITAGE INDICATOR	CONVERGENCE OF PROPOSALS & INDICATORS	COMMENT
1. Ridge-lines, steep and elevated slopes, i.e. above the 320m contour line, are identified as no-go areas.	Positive	The existing development footprint is not located on a visually exposed or steep slope; it is located below the 320m contour.
2. No building on good agricultural soils or embedded moderate soils.	Positive	The proposed development involves an existing development site as opposed a "greenfield" site.
3. No building within the 100-year floodplain, wetlands, areas prone to flooding and riverine corridors categorised as areas of high/moderate biodiversity value.	Positive	There are no environmental triggers in terms of the EIA regulations with a low risk from an ecological perspective.
4. No building in areas of high/medium bio-diversity value.	Positive	There are no environmental triggers in terms of the EIA regulations with a low risk from an ecological perspective.
5. New building development within a significant farm werf context should be limited, of low or no impact and should maintain and enhance heritage significance.	Positive	New building development is limited to the rear extension of existing farm cottages and has low heritage impact on the significance of the werf as a whole. The current degraded condition of the cottages will be enhanced in term of their adaptive reuse.
6. Integrate new development with the inherent logic of existing settlement patterns and route structure; do not repeat or reinforce settlement patterns at odds with this pattern and structure.	Positive	The proposed development involves the adaptive reuse of the existing settlement which displays an inherent logic and settlement-making qualities in the landscape, and makes use of existing road infrastructure.

G.2 SITE SCALE

HERITAGE INDICATOR	CONVERGENCE OF PROPOSALS AND INDICATORS	COMMENT
1. The reuse needs to maintain the agricultural character of the site and not create a domestic or semi-suburban compound.	Positive	The character of the interface of the site with its agricultural setting will be maintained. The landscaping intent is for the site to remain informal with no hard surfacing and the use of hedges as a screening device rather than boundary walls. However, it is recommended that the proposals be subject to a Landscape Plan.
2. Alterations need to take into account visual impact from the main north-south farm road and tree avenue as well as keys views down to the site from the dam to the west and from behind Rhodes' Cottage to the south.	Positive	The proposals will have minimal visual impact on primary views with new extensions discretely placed to the rear of the cottages and appropriately scaled. The main massing and front elevation of the cottages which are essential to their character will be retained.
3. The dominant alignment of the 4 cottages at 90 degrees to the road should inform any alterations and extensions	Positive	The alignment of the cottages in relation to the road has been retained.
4. Additions should be seen as secondary, ancillary structures and not dominate the low-key landscape character of the site or indeed of the simple pitched roofed cottages themselves.	Positive	The new extensions are discretely placed to the rear of the cottages and appropriately scaled. The main massing and front elevation of the cottages which are essential to their character will be retained.
5. The landscaping of the site should remain rural and informal. Hard, paved surfaces are to be avoided or minimised.	Positive	The landscaping intent is for the site to remain informal with use of gravel pathways and minimal hard surfacing, and the use of hedges as a screening device rather than boundary walls. However, it is recommended that the proposals be subject to a Landscape Plan.
6. Walls and fences are to be avoided.	Positive	The landscaping intent indicated the use of hedges as a screening device rather than boundary walls.
7. The potential archaeological significance and sensitivity of the site needs to be addressed in terms of the archaeological monitoring of earthworks.	Undetermined	Prior to work commencing on site including the laying of new services, an archaeological monitoring programme must be determined by a professional archaeologist in consultation with the contractor. This will outline the timing and frequency of monitoring and what to do in the event that archaeological material is found including possible mitigation measures.

G.3 BUILDING SCALE

HERITAGE INDICATOR	CONVERGENCE OF PROPOSALS AND INDICATORS	COMMENT
1. The subsidiary, modest, domestic scale of the grouping should remain unaltered.	Positive	The subsidiary and modest scale of the main massing and front elevation of the cottages have been retained. The additions are discretely placed to the rear of the cottages and are appropriately scaled.
2. Physical changes to the cottages should be modest in nature and not overwhelm or obscure their inherent character and form.	Positive	The changes to the cottages are modest in terms of the main massing and front elevation of the cottages which are essential to their character will be retained
3. The location, orientation and arrangement of the cottages in the landscape should be retained or reflected in any additional structures.	Positive	The placement of the cottages in the landscape has been retained.
4. The pattern of cottage gardens set in the wider and more informal rural landscape should be reflected and developed going forward.	Positive	The landscaping intent is for the site to remain informal with use of gravel pathways and minimal hard surfacing, and the use of hedges as a screening device rather than boundary walls. However, it is recommended that the proposals be subject to a Landscape Plan.
5. Consideration of the best heritage option in terms of an architectural strategy; (i) interpretive adaptive reuse, (ii) renovation and refurbishment and (iii) demolishing and re-building.	Positive	The best heritage option is one of renovation and refurbishment which has been adopted in the design proposals.
6. The interpretive adaptive reuse strategy (i) is not easily achieved with the modest 20 th century fabric and there is a danger of mis-representing the largely social significance of this layer.	Positive	This approach has not been adopted in the design proposals.
7. The more radical demolish and rebuild strategy (iii) can only be considered where the state of the remaining structure is so poor as to make renovation difficult.	Positive	This approach has not been adopted in the design proposals.
8. The renovation and refurbishment strategy (ii) along with modest and clearly defined additional layers remains the preferred strategy and is appropriate at the Nieuwedorp cottages.	Positive	The best heritage option is one of renovation and refurbishment which has been adopted in the design proposals.

9. Renovations and extensions need to remain low-key and should respond to the particular site conditions to avoid losing authenticity, meaning or significance.	Positive	The extensions are low-key in terms of being discretely placed to the rear of the cottages and appropriately scaled. The main massing and front elevation of the cottages which are essential to their character will be retained.
10. Positive response to sloping site section with new build areas discretely and without dominating the site or the existing cottages. It also confirms that a single storied intervention is the correct response.	Positive	The design proposals have respond positively to the slope condition with the main massing and front elevation of the cottages remaining single storey and new additions being discretely placed to the rear and appropriately scaled.
11. Add-ons should be placed to the rear/ S-W sides as rear extensions.	Positive	New extensions are to the rear of the cottages.
12. The scale and form of new extensions should relate to the existing width module; either attached of similar width to the house; alternatively, with an L-shaped wing and courtyard gap space. In this case, both the wing and courtyard should be of similar width to the cottage.	Positive	The scale and form of the L- shaped wing and courtyard is of similar width to the cottage
13. The original, simple cottage form to remain legible in the landscape in terms of scale, form and massing, together with architectural elements such as doors, windows and pergolas.	Positive	New extensions are to the rear of the cottages with the original simple form of the cottage remaining legible and the front elevation remaining uncluttered.

SECTION H: OUTCOME OF THE CONSULTATION PROCESS

The Heritage Statement is to be submitted to the following local registered heritage conservation bodies for comment:

- Pniel Heritage and Cultural Trust
- Franschhoek Heritage and Ratepayers Association
- Stellenbosch Interest Group
- Stellenbosch Heritage Foundation
- Drakenstein Heritage Foundation

Given the location of the site within the Dwars River Valley Rural Conservation Area in terms of the SM ZSBL, the Heritage Statement will also be submitted to the Stellenbosch Municipality Heritage Section of the Department of Spatial Planning, Heritage and Environment for comment.

SECTION I. CONCLUSIONS

The Kropman Village cottages are of suggested Grade IIIC heritage value being largely of contextual value as a grouping. The proposed adaptive reuse of the farm cottages has followed a cautious heritage management approach given the outstanding heritage significance of the landscape context including the location of the cottages within an NHS and forming part of a farm werf of suggested Grade IIIA heritage value. The heritage significance of the cottages is expanded in detail in Section D of the report with this significance expressed at three scales; the broader landscape, site and building scales.

This assessment has required the overarching heritage management principles of authenticity and integrity to be interrogated ranging from an understanding the inherent logic of where and how settlements occur in the landscape from an environmental and place-making perspective; to formulating an in-principle position around the adaptive reuse of the 20th century building type associated with farm labour across the estate; to understanding the built form and landscape qualities of the Kropman Village cottages being embedded within a working farm and in relation to the Nieuwedorp homestead. The outcome of this interrogation is included in Section E of the report including heritage indicators at the three scales; the broader landscape, site and building scales.

The principle of the adaptive reuse of the four cottages was supported from a heritage perspective at the start of the design development process highlighting the need for the following primary heritage issues to be addressed:

- The scale, massing, form, architecture and landscaping treatment of the interventions to ensure that the cottages remain subsidiary to main historical buildings with an understanding of slope conditions and built form relationships (i.e. the cross section).
- Elements of the simple rural cottage typology being retained as opposed to implying a total 'rebuild' and incorporation of built form and decorative

elements which are urban/suburban in character and a superimposition on a rural landscape.

The current proposals have successfully addressed the abovementioned issues and provide a good precedent for the adaptive reuse of farm cottages within the Founders Estates NHS, Boschendal Estate and the Cape Winelands Cultural Landscape. The outcome of the assessment of heritage impacts demonstrates a high level of convergence of the proposals with the heritage indicators.

SECTION J: RECOMMENDATIONS

It is recommended that SAHRA approve the application and issue a permit in terms of Section 27 (18) of the NHRA for the alterations of the Kropman Cottages subject to the following conditions of approval:

1. The submission of a Landscape Plan to SAHRA to be prepared by a Landscape Architect with experience working in a significant heritage context and the plan to be informed by the heritage related landscaping indicators in Section E of the report.
2. The monitoring of earthworks by a professional archaeologist. Prior to work commencing on site including the laying of new services, the archaeologist will need to meet with the contractor to discuss the monitoring programme. The frequency of on-site monitoring is largely dependent on the co-operation of the contractor to report archaeological finds in the event of such being uncovered. If protected archaeological material is found, the matter will need to be reported to SAHRA after which will follow a decision on suitable mitigation will be made in consultation with the owner. Mitigation in this case refers to recording and removal of the features, adjusting plans so that it can be avoided or even incorporated into new structures.
3. The preparation of a close out report to SAHRA upon practical completion of the building work.

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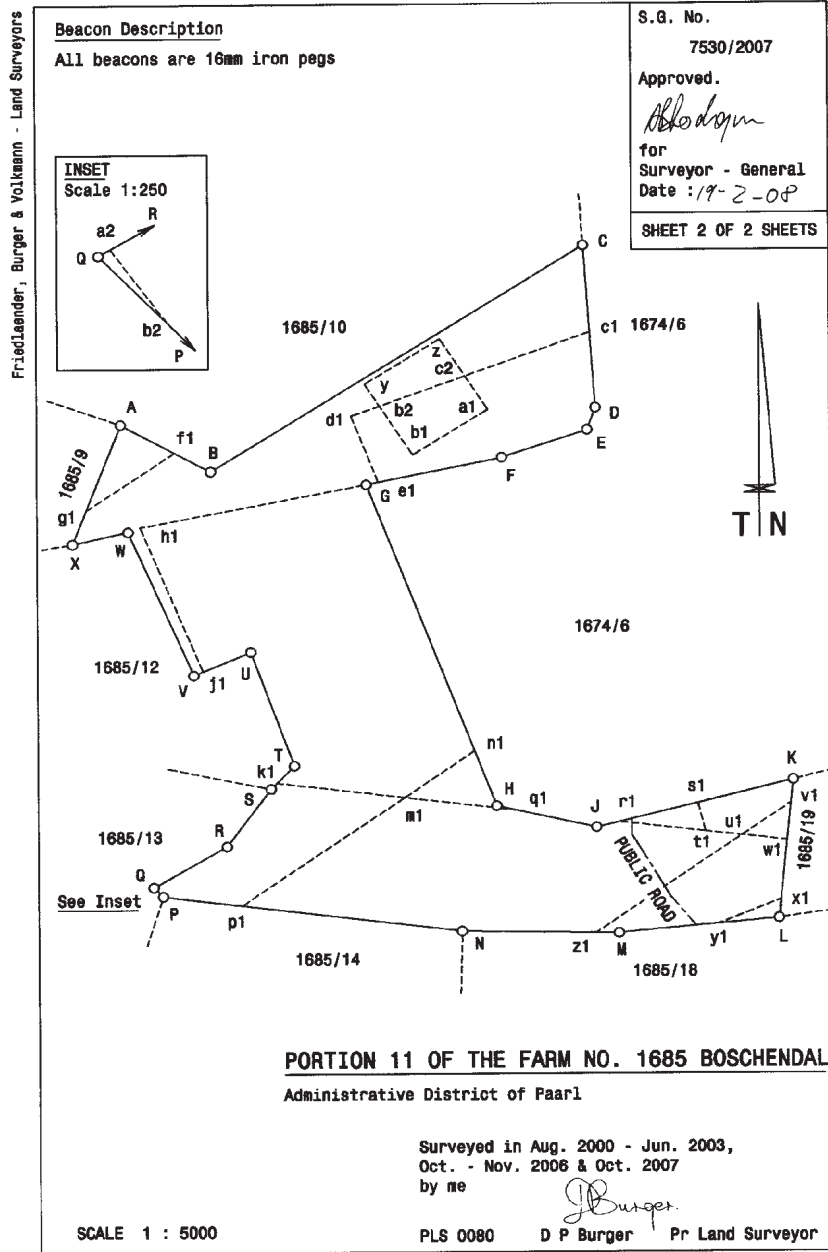
ANNEXURES

TO

HERITAGE STATEMENT

KROPMAN VILLAGE, NIEUWEDORP, FOUNDERS' ESTATES NATIONAL HERITAGE SITE,
BOSCHENDAL FARMLANDS, DWARS RIVER VALLEY, STELLENBOSCH

*Application submitted to SAHRA in terms of Section 27 of the NHRA (Act No. 25 of 1999) for:
Alterations and Additions to Four Farm Cottages*



S.G. No.
7530/2007
Approved.
D P Burger
for
Surveyor - General
Date : 19-2-08

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES System WG 19°		S.G. No. 7530/2007
		Y	X	
Constants :		0,00	0,00	Approved. <i>D P Burger</i> for Surveyor - General Date : 19-2-08
AB	103,47 299 16 00	A + 4420,55	+ 3750268,08	
BC	447,15 237 16 30	B + 4330,29	+ 3750318,66	
CD	175,10 356 06 00	C + 3954,11	+ 3750076,93	
DE	25,14 19 41 20	D + 3942,20	+ 3750251,82	
EF	91,18 71 13 20	E + 3950,87	+ 3750275,29	
FG	139,81 78 10 50	F + 4037,00	+ 3750304,64	
GH	369,65 339 24 50	G + 4173,85	+ 3750393,28	
HJ	103,56 283 02 30	H + 4043,87	+ 3750679,32	
JK	205,93 255 47 40	J + 3942,98	+ 3750702,89	
KL	149,63 5 49 10	K + 3743,35	+ 3750652,14	
LM	163,04 84 28 20	L + 3758,52	+ 3750801,00	
MN	158,49 90 52 00	M + 3920,81	+ 3750816,66	
NP	303,19 97 12 40	N + 4079,28	+ 3750814,26	
PQ	13,59 136 20 50	P + 4380,07	+ 3750776,20	
QR	85,91 239 13 30	Q + 4389,45	+ 3750766,37	
RS	76,32 215 36 40	R + 4315,64	+ 3750722,41	
ST	34,13 223 39 30	S + 4271,20	+ 3750680,36	
TU	129,77 180 31 20	T + 4247,64	+ 3750635,87	
UV	62,41 66 33 20	U + 4290,91	+ 3750513,33	
VW	168,15 157 08 50	V + 4348,17	+ 3750538,16	
WX	57,23 76 47 20	W + 4413,47	+ 3750383,21	
XA	137,13 200 46 30	X + 4469,19	+ 3750396,29	
497	PNIEL Δ +	3832,38	+ 3751650,78	
498	RHODESDAM Δ +	4138,34	+ 3749355,50	

Friedlaender, Burger & Voikmann - Land Surveyors

Note:
The figure ABCDEFGHJKLMNPQRSTUWVX excluding figure yza1b1 represent a leasehold area, vide Diagram No. 7519/2007, D/T 3515/2008

The figure ABCDEFGHJKLMNPQRSTUWVX represents 20,4928 hectares of land, being
PORTION 11 OF THE FARM NO. 1685 BOSCHENDAL

Situate in the Stellenbosch Municipality
Administrative District of Paarl Province of Western Cape
Surveyed in Aug. 2000 - Jun. 2003,
Oct. - Nov. 2006 & Oct. 2007 by me *D P Burger*
PLS 0080 D P Burger Pr Land Surveyor

This diagram is annexed to No. T 73864/2008 Dated i.f.o.	The original diagram is No. 7518/2007 Annexed to Filed as Plan No. 7518/2007	File No. Parl.1685 S.R. No. 3226/2007 Comp. BH-8DBB (3779)
Registrar of Deeds	LPI COS50000	

APPROVED IN TERMS OF SECT. 4 OF ACT 70/1970
REF. 3998.4
DATE 2005-06-01

APPROVED IN TERMS OF SECT. 25 OF ORD. 15/1985
REF. Farm 1674/2, Page 1
DATE 2005-12-23

Annexure B: Architectural Proposal, Slee & Co Architects (PTY) Ltd.

notes

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general notes:

No amendments or alterations are to be made in the specifications of labour and material documents. Full set of the latest drawings, the council approved set of drawings and all relative building permits, to be in the site office at all times. JBCC 5.0 applies. The contractor shall keep a representative competent to administer and control the works continuously on the site during the execution of the works.

The contractor and sub-contractors shall insure their workmen in terms of the COIDA Act of 1997 and shall indemnify the employer from any claim there under. Contractor and site practice to comply with Occupational Health and Safety Act, No.85 of 1993.

Building to be set out by a registered Land Surveyor.
Final levels of buildings to be confirmed with Architect.
Contractor to make adjustments in ground business to allow for floor finishes as specified to get to final FFL as on drawings. All external concrete slabs to step 50mm lower than top of concrete level at door thresholds.

Room Areas indicated on floor plans are internal floor areas and do not account for walls and therefore will not comply with the Gross Building Areas.

All existing trees and vegetation to be protected against any damage.

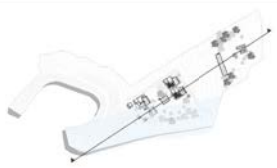
All specified brand name materials to be in strict accordance with manufactures specifications & details. Shop drawings to be presented to Architect for approval before ANY SPECIALIST installation can commence. All materials, finishes and glazing to conform to SANS & SABS approved, wherever applicable.

CONTRACT ADMINISTRATION & SITE INSPECTION BY ARCHITECT
The Architect shall make visits to the works at appropriate intervals. The Architect will give the Contractor interpretations and guidance, his site inspections are for the benefit of the Employer, and the Contractor and do not relieve the latter of any of his contractual obligations. In the event of any matter arising which the Contractor considers of such importance that the Architect must be consulted, every reasonable attempt shall be made by the Contractor to communicate with him before proceeding with the part at issue. It must, however, be borne in mind that the Architect is employed to ensure correct compliance with the terms of his drawing, proper building procedures in accordance with the best traditions of the various trades and adequate finishes as specified and to his satisfaction. The Architect is thus in no way responsible for any act or omission on the part of the Contractor, which may result in any patent or latent defects in materials or workmanship, breach or neglect of any local regulations. The Contractor therefore remains at all times responsible for any such neglect, deviation or wrong act, whether the same be discovered before or after the final certificate, or any other certificate, is approved.



Farm Dam Derek Carport Derek Cottage Pool Area Judy and Mike Cottage Craps Barn Newwied Homestead

Site Section
SCALE 1 : 500



No.	Description	Date

issue status
FOR INFORMATION


slee & co. architects (pty) Ltd
 103 dorpsstraat stellenbosch 7600
 po box 616 stellenbosch 7559
 south africa
 telephone +27 21 887 3385
 facsimile +27 21 887 8046
 www.slee.co.za

Johann Clemens Stee SACAP Reg No: Pr Arch 3782

project title
FE 11 (Pty) Ltd - Kropman Village

Boschendal - Founders Estate 11 - Franschoek

drawing title
Site Section

Scale @ A1:	proj. no:	dwg. no:	rev. no:
As indicated	J365	W_105	
Date: 02/04/21	Drawn: Author		

New and Old Square Metrage

SCALE 1:500

Total Existing Building ; 492.64m²
 Total New Building ; 584.72m²
 Total Now Stoep / Courtyards ; 539.81m²

- █ Existing Envelope
- █ New Envelope
- █ New Patio / Courtyards



Site Plan

SCALE 1:200

notes

The design on this drawing remains the property of SLEE & CO ARCHITECTS (Pty) Ltd. Copyright Reserved. All dimensions to be checked on site before any work is put in hand. ANY DISCREPANCY between all drawings should immediately be brought to the attention of the Architect and resolved before work commences. This drawing is to be read in conjunction with SPECIFICATION OF MATERIAL & LABOUR for this project. Site instructions take preference over legend of materials.

No.	Description	Date

FOR INFORMATION

issue status

Slee & Co. Architects (Pty) Ltd
 103 Dorpsstraat Stellenbosch 7600
 P.O. Box 616 Stellenbosch 7599
 S O U T H A F R I C A
 telephone +27 21 887 3385
 facsimile +27 21 887 0046
 www.slee.co.za

Author: **Carlene Slee** SACAP Reg. No. **PT Arch 3782**

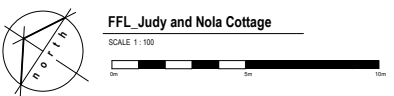
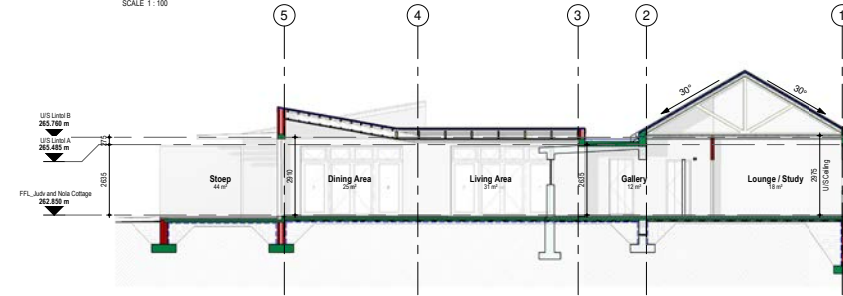
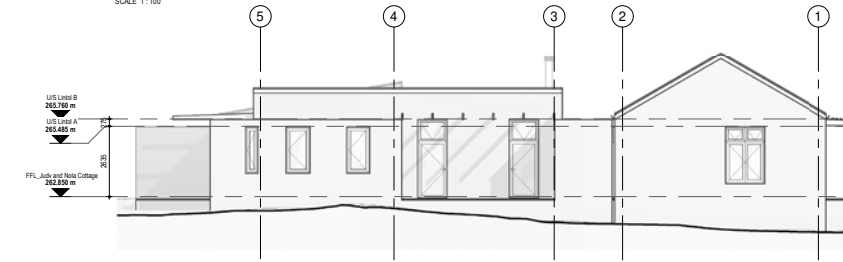
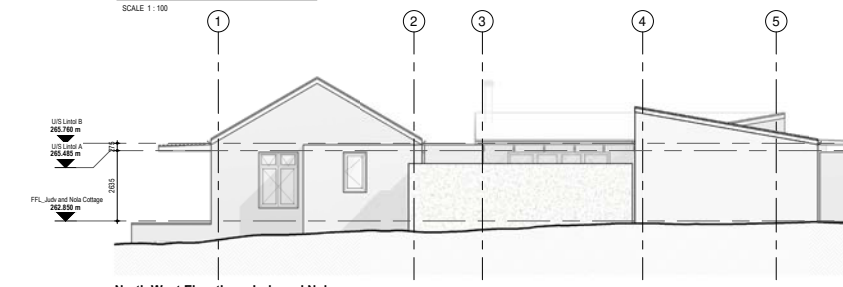
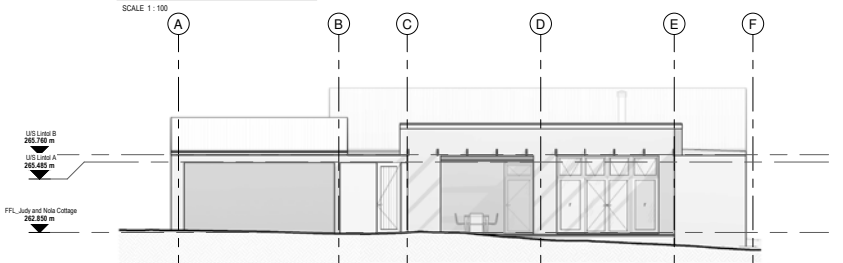
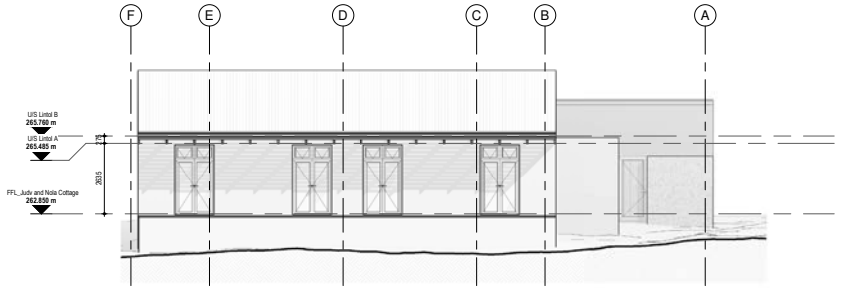
project title
FE 11 (Pty) Ltd - Kropman Village

drawing title
Boschendal - Founders Estate 11 - Franschhoek

Site Plan

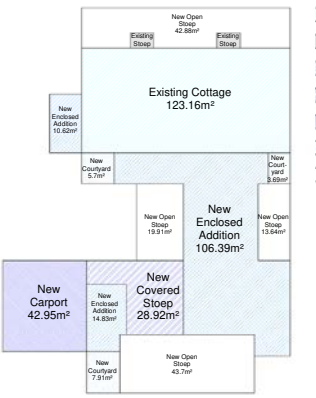
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date: 02/04/21	drawn: Author		

D:\CS - Shared\Projects\CS - Architects (Pty) Ltd\11 - Kropman Village\11 - Kropman Village - Founders Estate - Site Plan.dwg - Rev 01



FFL Judy and Nola Cottage

SCALE 1:100



- Existing Enclosed Area
- Existing Stoep Area
- New Enclosed Addition
- New Covered Patio
- New Carport
- New Courtyard
- New Open Patio

Retained Existing Building : 123.16m²
 Existing Open Stoep : 3.52m²
 New Enclosed Additions : 131.84m²
 New Covered Stoep : 28.92m²
 New Carport : 42.95m²
 New Open Stoeps : 120.13m²
 New Courtyards : 9.39m²
Total Covered Additions: 203.8m²
Total Open Stoeps and Courtyards: 129.52m²
Total Coverage: 123.16m² + 203.8m²
226.96m²

Judy and Nola Coverage Schedule

SCALE 1:200

notes
 The design on this drawing remains the property of SLEE & CO ARCHITECTS (Pty) Ltd. Copyright Reserved. All dimensions to be checked on site before any work is put in hand. ANY DISCREPANCY between all drawings should immediately be brought to the attention of the Architect and resolved before work commences. This drawing is to be read in conjunction with SPECIFICATION OF MATERIAL & LABOUR for this project. Site instructions take preference over legend of materials.

No.	Description	Date

issue status
FOR INFORMATION

slee & co architects (pty) Ltd
 103 dorsetstraat stellenbosch 7600
 0530 616 616 | stellenbosch 7599
 s o u t h a f r i c a
 telephone +27 21 887 3385
 facsimile +27 21 887 0046
 www.slee.co.za

Johns Camera Size: SACAP Reg No. PJ Arch 3742
project title
FE 11 (Pty) Ltd - Kropman Village
 Boschendal - Founders Estate 11 - Franschhoek
drawing title
Judy and Nola's Cottage

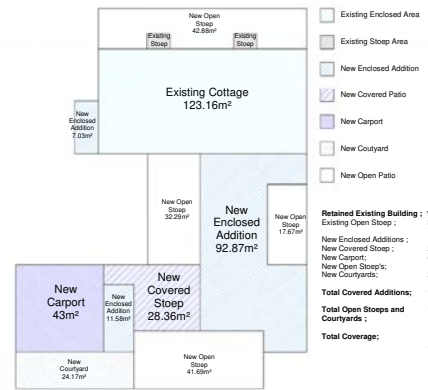
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date: 2021/11/18	drawn: MAP	checked:	

© C. Swan-Parkside & Co. Architects (Pty) Ltd. All Rights Reserved. Project No. 2021/11/18. Drawing Title: Judy and Nola's Cottage. Rev. 014



FFL Ground Floor - Bailey and Nick Cottage

SCALE 1:100



Bailey and Nick Coverage Schedule

SCALE 1:200

Retained Existing Building: 123.16m²
Existing Open Stoop: 3.93m²

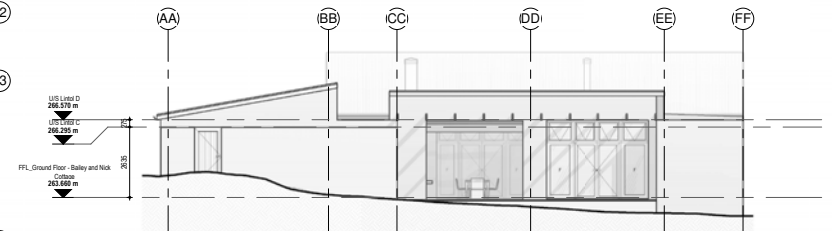
New Enclosed Additions: 111.48m²
New Covered Stoop: 28.36m²
New Carport: 43m²
New Open Stoop's: 134.53m²
New Courtyards: 24.17m²

Total Covered Additions: 162.84m²
Total Open Stoops and Courtyards: 158.7m²
Total Coverage: 123.16m² + 162.84m² = 386m²



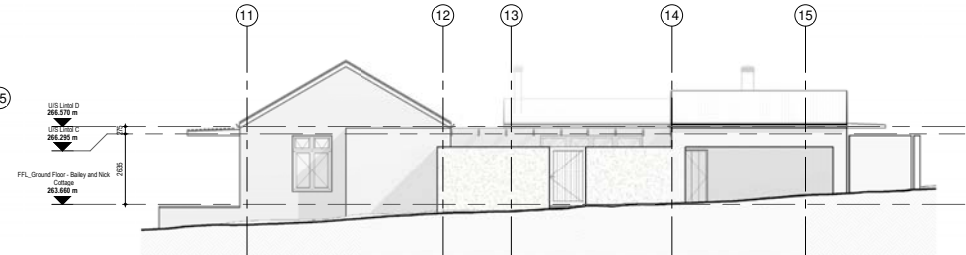
North East Elevation - Bailey and Nick

SCALE 1:100



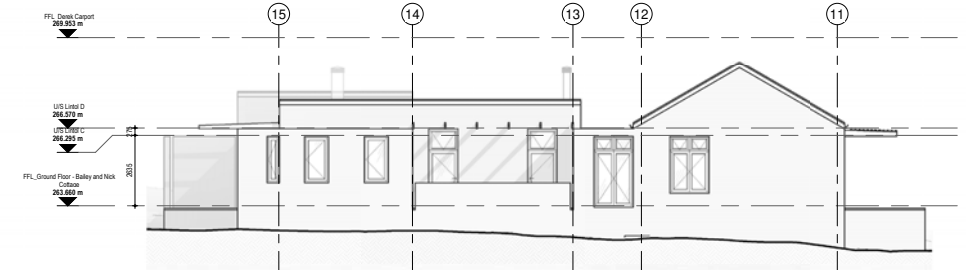
South West Elevation - Bailey and Nick

SCALE 1:100



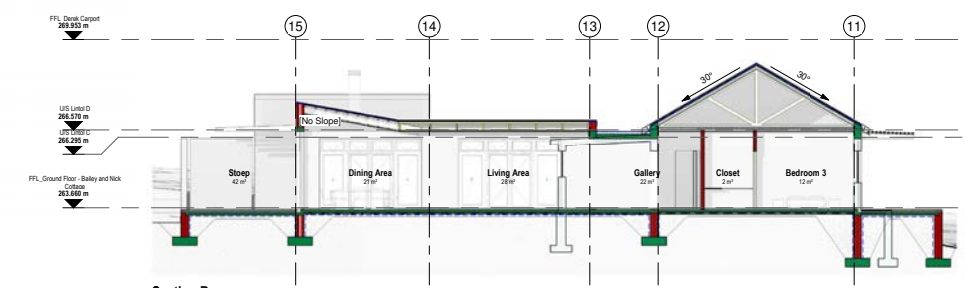
North West Elevation - Bailey and Nick

SCALE 1:100



South East Elevation - Bailey and Nick

SCALE 1:100



Section B

SCALE 1:100

NOTES
 The design on this drawing remains the property of SLEE & CO ARCHITECTS (Pty) Ltd. Copyright Reserved. All dimensions to be checked on site before any work is put in hand. **ANY DISCREPANCY** between all drawings should immediately be brought to the attention of the Architect and resolved before work commences. This drawing is to be read in conjunction with **SPECIFICATION OF MATERIAL & LABOUR** for this project. **Site instructions take preference over legend of materials.**

No.	Description	Date

issue status
FOR INFORMATION

slee
 s l e e & c o a r c h i t e c t s p r i v a t e
 109 Dorpsstraat Stellenbosch 7600
 s t e n b o s c h a r c h i t e c t s
 telephone +27 21 887 3385
 facsimile +27 21 887 8846
 www.slee.co.za

Johann Clemens Steyn SACAP Reg No: Pr Arch 3782
project title
FE 11 (Pty) Ltd - Kropchen Village

Boschendal - Founders Estate 11 - Franschhoek
drawing title

Bailey and Nick Cottage

scale: A1	proj. no:	desig.no:	rev.no:
As indicated	J365	W 102	
date: 01/20/21	author:		



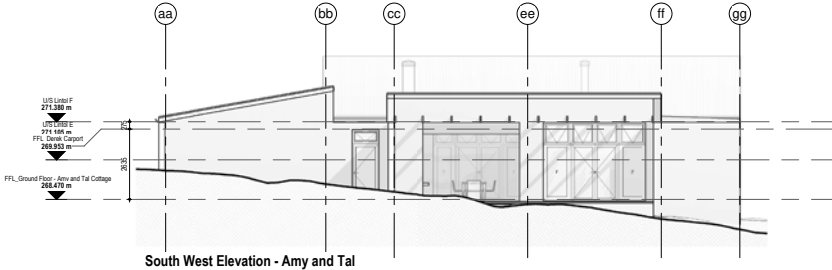
FFL_Ground Floor - Amy and Tal Cottage

SCALE 1 : 100



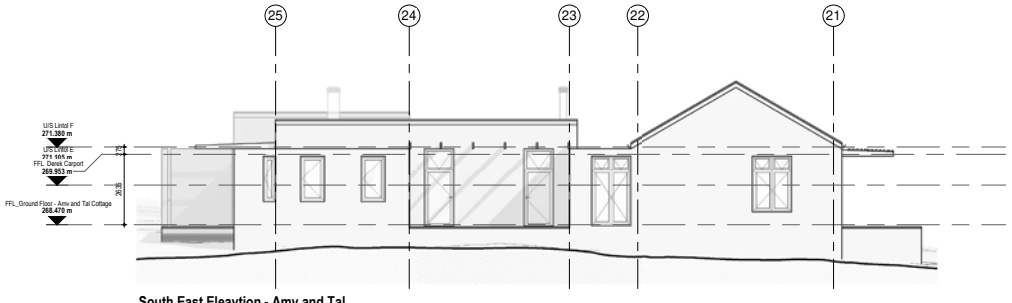
North East Elevation - Amy and Tal

SCALE 1 : 100



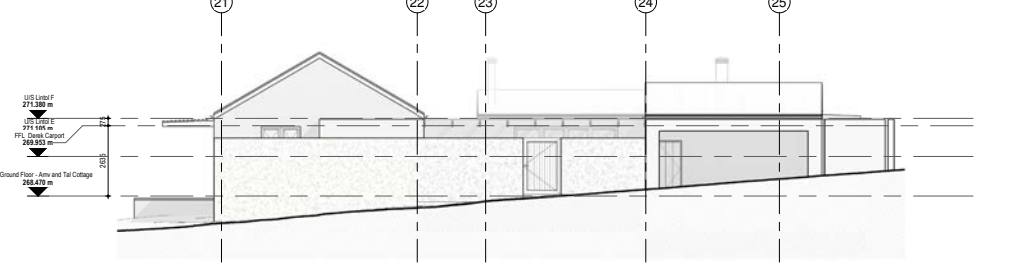
South West Elevation - Amy and Tal

SCALE 1 : 100



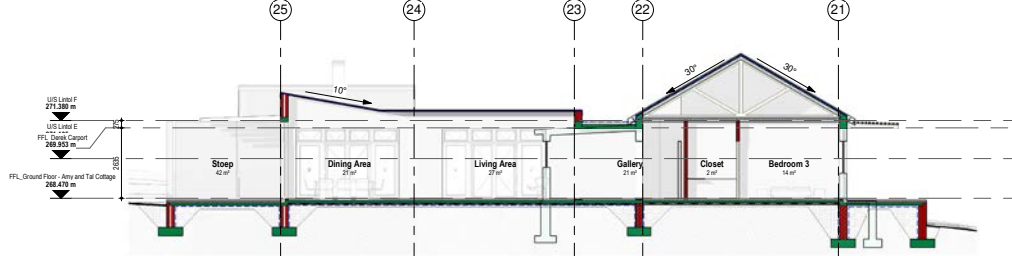
South East Elevation - Amy and Tal

SCALE 1 : 100



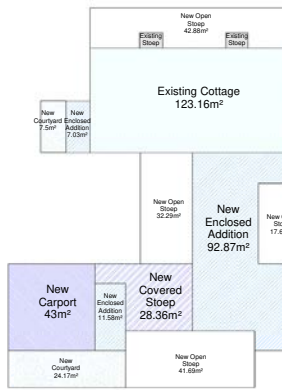
North West Elevation - Amy and Tal

SCALE 1 : 100



Section C

SCALE 1 : 100



- Existing Enclosed Area
 - Existing Steop Area
 - New Enclosed Addition
 - New Covered Patio
 - New Carport
 - New Courtyard
 - New Open Patio
- Retained Existing Building : 123.16m²
Existing Open Steop : 3.93m²
New Enclosed Additions : 111.48m²
New Covered Steop : 28.36m²
New Carport : 43m²
New Open Steops : 134.52m²
New Courtyards : 31.17m²
Total Covered Additions : 182.84m²
Total Open Steops and Courtyards : 166.2m²
Total Coverage : 123.16m² + 182.84m² = 306m²

Amy and Tal Coverage Schedule

SCALE 1 : 200

No.	Description	Date

issue status
FOR INFORMATION

see
108 Dorpatstraat Stellenbosch 7600
PO BOX 616 Stellenbosch 7599
S O U T H A F R I C A
t e l e p h o n e : +27 21 887 3385
f a c s i m i l e : +27 21 887 8046
w w w . s l e e . c o . z a

Johann Clement Steer SACAP Reg No: Pr Arch 3762

project title

FE 11 (Pty) Ltd - Kropman Village

Boschendal - Founders Estate 11 - Franschhoek

drawing title

Amy and Tal Cottage

scale @ A1:	proj. no.:	drawn by:	rev. no.:
As indicated	J365	W 103	
date:			

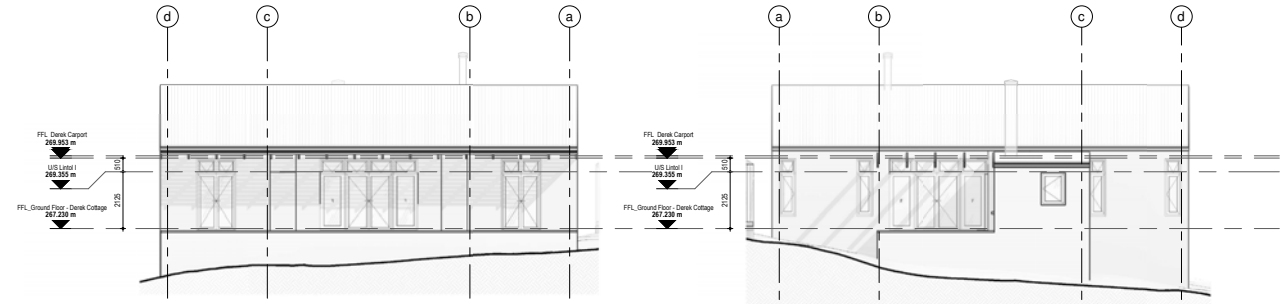
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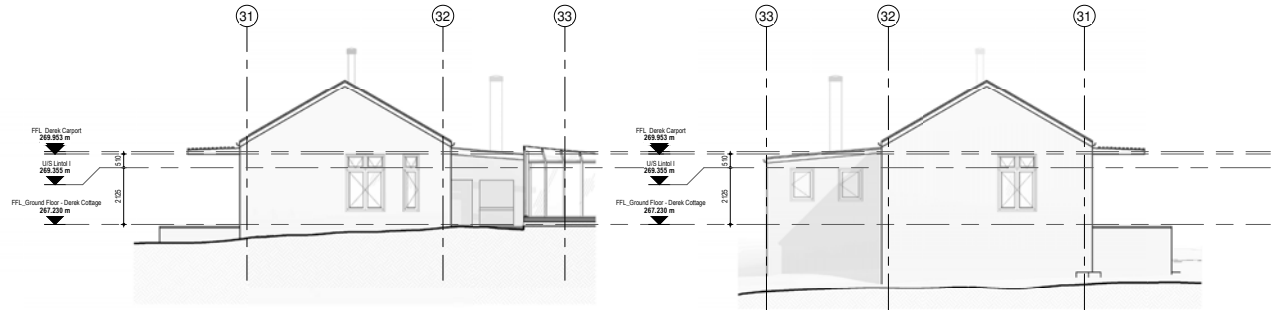
FFL_Ground Floor - Derek Cottage
SCALE 1:100



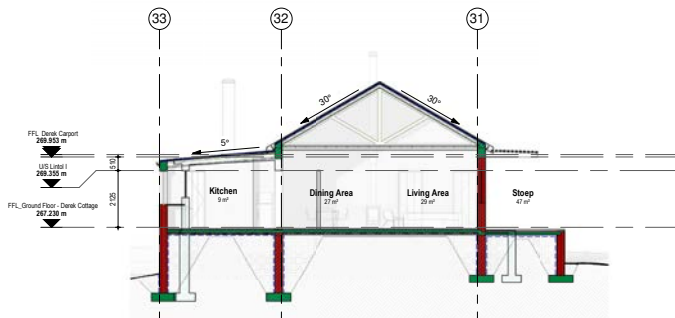
FFL_Derek Carport
SCALE 1:100



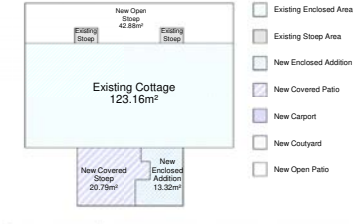
North East Elevation - Derek SCALE 1:100
South West Elevation - Derek SCALE 1:100



North West Elevation - Derek SCALE 1:100
South East Elevation - Derek SCALE 1:100



Section D
SCALE 1:100



Retained Existing Building :	123.16m ²
Existing Open Stoop :	3.93m ²
New Enclosed Additions :	20.57m ²
New Covered Stoop :	20.79m ²
New Carport :	50.67m ²
New Open Stoops :	42.88m ²
New Courtyards :	24.13m ²
Total Covered Additions :	92.03m ²
Total Open Stoops and Courtyards :	70.94m ²
Total Coverage :	123.16m ² + 92.03m ² 215m²

Derek Cottage Coverage Schedule
SCALE 1:200

NOTES
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No.	Description	Date

FOR INFORMATION

issue status

project title
FE 11 (Pty) Ltd - Kropman Village

drawing title
Derek Cottage

scale @ A1:
As indicated

date: 01/08/21

proj. no.: **J365**

drawn: **W 104**

rev. no.: **Rev.01**

D:\3 - Snee Architects & Co. Architects (Pty) Ltd\365 - Founders Estate 11 - Franschhoek\11 - Derek Cottage - 1103 - Derek Cottage - 1103.dwg - Rev. 01

notes

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No.	Description	Date
issue status		
DESIGN (for information only)		

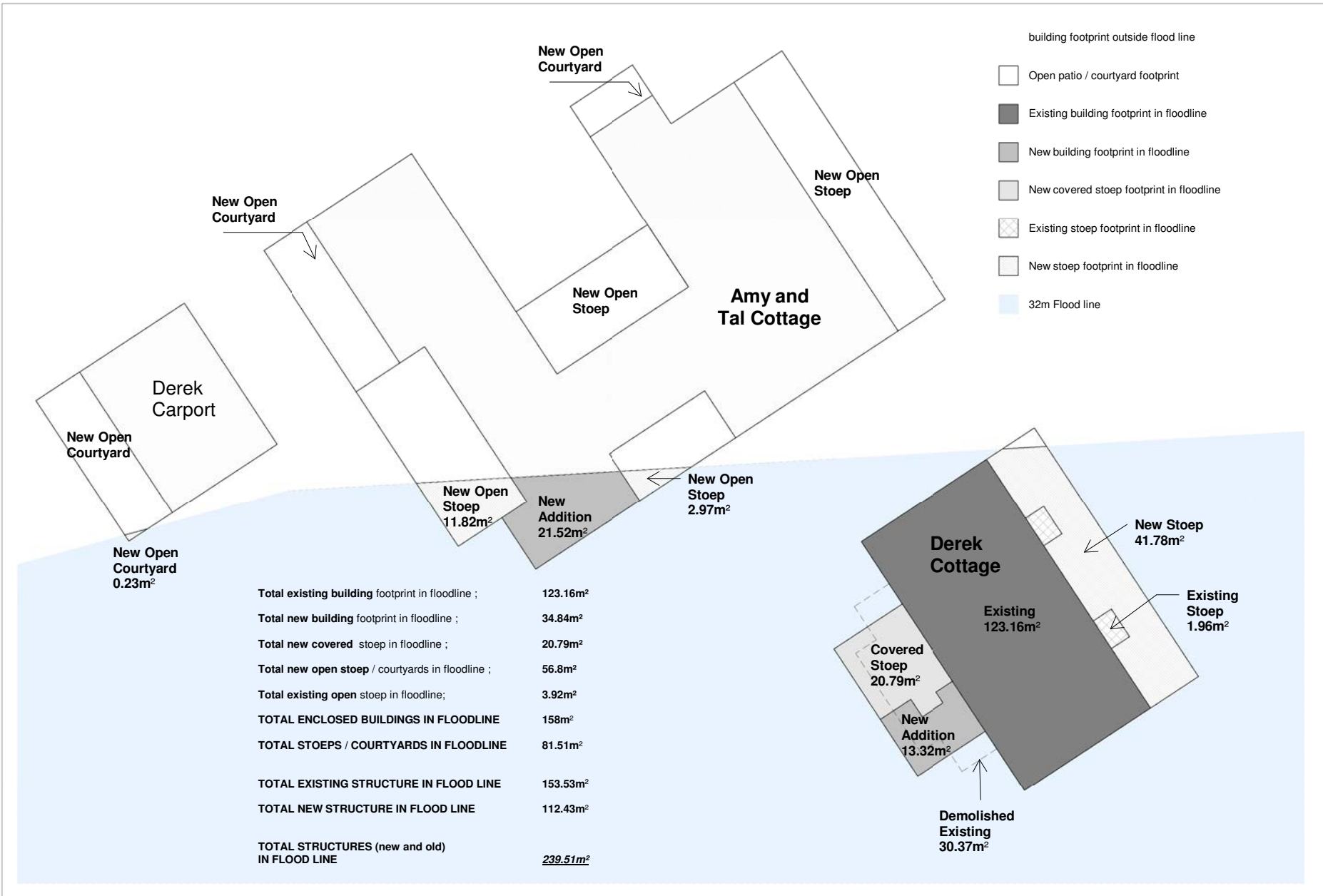


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 po box 616 stellenbosch 7599
 south africa
 telephone +27 21 887 9386
 facsimile +27 21 887 8046
 www.slee.co.za

project title:
FE 11 (Pty) Ltd - Kropman Village Boschendal - Founders Estate 11 - Franschhoek

drawing title:
32m Flood Line Structures

scale @ A3: 1 : 200	proj. no: J365	dwg.no: W_106	rev .no
date: 02/18/21			



Total existing building footprint in floodline ;	123.16m ²
Total new building footprint in floodline ;	34.84m ²
Total new covered stoep in floodline ;	20.79m ²
Total new open stoep / courtyards in floodline ;	56.8m ²
Total existing open stoep in floodline;	3.92m ²
TOTAL ENCLOSED BUILDINGS IN FLOODLINE	158m²
TOTAL STOEPS / COURTYARDS IN FLOODLINE	81.51m²
TOTAL EXISTING STRUCTURE IN FLOOD LINE	153.53m²
TOTAL NEW STRUCTURE IN FLOOD LINE	112.43m²
TOTAL STRUCTURES (new and old) IN FLOOD LINE	239.51m²

Areas in 32m Flood Line

SCALE 1 : 200

NOTES

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General notes:

No amendments or alterations are to be made in the specifications of labour and material documents. Full set of the latest drawings, the council approved set of drawings and all relative building permits, to be in the site office at all times. SANS 10400 applies. The contractor shall keep a representative competent to administer and control the works continuously on the site during the execution of the works.

The contractor and sub-contractors shall insure their workmen in terms of the COIDA Act 1993 and shall indemnify the employer from all claims against the Contractor and site practice to comply with Occupational Health and Safety Act, No 85 of 1993.

Building to be set out by a registered Land Surveyor.
Final levels of buildings to be confirmed with Architect.
Contractor to make adjustments in screed thickness to allow for floor finishes as required to get to final FFL as on drawings. All external concrete slabs to step 50mm lower than top of concrete level at door thresholds.
Room Areas indicated on floor plans are internal floor areas and do not account for walls and therefore will not correlate with the Gross Building Areas.

All existing trees and vegetation to be protected against any damage.

All specified brand name materials to be in strict accordance with manufacturers specifications & details. Shop drawings to be presented to Architect for approval before ANY SPECIALIST installation can commence. All materials, finishes and glazing to conform to SANS & SABS approved, wherever applicable.

CONTRACT ADMINISTRATION & SITE INSPECTION BY ARCHITECT
The Architect shall make visits to the works at appropriate intervals. The Architect will give the Contractor instructions and guidance; his site inspections are for the benefit of the Employer, not the Contractor and do not relieve the latter of any of his contractual obligations. In the event of any matter arising which the Contractor considers of such importance that the Architect must be consulted, every responsible attempt shall be made by the Contractor to communicate with him before proceeding with the point at issue. It must, however, be borne in mind that the Architect is employed to ensure correct compliance with the terms of this drawing, proper building procedures in accordance with the best traditions of the various trades and adequate finishes as specified and to his satisfaction. The Architect is in no way responsible for any act or omission on the part of the Contractor, which may result in any patent or latent defects in materials of workmanship, breach or neglect of any local regulations. The Contractor therefore remains at all times responsible for any such neglect, deviation or wrong act, whether the same be discovered before or after the final certificate, or any other certificate, is approved.

SANS 10400-XA

Refer to EE Supplemental Guide 'Energy Efficiency in Buildings', SANS 10400 - XA & SANS 264 report

Climatic Zone
ZONE 4: TEMPERATE COASTAL
Building Envelope
FLOORS: to comply with SANS 10400-XA:2011 4.4.2, to be insulated underneath this slab with insulation of minimum R value of 1.
EXTERNAL WALLS: to comply with SANS 10400-XA:2011 4.4.3, to have a minimum total R value of 0,25
ROOFS: to comply with SANS 10400-XA:2011 4.4.5, to have a minimum R value of 3,1
Hot water supply
To comply with SANS 10400-XA:2011 4.1. Maximum 50% of all domestic water heating to be resistor type heating. Minimum 50% to be from alternative heating sources
All hot water service pipes shall be clad with insulation with a minimum R value of 1

No.	Description	Date

ISSUE STATUS

FOR INFORMATION

slee s l e e & c o . a r c h i t e c t s (p t y) l t d
103 dorpsstraat stellenbosch 7600
p o b o x 616 stellenbosch 7599
s o u t h a f r i c a
t e l e p h o n e + 2 7 2 1 8 8 7 3 8 8 5
f a c s i m i l e + 2 7 2 1 8 8 7 8 0 4 6
w w w . s l e e . c o . z a

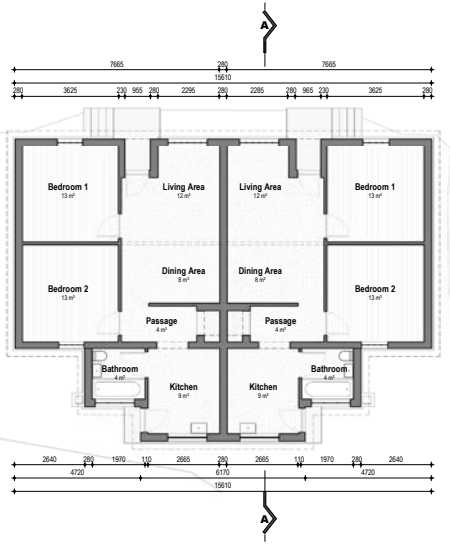
Johann Camerus Steyn SAGAP Reg No. PI Arch 3782

project title
Kropman Village

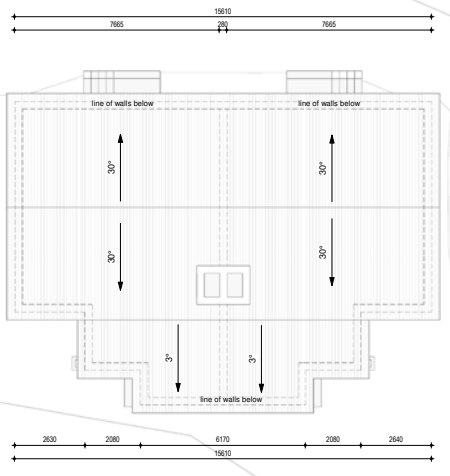
Boschendam Founders Estate 11 - Franschoek
drawing title

Existing Typical Cottage Layout

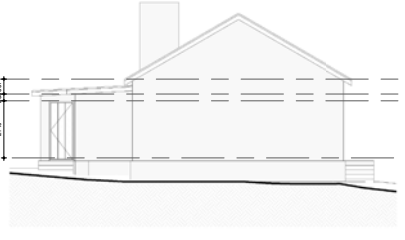
scale @ A1: As indicated	proj. no: J365	dwg. no: W_705	rev. no: 00
date: 20210118	drawn by: MAC	checked by: MAC	



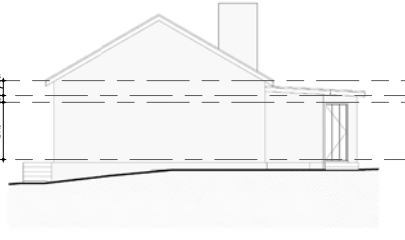
FFL_Ground Floor Existing Cottage
SCALE 1:100



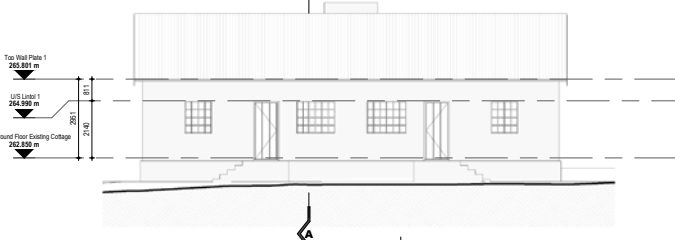
Site Plan
SCALE 1:100



South East Elevation
SCALE 1:100



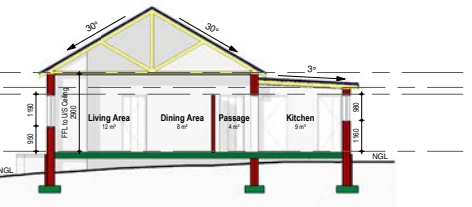
North West Elevation
SCALE 1:100



North East Elevation
SCALE 1:100



South West Elevation
SCALE 1:100



Section AA
SCALE 1:100



PORTION 1:	enclosed structure: 75.65m²
	covered external area: 1.15m²
PORTION 2:	enclosed structure: 75.65m²
	covered external area: 1.15m²
TOTAL AREA:	153.60m²
TOTAL COVERAGE:	17m² (roof overhang)

Area Schedule
SCALE 1:200



KROPMAN VILLAGE
FOUNDERS ESTATE 11 (Pty) Ltd.
NORTH BIRDS EYE VIEW





KROPMAN VILLAGE
FOUNDERS ESTATE 11 (Pty) Ltd
NORTH EAST BIRDS EYE VIEW





