

# ANNEXURE A

## APPLICATION FOR A PERMIT

**TO DESTROY, DAMAGE, DEFACE, EXCAVATE, ALTER OR REMOVE FROM ITS ORIGINAL POSITION, SUBDIVIDE OR CHANGE THE PLANNING STATUS OF A PROVINCIAL HERITAGE SITE, OR A PROVISIONALLY PROTECTED PLACE,  
OR  
ALTER OR DEMOLISH ANY STRUCTURE OR PART OF A STRUCTURE OLDER THAN 60 YEARS**

**PROTECTED IN TERMS OF THE NATIONAL HERITAGE RESOURCES ACT (ACT 25 OF 1999)**

**FILL IN ALL SECTIONS RELATING TO YOUR APPLICATION**

### **1. DETAILS OF SITE, PLACE OR STRUCTURE**

1.1 Name of site: .....Lekkerwijn.....

1.1.1 Physical address of site: .....Lekkerwijn, Junction of the R45 and R310, Groot-Drakenstein, Western Cape, 7680.....

1.2 Erf/Stand/Farm name and number: .....Portion 1 of Farm No 1460.....

1.3 Type of site, place or structure (indicate by means of a cross in the appropriate space(s) below):

1.3.1  Provincial heritage site (previously a declared national monument in terms of the National Monuments Act, 1969) or a provisionally protected place (previously a provisionally declared national monument in terms of the National Monuments Act, 1969 (section 27)) or a provisionally protected heritage site in terms of Section 29 of the National Heritage Resources Act (1999). If so, attach a photocopy of the gazette notice or provide the following information (if known):

1.3.1.1 Date of notice of declaration or provisional protection in the *Government Gazette* or *Provincial Gazette*: (dd/mm/yy) .....

1.3.1.2 Number of notice of declaration or provisional protection in the *Government* or *Provincial Gazette* .....

1.3.1.3 Number of *Government Gazette* or *Provincial Gazette* .....

1.3.1.4 Statement of significance in the *Government Gazette* or *Provincial Gazette* .....

1.3.2  Structure older than 60 years (section 34)

1.3.3  Please indicate if the property is in a Heritage Area (previously designated conservation area by the National Monuments Act, 1969) (section 31)

1.4 Details of the title deed and diagram of the site, place or structure:

1.4.1 Number of title deed: .....45830/91.....

1.4.2 Date of title deed: .....1991/07/26.....

1.4.3 Number of Surveyor-General Diagram, where applicable: ...9140-90.....

1.4.4 Date of Surveyor-General Diagram, where applicable: .....1991/02/25.....

1.4.5 Registered servitude against title deed declaring the site a provincial heritage site or provisionally protected place, where applicable: .....

1.5 Cadastral co-ordinates (if available) .....

1.6 Current use of property: ...Guest House.....

1.7 Magisterial district in which the site, place or structure is situated: Franschhoek

1.8 Planning authority in whose area of jurisdiction the site, place or structure is situated:

1.8.1 Name of planning authority: Stellenbosch Municipality.....

1.8.2 Postal address: ...PO Box 83, Groot Drakenstein, Western Cape.....

1.8.3 Postal code: .....7680.....  
1.8.4 Telephone area code: ( 021 ) Telephone number: 8741122..... Facsimile number: .....

**2. NAME AND ADDRESS OF APPLICANT**

2.1 Name: .....Simon Daniel Pickstone-Taylor.....  
2.2 Address: ...PO Box 83 Groot-Drakenstein, Western Cape.....  
2.3 Postal code: 7680.....  
2.4 Contact numbers  
2.4.1 Telephone area code: (021 ) Telephone number (h): 8762402 Telephone number (w): ...0762959355.....  
2.4.2 Facsimile area code: ( ) Facsimile number (h)..... Facsimile number (w).....  
2.4.3 Cellular phone number: ...0762959355.....  
2.4.4 E-mail: .....simondpt@hotmail.com.....

2.5 Identity number of applicant: 6608305044087.....

2.6 Declaration: I, ...Simon Daniel Pickstone-Taylor, herewith declare that I intend to undertake to the actions as proposed in this application.

Signature: Simon Daniel Pickstone-Taylor Date: 4/5/2016

3. **REGISTERED OWNER OF PROPERTY:** (if the applicant is not the registered owner of the property; or if the application is made on behalf of the registered owner, a power of attorney must be attached)

3.1 Name: Wendy May Pickstone.....  
3.2 Address: PO Box 83 Groot-Drakenstein, Western Cape.....

3.3 Postal code: ...7680.....

3.4 Contact numbers  
3.4.1 Telephone area code: (021 ) Telephone number (h):8763427..... Telephone number (w): .....  
3.4.2 Facsimile area code: ( ) Facsimile number (h)..... Facsimile number (w).....  
3.4.3 Cellular phone number: ...0832296101  
3.4.4 E-mail: ...wendy@lagratitude.com.....

3.5 Identity number of registered owner ...3810110080081.....

3.6 Declaration: I, ...Wendy May Pickstone..... am fully aware of this application and accept its content.

Owner Signature: Wendy May Pickstone Date: 10th May 2016

**4. NAME AND ADDRESS OF PRIMARY RESPONSIBLE AGENT (Architect/Designer/etc.)**

4.1 Name: .....Stephen Dugmore.....  
4.2 Address: .....52 Orchard St, Newlands.....  
4.3 Postal code: ...7708.....

4.4 Contact numbers  
4.4.1 Telephone area code: ( 021 ) Telephone number (h): ..... Telephone number (w) 6836395  
4.4.2 Facsimile area code: ( ) Facsimile number (h)..... Facsimile number (w).....  
4.4.3 Cellular phone number: ...0823992390.....  
4.4.4 E-mail: .....stephen@sdks-architects.co.za.....

4.5 Identity number pr primary responsible agent .....6607055064089.....

4.6 Qualifications and/or relevant experience of primary responsible agent: ...Pr' Arch.....

4.7 Will this agent oversee the action to completion? Yes No Yes/No.

If not, who will then be responsible to oversee the completion of the proposed action? .....

4.8 Declaration: I, .....Stephen Dugmore..... herewith declare that I will be responsible for the proposed actions in accordance with the proposals in this application.

Signature: Stephen Dugmore Date: .....4 May 2016.....

**5. PROPOSED TYPE OF ACTION** (indicate by means of a cross in the appropriate block(s) below):

- 5.1 Type of work:
- 5.1.1 Total Demolition
  - 5.1.2 Partial Demolition
  - 5.1.3 Additions to existing structures
  - 5.1.4 New buildings
  - 5.1.5 Restoration
  - 5.1.6 Alteration X
  - 5.1.7 Excavation
  - 5.1.8 Landscaping
  - 5.1.9 Remove from its original or current position
  - 5.1.10 Subdivide or change planning status: Consolidation Subdivision Rezoning
  - 5.1.11 Re-application for permit Date of previous permit: (dd/mm/yy): .....
- 5.2 Approximate cost of proposed action/Tender price: .....
- 5.3 Period for which permit is requested (maximum three years)/ Duration of proposed action:  
From .....June 2016..... To: .....June 2019.....

**6. DETAIL OF THE ACTION PROPOSED** (Provide a short description of the proposed action which must be supported by the documentation provided as specified in 7 and 9 hereunder) **Refer to attached report**

**7. DRAWING REFERENCE NUMBERS AND DATES** (Please list all drawing reference numbers, including revision numbers, and the dates of the drawings.)

Drawing reference number	Date of drawing	Version	Title of drawing
<b>L6J3-LA-001</b>	<b>Undated</b>		<b>SITE PLAN</b>
<b>L6J3-LA-002</b>	<b>Undated</b>		<b>PLANS, SECTIONS AND ELEVATIONS</b>

**8. MOTIVATION FOR PROPOSED ACTION** (Motivate fully, with reference to conservation policy and/or principles, where appropriate. This space may also be used for additional details required above.) **Refer to attached report.**

**9. CONSULTATION**

**9.1 Conservation bodies**

Conservation bodies are interested parties in the management of our heritage resources. Heritage Western Cape is responsible for informing registered conservation bodies when applications are received for particular geographical areas or categories of heritage resources in terms of section 25(1) of the National Heritage Resources Act, 1999. Please indicate whether you have consulted any of your local conservation bodies regarding your proposal and submit any comments they might have on the impact of the intended actions on the cultural significance of the heritage resource to Heritage Western Cape as part of your application.

The following conservation bodies have been contacted, and their comments are attached

Name of registered conservation body	Contact details	Written comments on the proposed action attached
SAHRA	Greg.Ontong@SAHRA.org.za	Awaiting
Stellenbosch Interest Group	bothapatria@gmail.com	Awaiting
Drakenstein Heritage Foundation	heritage@iafrica.com	Awaiting

Stellenbosch Heritage Foundation	smartest@mweb.co.za	Awaiting
Stellenbosch Heritage and Planning Advisory Committee	Kaizer.Makati@stellenbosch.gov.za>	Awaiting
Franschhoek Valley Trust	doncarroll@telkomsa.net	Awaiting

### 9.3 Archaeological and/or palaeontological expertise

Have you consulted an archaeologist or palaeontologist with regard to the impact of the proposed actions on the heritage values of the site? If so, provide a copy of the written report. **No**

## 10. DOCUMENTATION TO ACCOMPANY THIS APPLICATION

- 10.1 ONE SET OF COLOURED-UP DRAWINGS to be retained for record purposes by Heritage Western Cape.
- 10.2 ANY FURTHER SETS OF RELEVANT DRAWINGS that will be returned to the applicant (usually the local authority and owner require their own stamped set of drawings) and will be stamped if approved by Heritage Western Cape.
- 10.3 LOCALITY PLAN showing where the site is.
- 10.4 SITE PLAN showing the layout of the property - including trees and landscape features.
- 10.5 PHOTOGRAPHS, VIDEOS OR OTHER VISUAL AIDS of the site, place or structure in its present form and in context. Where appropriate, please include photographs, videos or other visual aids of the interior of the structure that will be affected by the proposed action. Please provide captions and dates to all photographs. If a model is submitted, please provide photographs of the model for Heritage Western Cape records.
- 10.6 A HISTORICAL BACKGROUND to the site, place or structure.
- 10.7 A MOTIVATION for the proposed action/s (paragraph 8).
- 10.8 COMMENTS OF CONSERVATION BODIES if consulted.
- 10.9 IMPACT ASSESSMENT REPORT BY AN ARCHAEOLOGIST, if relevant.
- 10.10 COMMENTS OF REGISTERED OWNERS OF ADJOINING PROPERTIES if relevant.
- 10.11 DETAILS AND OUTCOME OF ANY PREVIOUS SUBMISSIONS MADE TO ANY OTHER AUTHORITY (the former National Monuments Council (NMC), SAHRA, etc.) in respect of this application
- 10.12 ANY ADDITIONAL PERTINENT INFORMATION regarding the site, place or structure that you believe will assist Heritage Western Cape to consider your application

## 11. PLEASE NOTE

- 11.1 Unless the applicant and the registered owner sign the application form, if these are not the same person, it will not be processed by Heritage Western Cape.
- 11.2 **Applications are considered to be public documents and are open to public scrutiny. Should you wish your application to be kept confidential, please motivate your request on a separate sheet. Cases in which confidentiality is granted will be limited to one year (12 months).**

When completed, please return this form to:  
The Secretariat  
Heritage Western Cape Permit Committee  
Private Bag X9067  
CAPE TOWN  
8000

Telephone: 021 483 9693 or 021 483 9695  
Fax: 021 483 9842

# ARCHITECTURAL PROPOSALS



**NOTE**

Figured dimensions to be taken in preference to scaling. All dimensions, sizes and levels to be checked on site by the contractor and any discrepancies to be reported to the architect for resolution before any work is put in hand.

This drawing is copyright and remains the property of SDKS Architects. It may not be retained, copied, or used in any way without the architect's written consent and SDKS Architects assumes no liability whatsoever for unauthorised or mis-use of this drawing.

**SPECIFICATION**

**WALLS**  
New wall to be drywalls to have 76x38 or 114x38 timber studs at 600ctrs with 12.5mm plasterboard skimmed and painted both sides or 12x144 timber slats one side and plasterboard skimmed and painted on the other side - all to specialists specs.  
High level walls to be primed and painted steel framed walls with glazing infill

**FLOORS**  
Floors to be existing concrete/screed made good

**LINTOLS**  
Precast concrete lintols to be used over all openings with minimum of 4 brick courses over with brickwork in each course. Lintols to be bear a minimum of 230 mm onto walls.

**CEILING**  
Existing boarded and pole ceilings to be maintained. Existing slab soffit to be repainted

**SKIRTINGS AND CORNICES**  
New Skirtings to be 22x90 SKZ painted meranti skirtings from West Cape Joinery.

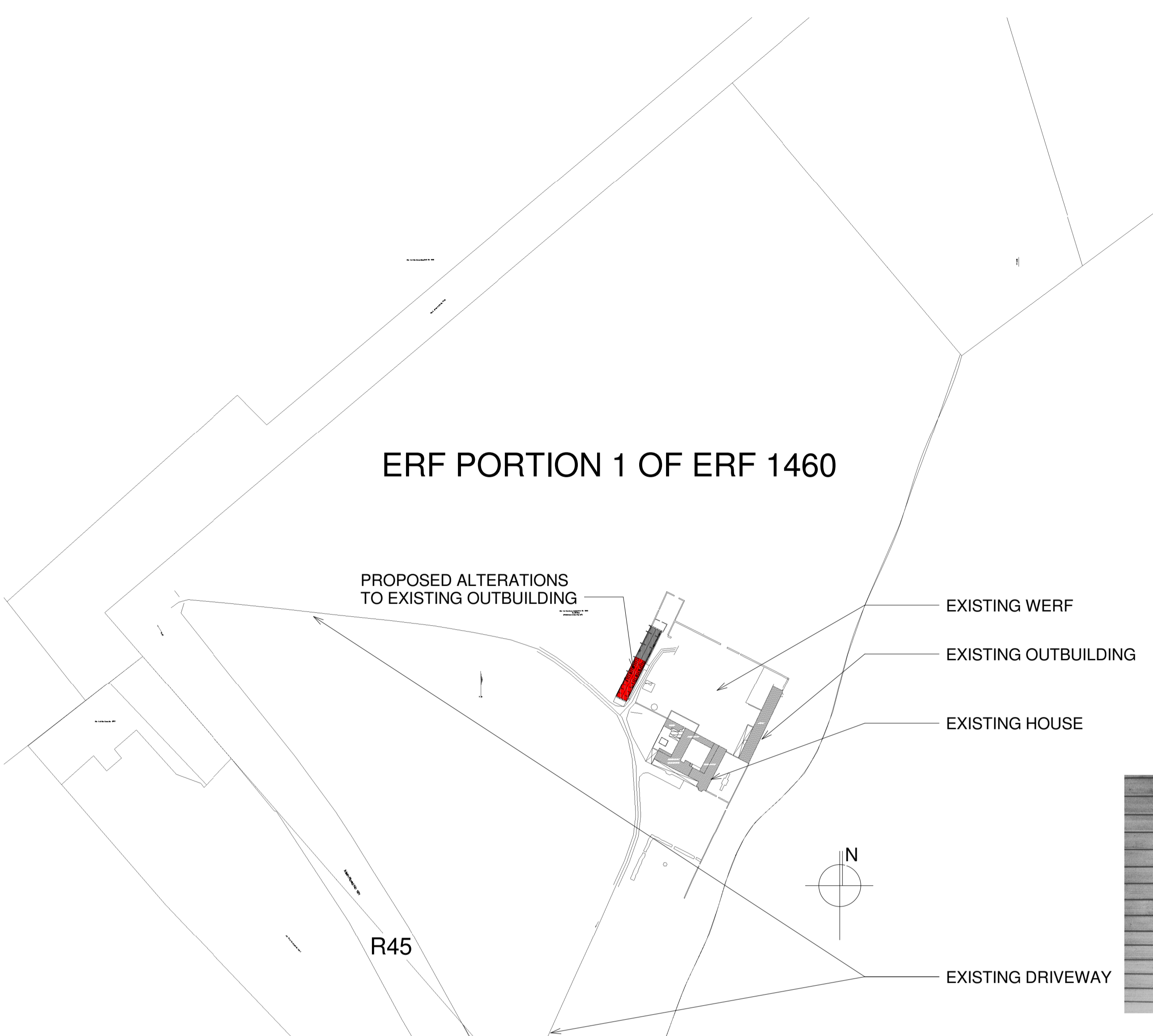
**DRAINAGE**  
All sewer pipes to have deepseal traps and to be 110dia PVC at min 1:100 fall. All waste pipes to enter separately into soil and vent stack. All sewer pipes running beneath concrete slabs to be laid in clean sand with 4 y12 bars under foundations. All waste pipes to have 40mm PVC waste pipes. Distance between rodding eyes to be a max of 25 m and minimum invert to be 600mm below grid level.

**LIGHT AND VENTILATION**  
All rooms to have natural lighting with opening size equal to 10% of floor area. All rooms to have ventilation with opening size equal to 5% of floor area

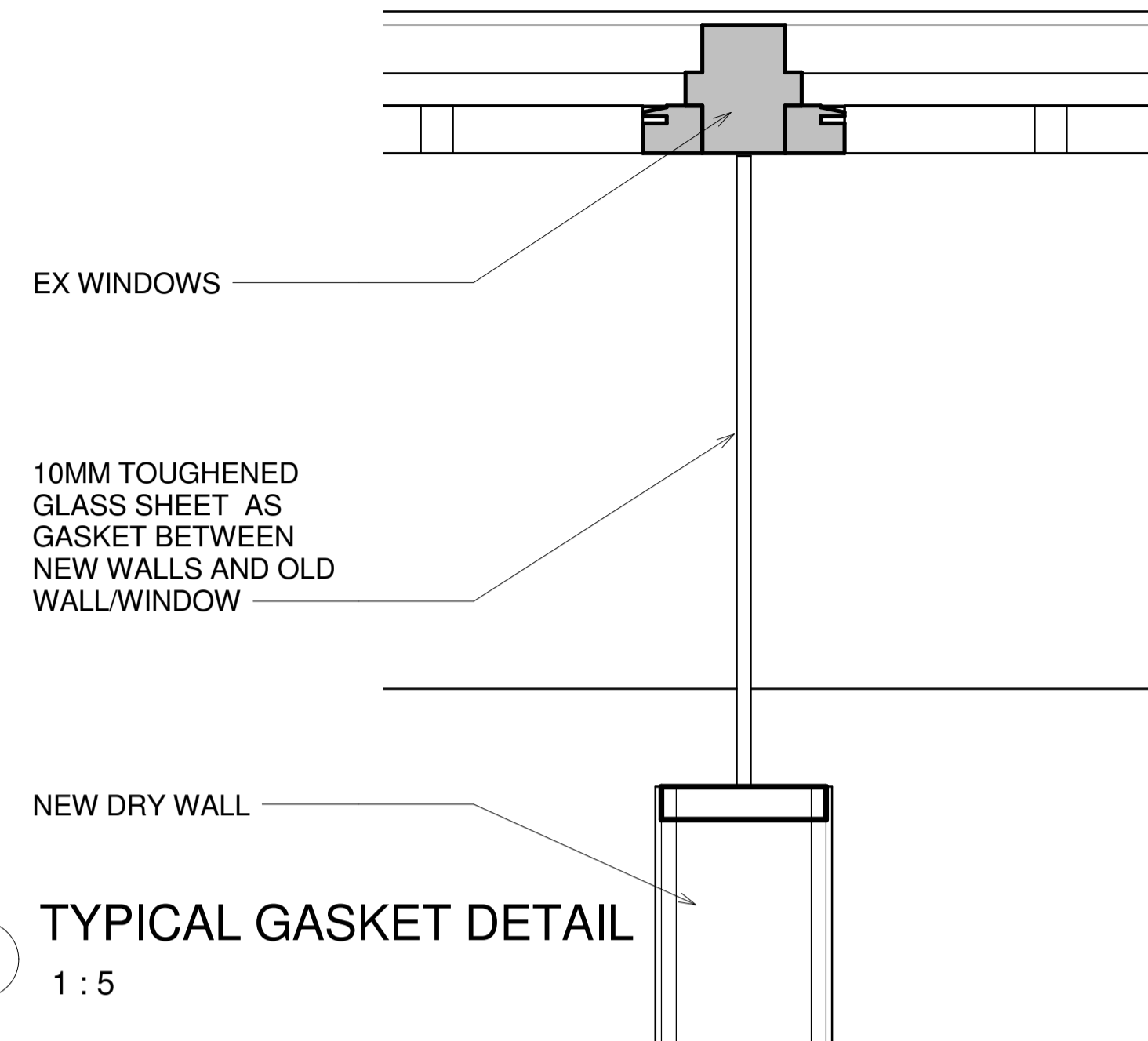
**WINDOWS AND DOORS**  
New windows to be selected hardwood made to match existing. New timber doors to be equal to Cape Culture Meranti ex Swardland Joinery - painted.  
New steel doors to be primed and applied steel framed glass doors. Contractor to ensure compliance with SANS 10400-B, N.T., XA and SANS 613

**GLAZING**  
All glazing to be in accordance with SANS 10400 Part N and AAMSA. Glazing less than 500mm AFFL > 1sqm to be safety glazed in accordance with SANS 10400

**ENERGY EFFICIENCY (SANS 10400XA)**  
All to be as per SANS 10400XA  
Minimum of 50% of hot water to be solar. HWC to be wrapped in blanket to achieve R-value of 2  
Exposed hot water pipes to be insulated with Serboac Flexitherm insulation (min R-value of 1)



**1** site plan  
1 : 2000



**3** TYPICAL GASKET DETAIL  
1 : 5



MAINTAIN AND REPAIR EXISTING DOORS



MAINTAIN/REPAIR AND MATCH EXISTING WINDOWS



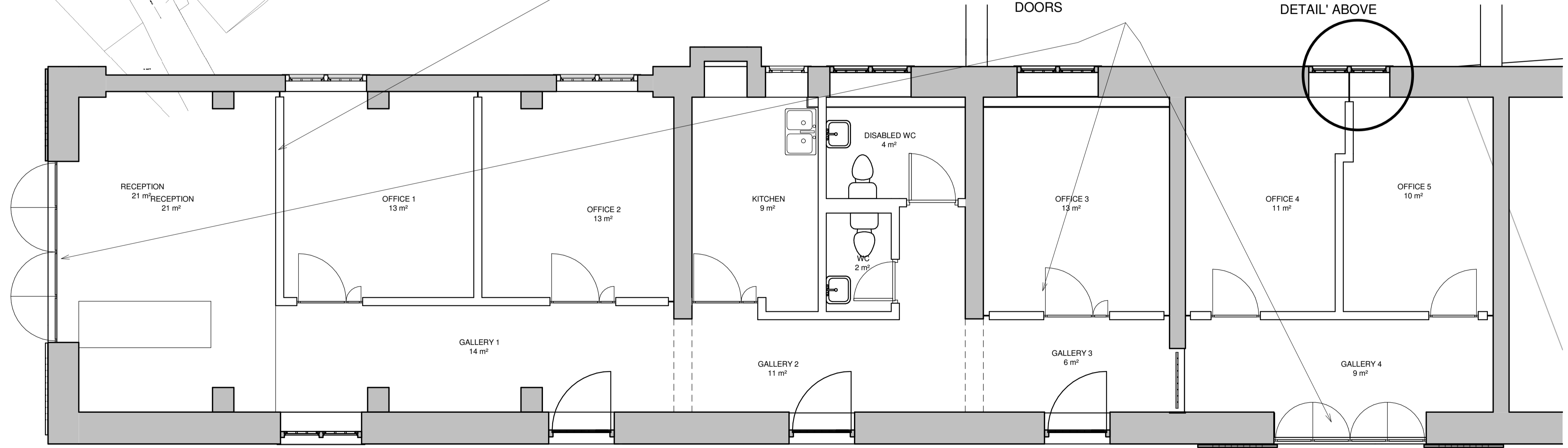
PROPOSED TIMBER BOARDING FACING TO DRYWALL- PAINTED WHITE



EXAMPLE OF TYPE OF PROPOSED STEEL FRAMED INFILL GLAZING BEHIND EXISTING GARAGE DOORS AND FOR NEW OFFICE DOORS



MAINTAIN EXISTING BOARDED CEILINGS



**2** HERITAGE KEY PLAN  
1 : 50

REFER 'TYPICAL GASKET DETAIL' ABOVE

architect signature - S Dugmore (pr arch 5628)

client signature

No.	Description	Date

orchard studio (pty) ltd  
**sdks architects**  
architecture  
interiors  
design  
heritage

52 Orchard st, Newlands, Cape Town, 7708  
ph +27 (21) 683 6395  
fax +27 (21) 683 2079  
www.sdks-architects.co.za

Client **WENDY MAY PICKSTONE**  
Project **Lekkerwijn outbuilding offices**

Address **Lekkerwijn  
Junction of the R45 and R310,  
Groot-Drakenstein, W Cape, 7680**

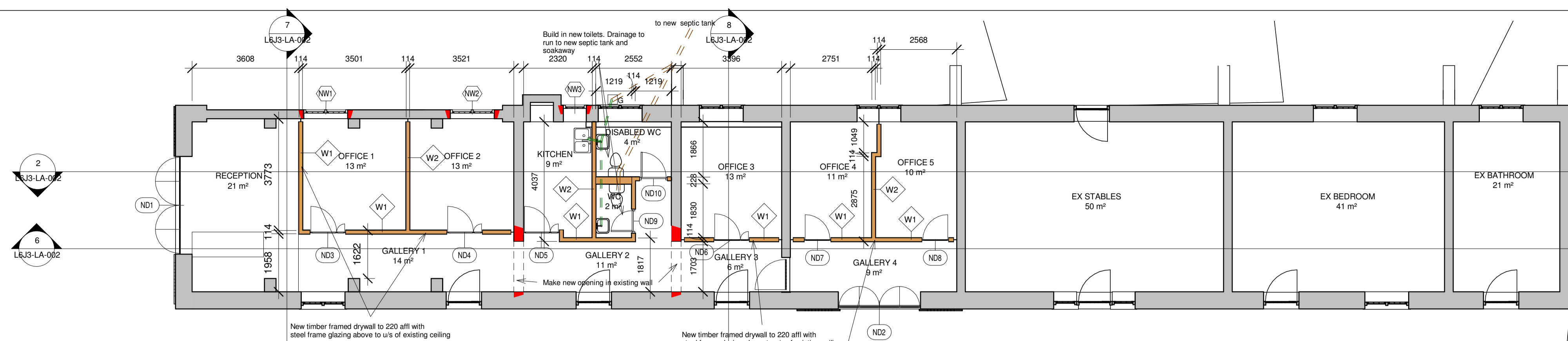
Drawing **SITE PLAN-HERITAGE**

Date \_\_\_\_\_ Scales \_\_\_\_\_  
As indicated

Drawn by \_\_\_\_\_ Author \_\_\_\_\_ Status \_\_\_\_\_

Drawing number **L6J3-LA-001**





1 GRD FLR PLAN  
1 : 100

Type Mark	Description
W1	2200 HIGH TIMBER DRYWALL-WHITE TIMBER PLANKS EXTERNAL/PLASTERBOARD INTERNAL
W2	FULL HT TIMBER DRYWALL -PLASTERBOARD BOTH SIDES

Mark	Description	Length	Area	height
G1	STEEL FRAMED GLAZING	3980	3 m²	782
G2	STEEL FRAMED GLAZING	315	0 m²	835
G13	STEEL FRAMED GLAZING	375	0 m²	835
G10	STEEL FRAMED GLAZING	980	1 m²	835
G7	STEEL FRAMED GLAZING	1265	1 m²	786
G3	STEEL FRAMED GLAZING	1198	1 m²	835
G4	STEEL FRAMED GLAZING	3418	3 m²	835
G5	STEEL FRAMED GLAZING	1200	1 m²	835
G6	STEEL FRAMED GLAZING	1225	1 m²	723
G11	STEEL FRAMED GLAZING	1228	1 m²	835
G12	STEEL FRAMED GLAZING	980	1 m²	835
G14	STEEL FRAMED GLAZING	900	1 m²	835
G15	STEEL FRAMED GLAZING	3074	3 m²	835
G16	STEEL FRAMED GLAZING	900	1 m²	835
G17	STEEL FRAMED GLAZING	418	0 m²	346
G9	STEEL FRAMED GLAZING	2565	2 m²	835
G8	STEEL FRAMED GLAZING	230	0 m²	835

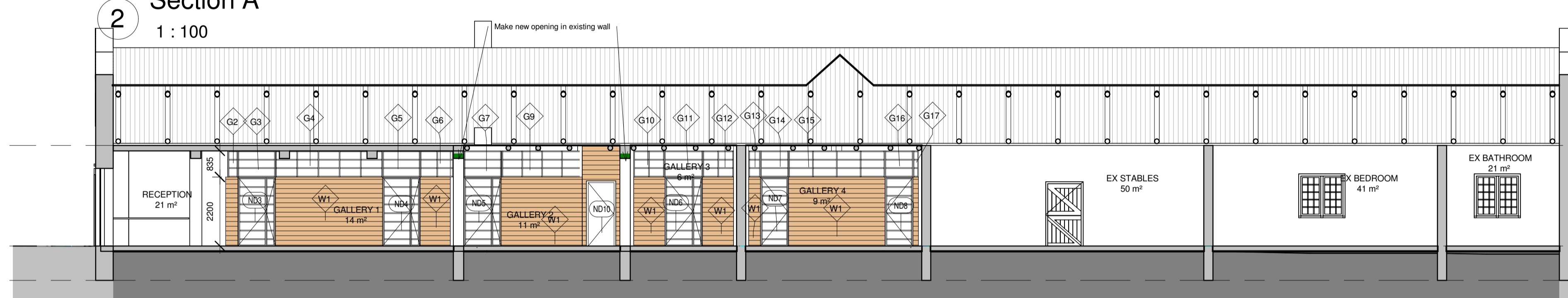
**NOTE**  
Figured dimensions to be taken in preference to scaling. All dimensions, sizes and levels to be checked on site by the contractor and any discrepancies to be reported to the architect for resolution before any work is put in hand.  
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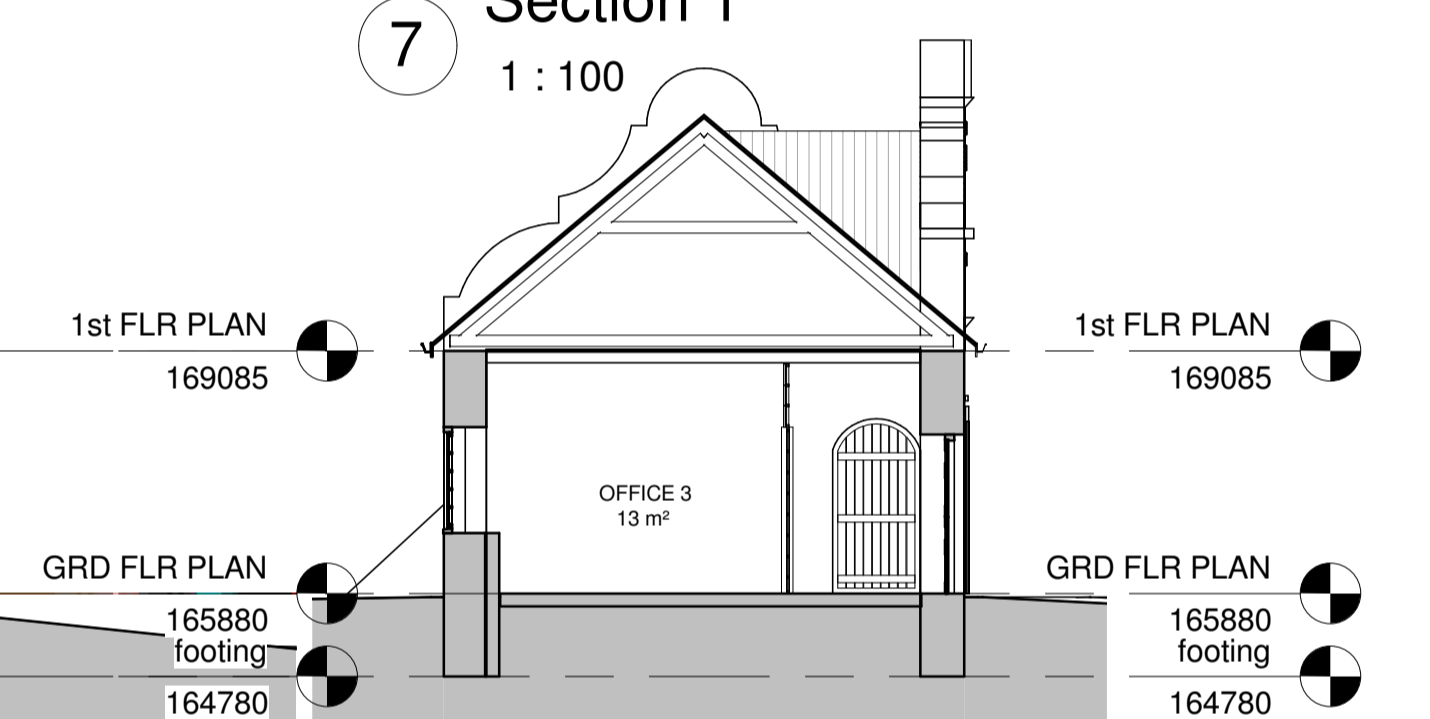
2 Section A  
1 : 100



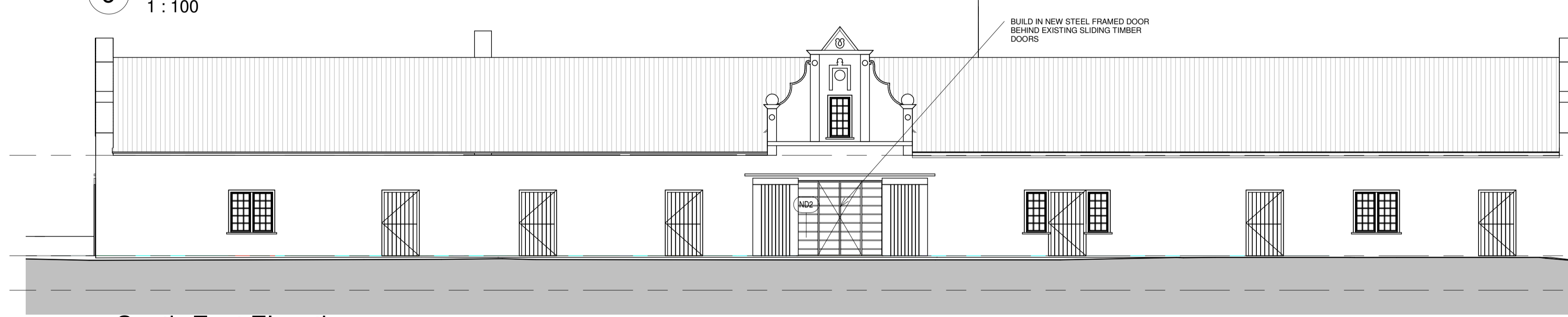
7 Section 1  
1 : 100



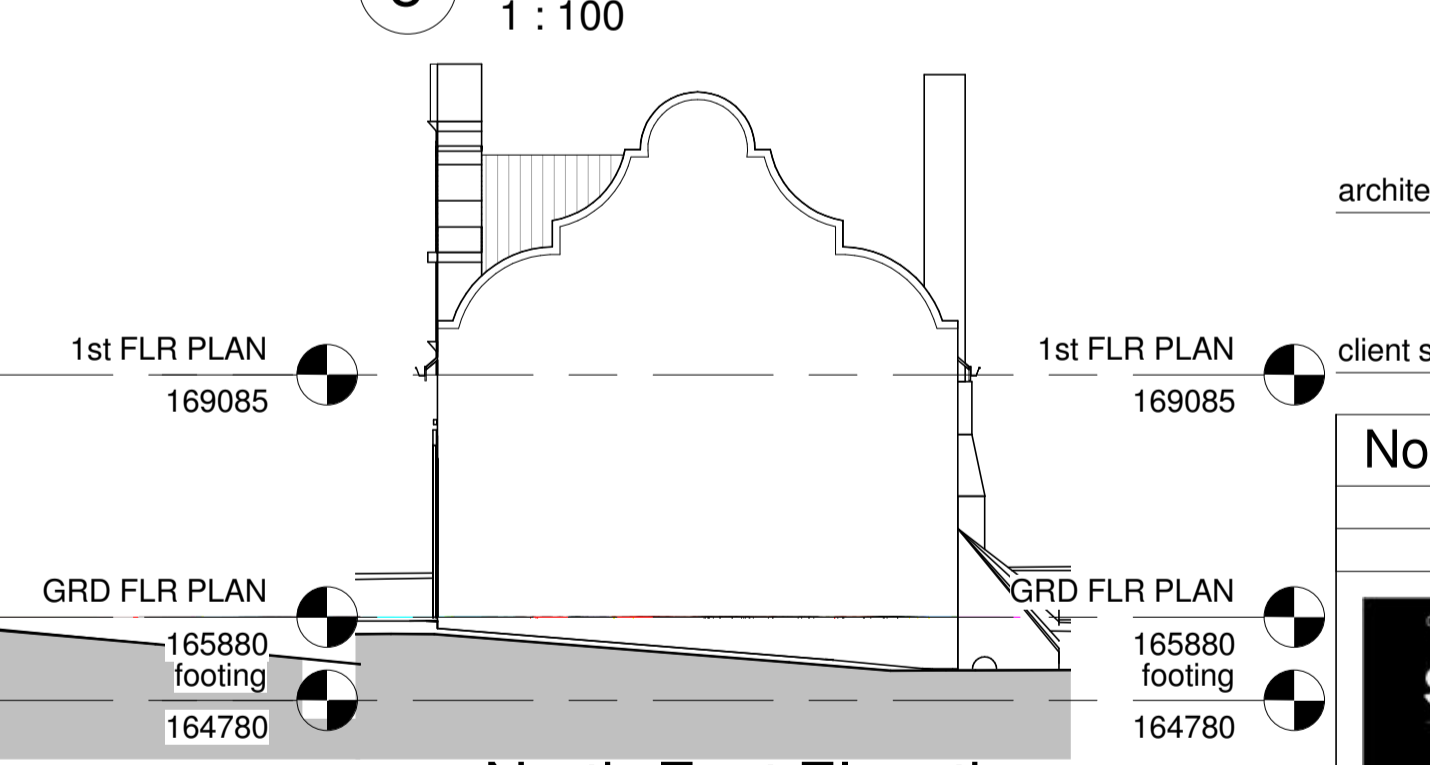
6 Section B  
1 : 100



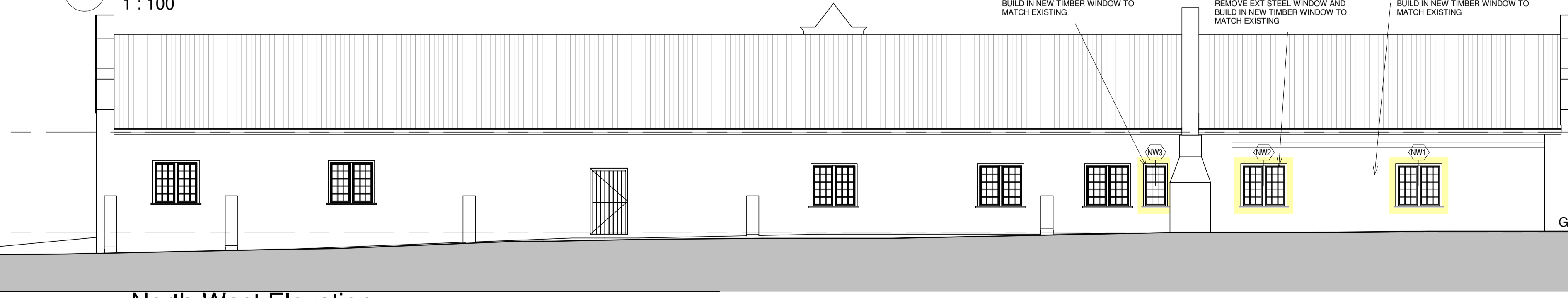
8 Section 2  
1 : 100



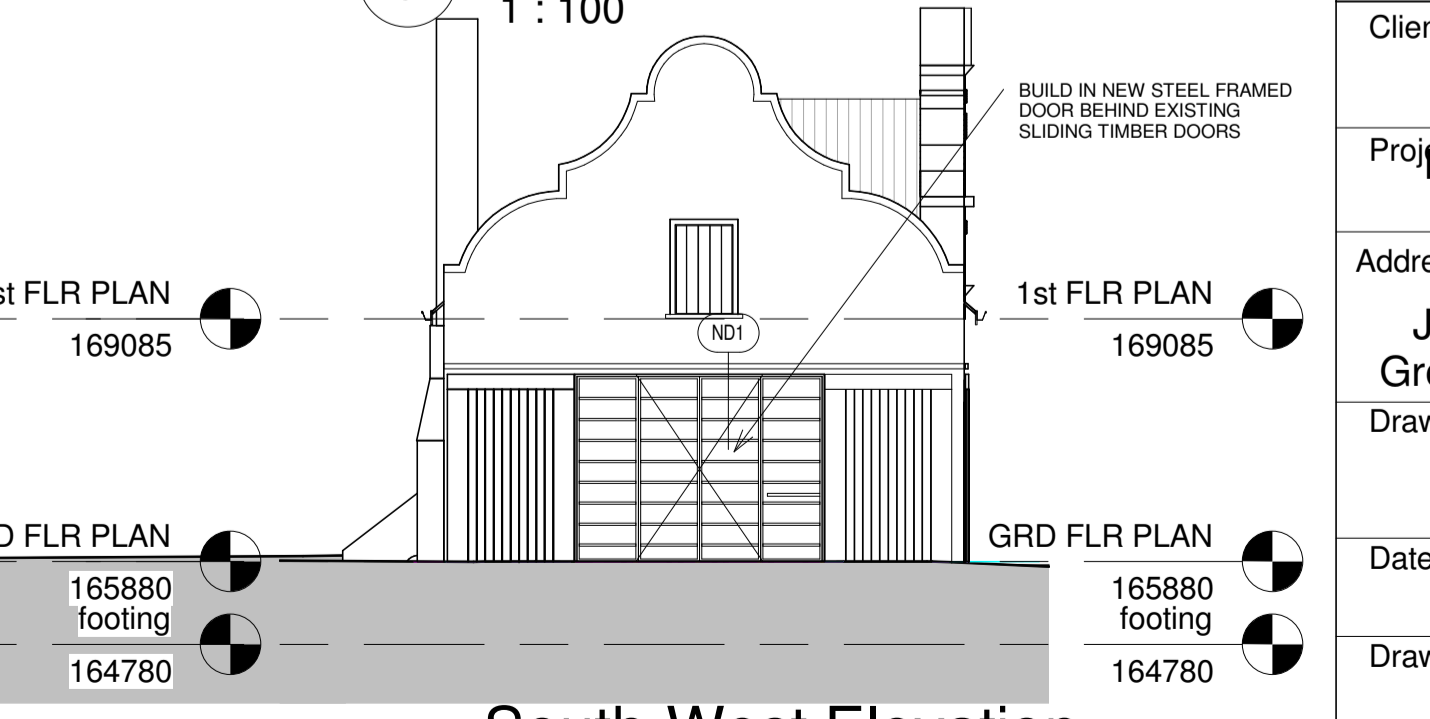
4 South-East Elevation  
1 : 100



3 North-East Elevation  
1 : 100



5 North-West Elevation  
1 : 100



9 South-West Elevation  
1 : 100

architect signature - S Dugmore (pr arch 5628)  
client signature

No.	Description	Date

**sdks architects**  
architecture interiors design heritage  
52 Orchard st, Newlands, Cape Town, 7708  
ph +27 (21) 683 6395  
fax +27 (21) 683 2079  
www.sdks-architects.co.za

Client: **WENDY MAY PICKSTONE**  
Project: **Lekkerwijn outbuilding offices**  
Address: **Lekkerwijn Junction of the R45 and R310, Groot-Drakenstein, W Cape, 7680**  
Drawing: **PLANS, SECTIONS AND ELEVATIONS**  
Date: \_\_\_\_\_ Scales: 1 : 100  
Drawn by: \_\_\_\_\_ Author: \_\_\_\_\_ Status: \_\_\_\_\_  
Drawing number: **L6J3-LA-002**



**SARAH WINTER**  
HERITAGE CONSULTANT

21 Upper Towers Road Muizenberg 7945  
P O BOX 281 Muizenberg 7950

021-7885923  
082 4210 510  
sewinter@yebo.co.za

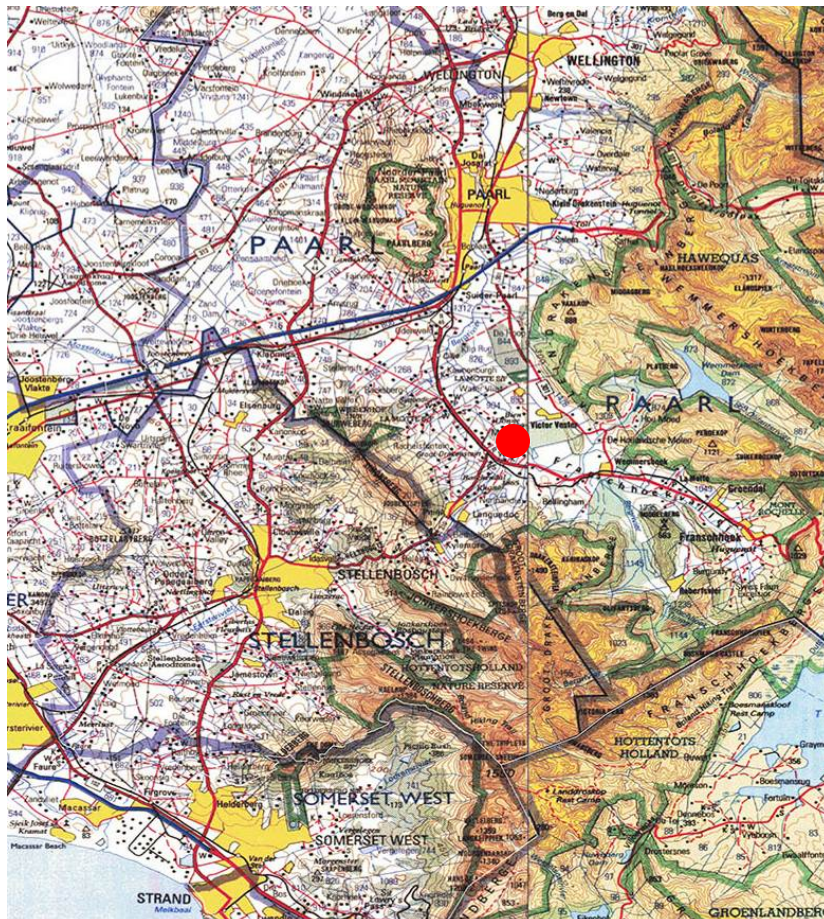
12<sup>th</sup> May 2016

Attention: Heritage Western Cape

**PROPOSED ALTERATIONS TO BARN OUTBUILDING, PORTION 1 OF FARM NO 1460, LEKKERWIJN, GROOT DRAKENSTEIN (STUCTURE OLDER THAN 60 YEARS)**

**A. INTRODUCTION**

Sarah Winter has been appointed by the owners of Lekkerwijn to assist with a National Heritage Resources Act (NHRA; Act 25 of 1999) Section 34 application to Heritage Western Cape (HWC). The application is for alterations to a barn forming part of the historical werf at Lekkerwijn. The property is located close to the intersection of the R45 and R310 at Groot Drakenstein and falls within the Stellenbosch Municipality. It is located within the Grade I Cape Winelands Cultural Landscape. The proposals are for the adaptive reuse of a section of the barn for use as a clinic including a reception space and five consulting rooms.



*Figure 1: Regional Scale Location Plan*



## **B. SITE DESCRIPTION**

The property is currently used as a guest house and function venue.

The barn which is the subject of this application is one of two outbuildings defining the werf to the north-east of the homestead. It is currently largely used as storage space, with stables and a guest cottage located towards the northern-eastern end. The stables and guest cottage are not affected by the proposals.

The section of the barn impacted by the proposals includes the southernmost space used as a garage since 1912. This section including the gable end was entirely rebuilt with a concrete ceiling after being destroyed by a fire in 1912 (Simon Pickstone-Taylor pers.com). This space is proposed as the reception and offices 1 and 2. Next to the garage is a storeroom which is proposed as a kitchenette and bathrooms. A second storeroom is proposed as office 3.

The room under the gable is referred to as the coach house. In c 1912 new barn openings were inserted to accommodate carriages, still presently stored here. It was also used to store saddles and horse tack after the adjacent stables were installed at the same time (Simon Pickstone-Taylor pers.com). Fixtures for hanging and storing horse tack still remain. This space is proposed as offices 4 and 5.

The exact age of the barn is unknown. Photographic evidence of the barn c1900 shows a pre-existing gable that is a typical 'Swartland' gable. The early 19<sup>th</sup> century was a period of great agricultural prosperity at the Cape and is typically associated with the augmentation and formalization of many farm werfs. The current gable is dated 1912 and is a replica of the front gable of the homestead, built to replace the earlier one after it was destroyed in the 1912 fire (Simon Pickstone-Taylor pers.com).

Surviving period joinery dates to c 1912 and includes teak double casements, simple doors and stables made of stinkwood. In c 1990 the timber floors between the stables and the garage were replaced with cement screed floors and the ceilings replaced with SA pine. The barn doors to the garage and coach house were also replaced at this time (Simon Pickstone-Taylor pers.com; plans for alterations to the barn dated c 1990).

Pre-application fabric analysis including plaster removal and detailed historical research may assist in establishing the age and detailed chronological development of the building. However, this is considered unnecessary given the nature and extent of the proposals and their minimal impact on historical fabric. The recording and documentation of historical fabric revealed during construction should be included as a condition of approval.

## C. HISTORICAL OVERVIEW

Lekkerwijn was first granted in 1690 to Arie Lekkerwijn (Henri L'Eccevent). For the first half of the 18<sup>th</sup> century, Lekkerwijn belonged to the same owners as two adjacent farms, Meerrust (now Alle Bleue) and Eenzaamheid. In 1774 it was transferred alone to Sybrand Vermeulen and in 1769 to Willem Petrus van Nieuwkerken, his son-in-law. The mid-18<sup>th</sup> century house built by Vermeulen probably forms part of the present homestead. Its front gable is dated 1834 and was probably added by Jacobus Stephanus de Villiers, owner 1806-1850 (Fransen 2004).

The history of Lekkerwijn is closely associated with the family genealogy and history of the de Villiers and Pickstone families. Abraham de Villiers was an early owner of Lekkerwijn and his descendants continued to live there for over 200 years. HEV Pickstone acquired the farm in 1900 and it is still in the ownership of the Pickstone family, with the werf currently being used as a guest house and function venue (Pickstone-Taylor pers.com)

In 1895 Lekkerwijn was bought to be included in an innovative agricultural scheme, Rhodes Fruit Farms (RFF). HEV Pickstone was the originator of the scheme. In 1900 Cecil John Rhodes granted HEV Pickstone a mortgage bond to buy the homestead as his personal residence, excluding the arable land. Either prior to or during the RFF period the central portion of the barn was used as a post office (Pickstone-Taylor pers.com). In the description of an Arthur Gribble photograph c1900 it is referred to as '*Thatched roof building with gable used as central office, Rhodes Fruit Farms*' (Pickstone-Taylor pers.com, CA/AG7522).

After Rhodes died in 1902, HEV Pickstone continued to manage RFF until 1905. He retained his independence from his famous financial backer and was respected and regarded as one of the pioneers of the export fruit Industry and dried fruit Industry (Pickstone-Taylor pers.com).

The homestead was consistently worked on by Herbert Baker from 1899 through to the 1920s, when it was finalized to its present structure (Pickstone-Taylor pers.com). The work to the homestead over this period is very well researched and documented. The outbuildings including the barn/stables and wine cellar are less well documented. There are no drawings of these outbuildings in the Baker collection at the UCT Manuscripts and Archives. The joinery of the barn reflects the Baker period. However, there is no suggestion that that he was responsible for the c1912 work.

## **D. HERITAGE SIGNIFICANCE**

Lekkerwijn is of high heritage significance worthy of grade II heritage status in terms of the NHRA three tier grading system. It has historical significance for its association with a pattern of early colonial settlement and expansion in the Drakenstein Valley dating to the late 17<sup>th</sup> century. It has strong associations with HEV Pickstone and his significant role in the development of the export fruit and dried fruit industries during the early 20<sup>th</sup> century.

The homestead has high architectural significance for its intact T-shaped house dating from the early 19<sup>th</sup> century, possibly earlier. It also reflects the work of Herbert Baker, who was responsible for a number of alterations and additions to the homestead including the double-storey addition to the east of the 'T'.

The werf as a whole has formal aesthetic qualities with its symmetrical layout around a werf space, the axial alignment of the approach road with the front gable of the homestead, werf walling and treed setting. It exhibits characteristic elements of a Cape farm werf tradition evolved over more than three centuries.

It has social significance for its strong genealogical and family associations; the de Villiers family who owned the property for over 200 years and the Pickstone family who has owned the property since 1900.

The werf forms part of a collection of significant historical werfs strung out in relation to the Dwars and Berg Rivers. This collection contributes significantly to the Grade I Cape Winelands Cultural Landscape.

The barn has significance in contributing to the spatial qualities of the werf. It retains some period features dating to the early 20<sup>th</sup> century, e.g. gables, teak casements, stinkwood stables. The historical barn-like character of the building has been retained in terms of the nature and scale of openings facing onto the werf and south-west gable end, e.g. stable and barn doors.



## E. MOTIVATION FOR THE PROPOSALS

The applicant's motivation for the proposals is attached as Annexure 3. Outlined below is the motivation for the nature and extent of the architectural interventions provided by Stephen Dugmore and Karin Strom Architects (SDKS).

The clients would like to make use of the south-west portion of the existing outbuilding comprising the northern wing of the werf at Lekkerwijn as office space for psychiatric counselling. The clients have established that there is a pressing need for such a facility in the greater Drakenstein/Simondium/Franschoek area. The building and the location lends itself to this purpose.

The proposal is as follows:

- The portion of building proposed for the new offices is currently utilised as temporary storage space. The proposed adaptive re-use as office space would bring new life to the building.
- With exception of the necessary addition of 3 new windows in the north-west facade, the architectural approach is to keep the exterior of the building in its current form and maintain the current detailing. Maintenance and repair work will be done to the existing walls, windows and doors as necessary.
- The 3 new proposed windows in the north-west wall will be made to match the existing casement windows.
- It is proposed that new glazed doors be added behind the 2 sets of existing externally sliding timber garage doors in order to properly seal the interior spaces and allow for light penetration to the related spaces. The existing timber sliding doors and rails are maintained.
- Internally, the existing plastered brick walls are maintained in their current positions. Two of these walls have new openings cut into them to allow for necessary internal circulation along the length of the building. The third wall has an existing opening which is utilised for the same purpose.
- New walls that serve as space divisions for the proposed offices, toilets and kitchenette are made of timber drywall construction. This differentiates new work from old as well as easily accommodating any potential removal of these internal walls should this become necessary at some future point. The new drywalls generally stop short of the existing walls and the ceiling with new glazed inserts acting as 'gaskets' between these elements. This allows the depth of the space to be read at ceiling level as well as further differentiating newly inserted structure from old.
- The existing boarded and pole ceilings are maintained along with the more recently added suspended concrete slab.
- Floors are existing concrete/screeds which will be maintained and repaired as necessary
- A new kitchenette is provided in the space currently housing the fireplace hearth, which gains new life as a feature of this room. New toilets required by regulation are provided alongside.

## **F. ASSESSMENT OF PROPOSALS**

The proposed adaptive reuse of a section of the barn as a clinic will contribute to the long term sustainable use of the building which is currently largely used as storage space.

More specific heritage implications of the proposals are assessed below.

### **F.1 Historic fabric implications**

The underlying purpose of the proposals is to minimize physical interventions to historic fabric. Physical interventions to historic fabric are limited to two small new openings to the internal walls and three new windows on the north-west façade. Limited penetration of old external wall fabric will be required to link drainage from the bathrooms to a new septic drain. The dry-wall partitions will preclude the introduction of new foundations.

The historic fabric of the south-east, south-west and north-east facades of the building will not be impacted except for the insertion of glazed doors behind the existing garage and coach house sliding doors.

- (i) It is important to ensure that the 'making good' of interventions is as compatible with the old fabric as possible. Therefore only lime mortars and renders are to be used.
- (ii) Most new services should not be chased into the old walls but rather mounted proud of the old walls and concealed.
- (iii) Most new joinery and fittings should be free-standing to avoid fastening into old fabric.
- (iv) Historic fabric uncovered during the construction process should be recorded and photographed and included in a close-out report prepared by the architects.

### **F.2 Legibility of historical fabric and internal layout**

The 5 offices have been carefully configured to retain the linear quality of the internal space with the provision of a generous gallery space along the south-east length of the building. The legibility of the historic fabric has been maintained by the contemporary nature of the new work including the use of steel framed glazed doors, timber dry-walls and the drywalls being separated from the existing walls and the ceiling with new glazed inserts acting as 'gaskets' between these elements.

The proposed new windows on the north-west façade to match existing should be date stamped on inconspicuous parts of the relevant window frames.

### **F.3 Werf character**

The proposed interventions to the barn will not impact the main facade of the building and its relationship with the central werf space.

No formal structured parking is envisaged with parking for staff and patients accommodated under the trees of the pin oak avenue to the west of the barn. This area is already used for parking for functions and is effectively screened from view from the werf.

## **G. RECOMMENDATIONS**

It is recommended that approval for the proposals be granted in terms of Section 34 of the NHRA subject to the following conditions:

- The development is accordance with the plans, sections and elevations (Drawing L6J3-LA-002).
- Only lime mortars and renders are to be used in the 'making good' of new interventions.
- Most new services should not be chased into the old walls but rather mounted proud of the old walls and concealed.
- Most new joinery and fittings should be free-standing to avoid fastening into old fabric.
- Historic fabric uncovered during the construction process should be recorded and photographed by the principal architects and included in a close-out report submitted to HWC within 30 days of practical completion.

Sarah Winter



## **LIST OF FIGURES**

*Figure 1: Regional Scale Location Plan*  
*Figure 2: Local Scale Location Plan*  
*Figure 3: Werf Scale Location Plan*  
*Figure 4.1: Photographic Survey*  
*Figure 4.2: Photographic Survey*  
*Figure 5: Arthur Elliot Photographic c1900*

## **LIST OF APPENDICES**

*Annexure 1: Title deed*  
*Annexure 2: Power of Attorney*  
*Annexure 3: Applicant's motivation*

## **REFERENCES & BIBLIOGRAPHY**

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### **Personal communications**

Email correspondence with Simon Pickstone-Taylor on history of the barn and its use over time  
Motivation prepared by Simon Pickstone-Taylor on the heritage significance of Lekkerwijn including references and bibliography

### **Cape Archives**

Arthur Gribble Collection CA/AG/7522

### **Previous plans**

Plans for the alterations of the barn/stable c 1990



Figure 2: Local Scale Location Plan; Lekkerwijn werf situated on Portion 1 of 1460





Figure 3: Werf Scale Location Plan





4.1.1 View across the werf looking southwards towards the rear of the homestead with the barn located to the far right



4.1.2 Front elevation of the T-shaped homestead



4.1.3 South-east facing front elevation and north-east gable end of the barn; the section to the right of the gable including the stables and guest cottage will not be affected by the proposals



4.1.4 South-east facing front elevation and south-west facing gable end of the barn; the section affected by the proposals includes, left to right, the garage, a storeroom, a second storeroom and the coach house

*Figure 4.1 Photographic Survey*





4.2.1 Entrance to stables; stable doors and sidelights c 1912



4.2.2 Stinkwood stables c 1912



4.2.3 Gable c 1912 with barn doors c 1990; similar doors to garage



4.2.4 Typical stable doors on south-east facing front elevation



4.2.5 Typical double casements c 1912



4.2.6 Pine ceilings in spaces between garage and stables

*Figure 4.2 Photographic Survey*



*Figure 5: Arthur Gribble photograph c 1900 above showing the barn with a thatched roof and pre-existing gable when the building was used as an office by Rhodes Fruit Farms. The photograph below is taken from a similar perspective to illustrate changes to the building since c 1900 (CA/AG7522)*

## ANNEXURE 1: TITLE DEED



Prepared by me:

*M. Torrington*  
CONVEYANCER  
TORRINGTON, M J

VIR ENDOSSEMENTE KYK BLADSY  
FOR ENDORSEMENTS SEE PAGE.....

6

T 45828/11

**CERTIFICATE OF REGISTERED TITLE**

Issued under the provisions of Section 43 of the Deeds  
Registries Act No. 47/1937 as amended

**WHEREAS**

**PICKSTONE AND SON (PROPRIETARY) LIMITED**  
(Co. No. 05/39279/07)

have applied for the issue to them of a Certificate  
of Registered Title under Section 43 of the Deeds  
Registries Act 1937, in respect of the undermentioned  
land, being portion of the land registered in its  
name under Certificate of Consolidated Title No. T - 45828-04

*J*

NOW, therefore, in pursuance of the provisions of the said Act, I, the Registrar of Deeds at Cape Town, do hereby certify that the said PICKSTONE AND SON (PROPRIETARY) LIMITED (No. 05/39279/07), White Group, or assigns is the registered owner of :

PORTION 1 OF THE FARM DELTAMEER NO. 1460, in the Division of Paarl;

IN EXTENT: 16,1672 (Sixteen comma One Six Seven Two) Hectares;

AS WILL APPEAR from the annexed Diagram No. 9140/90 and held by Certificate of Consolidated Title No. T 45829191

1. AS REGARDS THE FIGURE A B n m on attached Diagram No. 9140/90:

SUBJECT to the conditions referred to in the endorsement dated 17 March 1931 on Deed of Transfer No. T6238/1922 which reads as follows:

*Handwritten notes:*  
4/10/31  
2/23/31  
19/7/31 R.M.L.

*Handwritten mark:*  
P

*Handwritten mark:*  
P

(ii) To the conditions referred to in the Endorsement of Servitude dated 17th March 1931 on Deed of Transfer No. T6238/1922, which said Endorsement reads as follows:

"The within described land is subject to a servitude with regard to apportionment of water in terms of an Order of the Water Court (Water Court District No. 1 dated 13th May 1921) as will more fully appear on reference to the copy of the said Order annexed hereto."

2. AS REGARDS THE FIGURES n C x M and m x C Middle of water furrow D on the attached Diagram No. 9139/90.

A. SUBJECT to the conditions referred to in Certificate of Registered Title No. T2785/1952.

B. SUBJECT FURTHER to the conditions referred to in the endorsement of servitude dated 17 March 1931 on Deed of Transfer No. T6238/1922 which endorsement reads as follows:

"The within described land is subject to a servitude with regard to apportionment of water in terms of an order of the Water Court (Water Court District No. 1 dated 13 May 1921) as will more fully appear on reference to the copy of said Order annexed hereto."

C. SUBJECT FURTHER to the following condition contained in Certificate of Uniform Title No. T4291/1944, reading as follows:

"That the Government shall at all times have the right to resume a portion of the whole of the said land if required for public purposes on payment of such sum of money in compensation as may be mutually agreed upon by the parties concerned, or failing such agreement, as may be determined by arbitration."

- D. ENTITLED to the benefit of the conditions referred to in paragraph (a) of the endorsement of servitude dated 31 March 1944 on Certificate of Uniform Title No. T4291/1944, the relevant portion of which endorsement reads as follows:

"By T No. 4292/1944 (para 2) the transferee and its successors in title to the land thereby conveyed (para 2) shall be debarred from erecting any buildings within a distance of 62,97 metres from those portions of the South Eastern Boundary of the land thereby conveyed (para 2) and lettered f.g. and h.y. on the diagram No. 3769/42 thereunto annexed."

①

1



AND that by virtue of these presents the said PICKSTONE AND SON (PROPRIETARY) LIMITED (No. 05/39279/07) or assigns now is and henceforth shall be entitled thereto conformably to local custom, the State, however, reserving its rights.

IN WITNESS whereof I, the said Registrar, have subscribed to these presents, and have caused the seal of office to be affixed thereto.

THUS DONE and executed at the Office of the Registrar of Deeds at CAPE TOWN on this 26 day of JULY 1991.



.....

REGISTRAR OF DEEDS



BC 41596191

w.o.p.

Artikel Section.....	43 (1)	Wet No. 47 van 1937 Act No. 47 of 1937
Verbind deur Verband No. Mortgaged by Bond No.	B20043/88	BC 52890/191
gedateer dated.....	12/4/1988 vir for R500000,00	RELEASED ON THE FOL.
P.R. Ek.....		
Aktekantoor, Deeds Office, Kaapstad/Cape Town.	26 07 91	Asst.-Registrateur Asst. Registrar

13 09 91

BC 41597191

w.o.p.

Artikel Section.....	43 (1)	Wet No. 47 van 1937 Act No. 47 of 1937
Verbind deur Verband No. Mortgaged by Bond No.	B23511/83	BC 52893/191
gedateer dated.....	5/11/1983 vir for R300000,00	ON THE FOL/RELEASED
P.R. Ek.....		
Aktekantoor, Deeds Office, Kaapstad/Cape Town.	26 07 91	Asst.-registrateur Asst. Registrar

13 09 91

VIR ENDOSSEMENTE KYK BLADSY FOR ENDORSEMENTS SEE PAGE 1

BC 41598191

w.o.p.

Artikel Section.....	43 (1)	Wet No. 47 van 1937 Act No. 47 of 1937
Verbind deur Verband No. Mortgaged by Bond No.	B27006/89	BC 52892/191
gedateer dated.....	23/5/1989 vir for R1,000000,00	ON THE FOL/RELEASED
P.R. Ek.....		
Aktekantoor, Deeds Office, Kaapstad/Cape Town.	26 07 91	Asst.-registrateur Asst. Registrar

13 09 91

BC 41599191

w.o.p.

Artikel Section.....	43 (1)	Wet No. 47 van 1937 Act No. 47 of 1937
Verbind deur Verband No. Mortgaged by Bond No.	B13546/86	BC 52891/191
gedateer dated.....	3/4/1986 vir for R200000,00	ON THE FOL/RELEASED
P.R. Ek.....		
Aktekantoor, Deeds Office, Kaapstad/Cape Town.	26 07 91	Asst.-registrateur Asst. Registrar

13 09 91

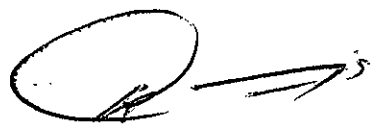
(26)

7

*For ... of ...*

*not ...*

\* ENTITLED to a servitude water pipeline 3 (Three) metres  
 wide to pump water from the Berg River, as contained  
 in Deed of Transfer No. T 45834191 /1991  
 registered this day, together with such ancillary  
 rights as regards access and maintenance as may be  
 reasonable or normal under the circumstances, in favour  
 of Portion 1 of the Farm Deltameer No. 1460, in the  
 Division of Paarl, in extent 16,1672 Hectares: the  
 centre line whereof is indicated by the line S1 T1  
 U1 on Diagram No. 9143/90, and it is a condition of  
 the servitude that the positioning of the pump on  
 the Berg River may be changed from time to time.




**DEEDS OFFICE**  
**CAPE TOWN**

**REGISTRAR OF DEEDS**

VIR ENDOSSEMENTE KYK BLADSY  
 FOR ENDORSEMENTS SEE PAGE

8

By Deed of Transfer  
 No. 27334/93+ the within  
 property is entitled to a  
 servitude water pipeline  
 3 metres wide to convey  
 water over the property on  
 such terms and conditions  
 and situations as the  
 registered owners may  
 require in its sole discretion  
 over portion 5 of the farm  
 Deltameer no. 1460 meas  
 12,3653 Ha held by Deed of  
 Transfer 27334/93 as well more  
 fully appear from the said  
 Deed of Transfer  
 Deeds Office  
 Cape Town  
 23 03 93

  
 Registrar of  
 Deeds

for end. see p 9



By Notarial Deed No K 387/99

the within Property is entitled to a servitude right of way, as indicated

by the Plan ABCDEFGHIJK on sectord servitude diagram No 2005/97

OVER REMAINDER OF THE FARM NO 1475

HELD BY T 74351 /91

As will more fully appear from the said Notarial Deed.

DEEDS REGISTRY

CAPE TOWN

2  
REGISTRAR OF DEEDS

29 04.99

ONTREIENING DEUR Provinciale Administrasie: WES-ER-KAAP	EXPROPRIATION BY WESTERN CAPE
VAN AF (A PTN. OF PTN.) OF THE FARM DELTANGER No. 1460	
GROOT ONGEVEER/MEASURING APPROXIMATELY 7633 M <sup>2</sup>	
EX 11/95	<u>[Signature]</u>
29 04.99	REGISTRATEUR VAN AKTES

*not subject*

30

BY Notarial Deed No. K 19/2002 dated 12 November 2001

the within property is

ENTITLED to the following servitude over the Remainder of the Farm Lekkerwyn No. 997, in the Stellenbosch Municipality, Division of Paarl, Western Cape Province, in extent 25,6960 Hectares held by Deed of Transfer No. T 2582/1902 (Para 26) :

"A 3 metre pipeline servitude from the middle of the water furrow at a to the middle of the Dwars River at s, the line aA represents the northern, the line ABCDEFGHJK represents the north western, the line KMM represents the northern and the line NPQRSs represents the north eastern boundary of such servitude as depicted on servitude diagram SG9598/1996 annexed thereto. Where limited by the property boundary, the aforesaid servitude extents to the property boundary."

SUBJECT to conditions as will more fully appear on reference to said Notarial Deed.

2002-01-14  
DEEDS OFFICE  
CAPE TOWN

*Handwritten signature*

*Handwritten signature*  
REGISTRAR OF DEEDS

DIE IDENTITEITSNOMMER VAN DIE	THE IDENTITY NUMBER OF THE
IS VERANDER NA	HAS BEEN CHANGED TO
1950	039279107
2002-01-14	REGISTRAR OF DEEDS REGISTERED

*Reg*

*Handwritten signature*

REGISTRAR OF DEEDS  
REGISTERED  
SEE PAGE

FOR FURTHER ENCUMBRANCES AND  
FOR FURTHER ENCUMBRANCES SEE

Endorsement


BY VIRTUE OF NOTARIAL DEED NO.  
K02000/03 2003 DATED 6/02/03 THE  
ROUTE OF THE SERVITUDE PIPELINE IN  
ENDORSEMENT DATED 23/03/93 ON PG 8  
HAS BEEN DETERMINED AS DEPICTED BY  
THE FIGURES ON SERVITUDE DIAGRAM 9599/96  
AS WILL MORE FULLY APPEAR FROM SAID  
NOTARIAL DEED.

DEEDS OFFICE  
CAPE TOWN 2003-03-11

REGISTER OF  
DEEDS

10      12

Ptn. 80 Meas. 2,4369 ha

<b>GETRANSPORTEER AAN</b>		<b>TRANSFERRED TO</b>	
ALLEE-BLEUE ESTATE (PTY) LTD			
<b>RESTANT/REMAINDER</b> 13, 1303 ha			
<b>T</b> 000058795 / 2011			
2011-10-21			
		<b>REGISTRAR</b>	



Remainder

10

**NOTARIAL DEED OF SERVITUDE**



000000962 / 2011

By virtue of Notarial Deed of Servitude No.K.....S dated 5<sup>th</sup> August 2011

The within property is entitled to:

1.1a right of access in perpetuity by way of the servitude road 7metres

wide, the centre line whereof is depicted by the line AB on servitude diagram No.1591/2010

1.2 a right of access by way of servitude road 5metres wide, the centre line whereof is depicted by the

Line cd on servitude diagram No.1591/2010

Subject to ancillary rights and in particular a specific proviso to subdivision contained therein

1.3 a servitude in perpetuity to drain storm water by way of the servitude furrow 2metres wide

(which may at the election of Pickstone and its successors in title be replaced by underground pipes)

as depicted by the curvilinear lines ef and gh on servitude diagram No.1591/2010

Subject to ancillary rights

Over The Farm No.1758 meas.83,7412 ha held by Certificate of <sup>Consolidated</sup> Registered Title

NoT.000058796 / 2011

*Consolidated*  
  
Registrar of Deeds

Deeds Office

Cape Town

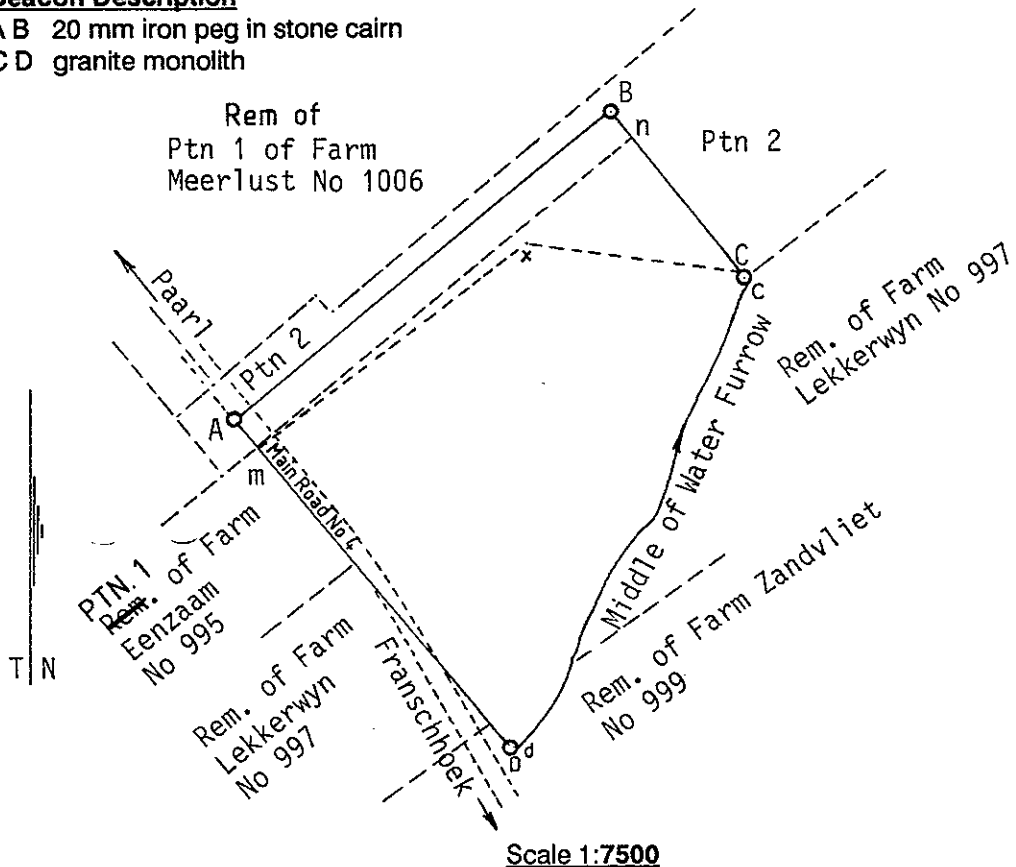
2011 -10- 21

DAVID HELLIG & ABRAHAMSE, LAND SURVEYORS

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES				S.G. No.  9140-90 Approved <i>Canz</i> Surveyor-General 1991.02.25
		Y	System	Lo19°	X	
	Constant		+	0,00	+3700 000,00	
AB	485,44	230 19 50	A	+	1 942,00	+ 48 332,89
BC	210,71	320 27 30	B	+	1 568,34	+ 48 023,00
CD	525,03	26 07 20	C	+	1 434,19	+ 48 185,49
DA	426,04	139 30 30	D	+	1 665,36	+ 48 656,89
Cc		234 01 10				
Dd		319 30 30				
		270 Orleans	△	-	2 458,99	+ 47 764,54
		60 Simon	△	+	6 670,03	+ 50 486,32

**Beacon Description**

AB 20 mm iron peg in stone cairn  
 CD granite monolith



The figure **A B C c Middle of Water Furrow d**  
 represents 16,1672 hectares of land being  
**Portion 1 of the Farm Deltameer No 1460**  
 situate **in the**  
 Administrative District of **PAARL** Province of Cape of Good Hope  
 Surveyed in **September - November 1990**  
 by me, *UMLg* Land Surveyor

This diagram is annexed to <i>Cont. Reg. Table</i> No. <b>45830/191</b> dated <b>1991-07-26</b> i.f.o. <i>Puckstone - Seng</i> <i>My R)</i> Registrar of Deeds	The original diagram is No. <b>9139/90</b> annexed to Transfer No.	File No. <b>Parl. 1460</b> S.R. No. <b>3035/90</b> Comp. <b>BH-8BDD (3767)</b>
--	--	--

## ANNEXURE 2: POWER OF ATTORNEY

**SPECIAL POWER OF ATTORNEY**

**KNOW ALL MEN WHOM IT MAY CONCERN:**

That we, the undersigned,

**PICKSTONE & SON PROPRIETARY LIMITED**  
**Registration Number: 1950/039279/07**  
**Herein represented by Mrs Wendy May Pickstone**

do hereby grant power of attorney to and in favour of:

**DR SIMON PICKSTONE TAYLOR**

to:

1. sign on behalf of ourselves any applications to be made any local authority relating to consent uses to be granted in respect of or rezoning of the immovable property registered in our name, being:

Portion 1 (Remaining Extent) of the Farm Lekkerwijn No. 1460 in the Winelands Municipality, Division Paarl, Western Cape Province  
In extent 16,1672 Hectares  
Held by Certificate of Registered Title No. T45830/1991

("the Property")

2. submit any applications for heritage and/or environmental approvals or consent to any competent authority in respect of our Property;
3. to appoint any townplanners, environmental consultants or heritage consultants to act on our behalf in respect of any of the aforementioned applications to be made in respect of the Property;

all or any such actions so taken by Dr Simon Pickstone-Taylor being hereby confirmed, approved and ratified.

SIGNED at Franschoek on 10th May 2016

Wendy May Pickstone

Pickstone & Son (Pty) Ltd

Herein represented by Mrs Wendy May Pickstone

## ANNEXURE 3: APPLICANT'S MOTIVATION



10<sup>th</sup> May 2016  
 Groot-Drakenstein

## **Rationale for the Proposed Development at Erven 1460 ; Farm 'Deltameer'; Groot Drakenstein**

This proposal is for the establishment of an integrated facility for children, adolescents and individuals with Autism and their families in the Simondium/Franschoek/Drakenstein area of the Western Cape. This would be the first established centre of its' precise kind in South Africa, and indeed, Africa. The facility would be ideally placed within an accessible keypoint with a natural, heritage environment, such as that offered by the Lekkerwijn estate. This document seeks to a) illustrate the need for such a specialist facility in the Western Cape (and indeed in Africa); and b) illustrate the rationale for situating such a facility at the proposed site.

### **Current Practice:**

Currently, the primary parties behind the project (Ben Truter and Dr Simon Pickstone-Taylor) work within a team that is situated on Paarl Main Road. This is a rented facility and the team (several Clinical Psychologists; the Specialist Child and Adolescent Psychiatrist and the Developmental Paediatrician work from this facility. The referrals to the team are for two primary reasons: a) a request for diagnosis; and b) referrals for intervention – within the family and all domains of their immediate environment. Referrals are primarily from the Paediatric Neurologists; Specialist Child Units (without the capacity to identify or intervene with ASD); and other Paediatricians; Psychiatrists and Community Resources.

The facility has a primary inherent shortcoming in capacity in that there are simply no further rooms to rent. This has placed significant restrictions on the extent to which a) we are able to meet the needs of our existing caseload. This caseload is constituted by both families with access to private healthcare and families with no access to medical aid or similar. There is no state- funded or resourced unit for Autism in this area. The inability to service our existing caseload (because we do not have the physical space to accommodate further Clinical or support staff); as well as our exponentially-increasing waiting-list has been of great concern to us. We need a space that is constructed with Autism in mind (because of the broad constellation of sensory factors that must be considered when conceiving a space for ASD); one that allows for space for accommodating the relevant professionals; and one that is rurally-based – due to the significant number of research-based outdoor interventions that should be offered. We also believe very strongly in making such a Specialist facility accessible to individuals and families who are without private healthcare funding, and can do so meaningfully, if our capacity is extended.

The first stage would be the use of an identified and unused stable building on Lekkerwijn estate as a temporary clinic. This would allow for interim relief; and would constitute a suitable facility whilst a primary (new) facility is planned. Therefore, an application for temporary zoning relief/departure for the stable buildings on Lekkerwijn would be made to allow for the converted garage and adjacent rooms to be utilized.

### **The Focus Area:** Autism as a Developmental Crisis Area

Autism is a neurodevelopmental disorder. This means that the development of the brain and wider nervous system in people with autism differs from typical neurodevelopment; and this divergent neurological functioning is present prior to birth. Because of this difference in development, the way in which people with autism think and process information differs to that of the majority of people within the typical population. In particular, this difference affects:

- the ability to communicate effectively;
- the ability to secure and maintain effective relationships;
- the ability to think and act flexibly;
- the perception and management of sensory stimuli

Prevalence and incidence studies posit that approximately 1 in 45 (latest US Centre for Disease Control Figures) children are born with a condition on the Autistic Spectrum. Whilst there are no formal completed incidence studies in South Africa, these

rates are considered to be reasonably constant worldwide, through race, ethnic and cultural groupings. There are no boundaries as to who is affected and where.

Autism Spectrum Conditions constitute the fastest-growing developmental condition or disability in mankind's history, at present, according to the Centre for Disease Control in the United States. Furthermore, Autism is having a bigger cost impact on national economies than any other medical condition. The LSE (London School of Economics) recently (2015) published research indicating that Autism costs the United Kingdom more (in terms of treatment and intervention, lost earnings and care and support) than heart disease, cancer and strokes combined. Annually, 32 Billion Pounds is spent in the treatment, intervention and support of individuals with Autism; where 12 Billion Pounds is spent on Cancer and Cancer-related treatments and interventions. Indeed, JAMA (The Journal of the American Medical Association) describes Autism as 'the most expensive medical condition to treat'. Currently, the need for continued and further research in the field of Autism remains profound. Alongside this, international best practice models – (from the United Kingdom, United States, the EU and other economically developed spheres, such as Australia and New Zealand) have focussed on national best-practice guidelines, in the context of national centres of excellence and expertise, to assess, diagnose and support children (and their families) and individuals (across the life-span) with Autism. Currently, such centres have been able to provide the following:

- Diagnostic and assessment services;
- Family-based intervention models;
- Appropriate and evidence based specialist early intervention;
- Access to specialist intervention support;
- The provision of evidence and research-based best practice support;
- Support, training and guidance for professionals;
- The direct implementation of ASD-appropriate interventions across the life-span and environmental supports.

#### **The South African Context:**

In South Africa, service provision is both thinly-spread across isolated services; there is little to no comprehensive post-diagnostic support (especially beyond the early childhood phase); and there is a dire shortage of appropriately trained diagnostic professionals. Indeed, diagnostic practice (which allows infants to access early intervention – which is prognostically imperative) is limited. Whilst major progress has been made with the presence of esteemed international authorities such as Professor Petrus de Vries (Sue Struengmann Professor of Child and Adolescent Psychiatry at UCT) in our midst; in practical terms, families struggle to:

- Access a team-based comprehensive diagnostic assessment using international best practice diagnostic practice;
- Access a family-based setting where intervention, and post diagnostic support is situated in one centre; and where families can receive the support they require.
- Access support across the life-span; as well as the appropriate associated needs – such as the group and family-based interventions.
- Similarly, the provision of a best practice intervention – an intensive environmental intervention around the child or individual remains largely inaccessible to most – due to a paucity of appropriate skills, resources, guidance and access to coordinated, and child-based team intervention.

Currently, facilities are usually present for one 'strand' or aspect of the intervention process; and where these are available, they are usually available to very few; after very considerable waiting times; and they focus on one 'branch' of the intervention process. Aside from individual education-based state facilities (such as Vera School in Cape Town) and private facilities which focus or adhere to specific intervention approaches (such as SNAP or REACCH or the STAR School); or advocacy and support bodies.

#### **The Proposed Development as a Response to the needs of individuals (with ASD) and their families:**

A parallel ideal facility is the Els Center for Excellence in Florida, United States (construction commenced in March, 2014).

At present there is no facility in South Africa which provides an all-in-one:

- Diagnostic assessment based on international best practice in a team setting;
- Immediate and appropriate (to each presenting child) intervention support in all domains of need;
- Access to a full and inter-related clinical, therapeutic and education team;
- Interface between diagnostic practice, education and family-based intervention;
- Life-span supports for individuals on the Autistic Spectrum.

The proposed development at Lekkerwijn would constitute a continental 'first'; in that it would indeed be the first facility of its kind in Africa, and would allow for a coordinated, and excellence-based comprehensive centre to be placed in the Groot Drakenstein area. The Centre would also take every necessary step to retain and strengthen all relevant relationships with National and International Universities.

### **General Mental Health Services**

While Autism would be the primary focus of much of the work undertaken by the team of clinicians working at Lekkerwijn in these offices, the clinicians would also be able to provide generic mental health services to patients. There is a dire need for Child & Adolescent Mental Services throughout South Africa, but particularly outside major cities. At present there are only about 25 child & adolescent psychiatrists practicing in South Africa, most of almost all of whom are practice in the major cities such as Cape Town , Johannesburg and Pretoria. There is considerable evidence to show that Child & Adolescent Mental Health Services are best offered by a multi-disciplinary team. There are no such services available outside Cape Town in the Cape Province, in private or state (in fact there is no state child & adolescent psychiatrist available further than Tygerberg hospital in the Western Cape). The clinicians working at Lekkerwijn would provide an excellent and much needed mental health service for young people, both fee paying and those without sufficient financial resources, giving particular priority to those living locally. Dr Simon Pickstone-Taylor, who is a Lekkerwijn trust beneficiary and the trustees of this trust are choosing to have Lekkerwijn's land used for this purpose as they wish the local under-privileged community to benefit from Lekkerwijn, particularly in the form of better mental health services.

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