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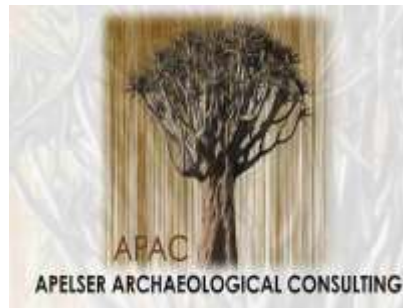
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Comprehensive and Professional Solutions for all Heritage Related Matters
CK 2006/014630/23 **VAT NO.: 4360226270**

APAC020/36

2020-05-23

To: Mr. Andrew Salomon
South African Heritage Resource Agency
P O Box 4637
Cape Town
8000

RE: MOTIVATION FOR EXEMPTION FROM FULL PHASE 1 HERITAGE IMPACT ASSESSMENT – PROPOSED MUNYAKA PEDESTRIAN BRIDGE DEVELOPMENT ON A PORTION OF THE REMAINING EXTENT OF PORTION 1 OF THE FARM WATERVAL 51R, CITY OF JOHANNESBURG METROPOLITAN MUNICIPALITY, GAUTENG

APelsers Archaeological Consulting cc (APAC cc) was appointed by Bokamoso Landscape Architects & Environmental Consultants CC to provide a motivation for Exemption from a Full Phase 1 HIA for the proposed Munyaka Pedestrian Bridge Development on a Portion of the Remaining Extent of Portion 1 of the farm Waterval 51R. The proposed development and study area is located in the City of Johannesburg Metropolitan Municipality of Gauteng.

Background to the Project

Balwin Properties Limited is proposing to develop a new Pedestrian Bridge as part of their on-going developments, Munyaka and Kikuyu, on opposite sides of the Jukskei River. The bridge will be approximately 170m in length and will cross a section of the Jukskei River here.

In terms of the National Heritage Resources Act, Act no. 25 of 1999, heritage resources including archaeological or palaeontological sites over 100 years old, graves older than 60 years, structures older than 60 years are protected. They may not be disturbed without a permit from the relevant heritage resources authority. This means that prior to development it is incumbent on the developer to ensure that a Heritage Impact Assessment is done. This must include the archaeological component (Phase 1) and any other applicable heritage components. Appropriate (Phase 2) mitigation, which involves recording, sampling and dating sites that are to be destroyed, must be done as required.

The quickest process to follow for the archaeological component is to contract an accredited specialist to provide a Phase 1 Archaeological Impact Assessment Report. This must be done before any large development takes place. The Phase 1 Impact Assessment Report will identify the archaeological sites and assess their significance. It should also make recommendations (as indicated in section 38) about the

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process to be followed. For example, there may need to be a mitigation phase (Phase 2) where the specialist will collect or excavate material and date the site. At the end of the process the heritage authority may give permission for destruction of the sites.

Where bedrock is to be affected, or where there are coastal sediments, or marine or river terraces and in potentially fossiliferous superficial deposits, a Palaeontological Desk Top study must be undertaken to assess whether or not the development will impact upon palaeontological resources - or at least a letter of exemption from a Palaeontologist is needed to indicate that this is unnecessary. If the area is deemed sensitive, a full Phase 1 Palaeontological Impact Assessment will be required and if necessary, a Phase 2 rescue operation might be necessary. Please note that a nationwide fossil sensitivity map is available on SAHRIS to assist applicants with determining the fossil sensitivity of a study area.

Any other heritage resources that may be impacted such as built structures over 60 years old, sites of cultural significance associated with oral histories, burial grounds and graves, graves of victims of conflict, and cultural landscapes or viewsapes must also be assessed.

If the property is very small or disturbed and there is no significant site the heritage specialist may choose to send a letter to the heritage authority motivating for exemption from having to undertake further heritage assessments.

Last mentioned option was decided on for this project which entailed desktop research as part of the assessment. A short site visit was also undertaken to strengthen the motivation for exemption. Previous heritage work in the study area was utilized for background information and is indicated in the List of References.

Relevant Legislation

Aspects concerning the conservation of cultural resources are dealt with mainly in two acts. These are the National Heritage Resources Act (Act No. 25 of 1999) and the National Environmental Management Act (Act No. 107 of 1998, as amended).

The National Heritage Resources Act

According to the above-mentioned act the following is protected as cultural heritage resources:

- a. Archaeological artifacts, structures and sites older than 100 years;
- b. Ethnographic art objects (e.g. prehistoric rock art) and ethnography;
- c. Objects of decorative and visual arts;
- d. Military objects, structures and sites older than 75 years;
- e. Historical objects, structures and sites older than 60 years;
- f. Proclaimed heritage sites;
- g. Grave yards and graves older than 60 years;
- h. Meteorites and fossils; and
- i. Objects, structures and sites of scientific or technological value.

The National Estate includes the following:

- a. Places, buildings, structures and equipment of cultural significance;
- b. Places to which oral traditions are attached or which are associated with living heritage;
- c. Historical settlements and townscapes;
- d. Landscapes and features of cultural significance;
- e. Geological sites of scientific or cultural importance;
- f. Sites of Archaeological and palaeontological importance;
- g. Graves and burial grounds;
- h. Sites of significance relating to the history of slavery; and
- i. Movable objects (e.g. archaeological, palaeontological, meteorites, geological specimens, military, ethnographic, books etc.).

A Heritage Impact Assessment (HIA) is the process to be followed in order to determine whether any heritage resources are located within the area to be developed as well as the possible impact of the proposed development thereon. An Archaeological Impact Assessment (AIA) only looks at archaeological resources. According to Section 38 (1) of the Act an HIA must be done under the following circumstances:

- a. The construction of a linear development (road, wall, power line, canal etc.) exceeding 300m in length.
- b. The construction of a bridge or similar structure exceeding 50m in length.**
- c. Any development or other activity that will change the character of a site and exceed 5 000m² or involve three or more existing erven or subdivisions thereof.
- d. Re-zoning of a site exceeding 10 000m².
- e. Any other category provided for in the regulations of SAHRA or a provincial heritage authority.

Results of Desktop Heritage & Site Assessment: Proposed Munyaka Pedestrian Bridge

The development area is located on a Portion of the Remaining Extent of Portion 1 of the farm Waterval 51R n the City of Johannesburg Metropolitan Municipality of Gauteng. The study area is surrounded by already established and on-going residential, industrial and other urban developments (the Munyaka Mixed Use Development). The topography of the study area is relatively flat and open with no visible rocky ridges or outcrops. Dense vegetation around the Jukskei River banks hampered visibility to some degree but it is not envisaged that any heritage sites or features would be present here.

The larger area would have been utilized in the historical past for agricultural purposes, while recent developments would have heavily impacted on any archaeological and/or historical sites, features or material that might have been present in the area.

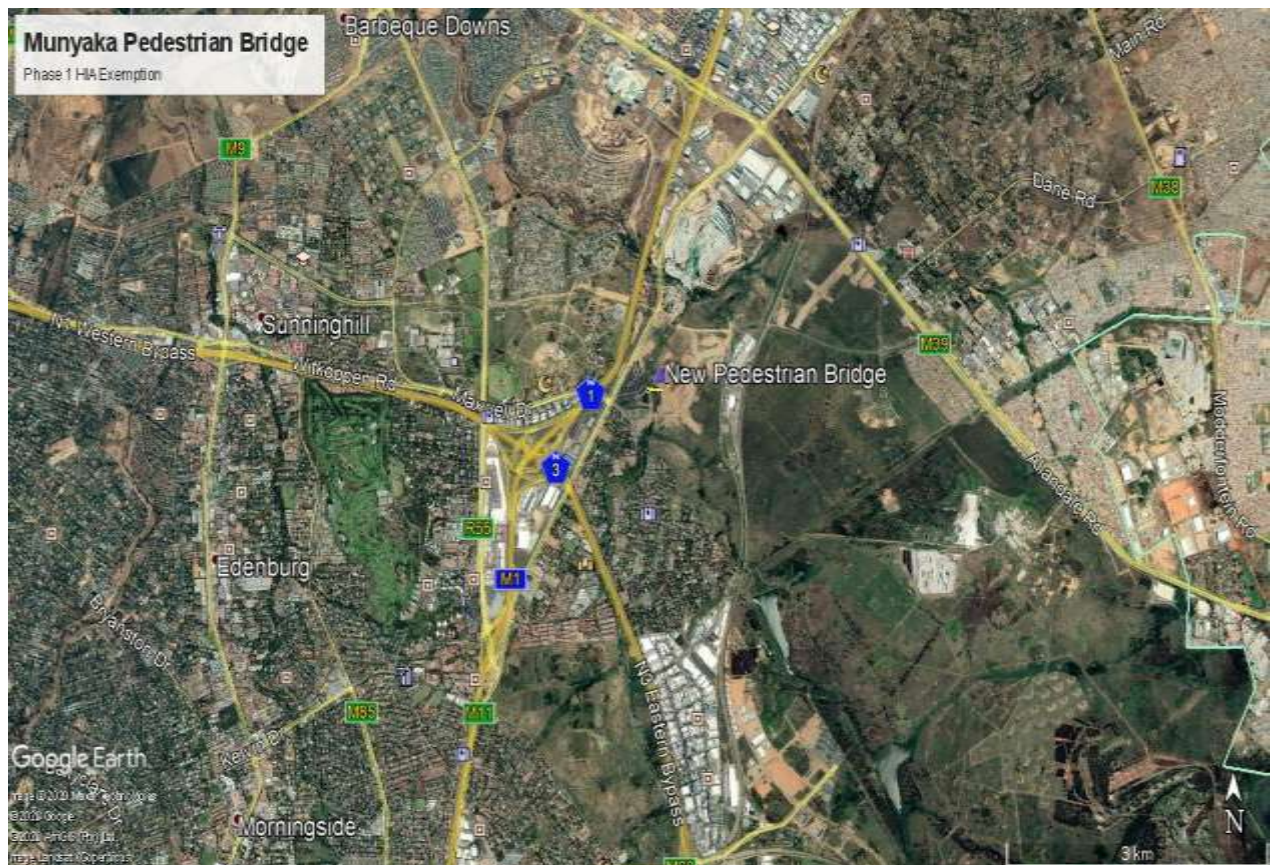


Figure 1: General location of study area (Google Earth 2020).



Figure 2: Closer view of location of proposed Pedestrian Bridge (Google Earth 2020 – Estimated footprint of bridge provided by Bokamoso Landscape Architects & Environmental Consultants CC).

The Stone Age is the period in human history when lithic (stone) material was mainly used to produce tools. In South Africa the Stone Age can be divided basically into three periods. It is however important to note that dates are relative and only provide a broad framework for interpretation. A basic sequence for the South African Stone Age (Lombard et.al 2012) is as follows:

Earlier Stone Age (ESA) up to 2 million – more than 200 000 years ago

Middle Stone Age (MSA) less than 300 000 – 20 000 years ago

Later Stone Age (LSA) 40 000 years ago – 2000 years ago

It should also be noted that these dates are not a neat fit because of variability and overlapping ages between sites (Lombard et.al 2012: 125).

There are no known Stone Age sites in the close geographical area, with the closest known ones those of Glenferness, Pietkloof, Zevenfontein, Aasvoelkop and Melvillekoppies. These sites date to MSA & LSA (Bergh 1999: 4).

There are no known Stone Age sites or features in the specific study area, and no material were identified during the May 2020 site assessment. If any are to be found it would more than likely be single, out of context, artifacts.

The Iron Age is the name given to the period of human history when metal was mainly used to produce metal artefacts. In South Africa it can be divided in two separate phases (Bergh 1999: 96-98), namely:

Early Iron Age (EIA) 200 – 1000 A.D.

Late Iron Age (LIA) 1000 – 1850 A.D.

Huffman (2007: xiii) however indicates that a Middle Iron Age should be included. His dates, which now seem to be widely accepted in archaeological circles, are:

Early Iron Age (EIA) 250 – 900 A.D.

Middle Iron Age (MIA) 900 – 1300 A.D.

Late Iron Age (LIA) 1300 – 1840 A.D.

Once again there are no known Iron Age sites in the specific area with the closest known LIA sites those of Melvillekoppies and Bruma Lake (Bergh 1999: 6-7).

No Iron Age sites, features or material were identified in the proposed Munyaka Pedestrian Bridge study area during the site assessment.

The historical age started with the first recorded oral histories in the area. It includes the moving into the area of people that were able to read and write. The first Europeans to move through and into the area were the group of Cornwallis Harris in 1836 (Bergh 1999: 13). These groups were closely followed by the Voortrekkers after 1844 (Bergh 1999: 14).

The earliest European groups to pass through or close to the area was those of Cornwallis Harris in 1836 (p.13), followed by the Voortrekkers soon afterwards (Bergh 1999: 13-14). In the 1890's a number of proclamations were made for the town of Waterval in the District of Pretoria. The 1890 proclamation of Waterval apparently refers to the town of Halfweghuis (today's Midrand) on the farm Waterval halfway between Pretoria & Johannesburg. The oldest map that could be obtained from the database of the Chief Surveyor General (www.csg.dla.gov.za) dates to 1938 and indicates that at the time the farm was numbered as Waterval No.34 and was located in the District of Johannesburg and Province of Transvaal. The whole of the farm was originally granted by deed of transfer in 1859 (**CSG Document 10IK1T01**) to an unmentioned grantee. When farming was originally commenced with is not known, but it would have been soon after this date.

The author of this Exemption Letter undertook a Heritage Assessment for proposed Township Development on Portion 1 of Waterval 51R in 2013 and the only sites recorded in the area related to the recent historical period, and included the remains of homesteads (probably those of farm labourers) in the area. No Stone Age or Iron Age sites, features or material was identified at the time (Pelser 2013: 12-17).

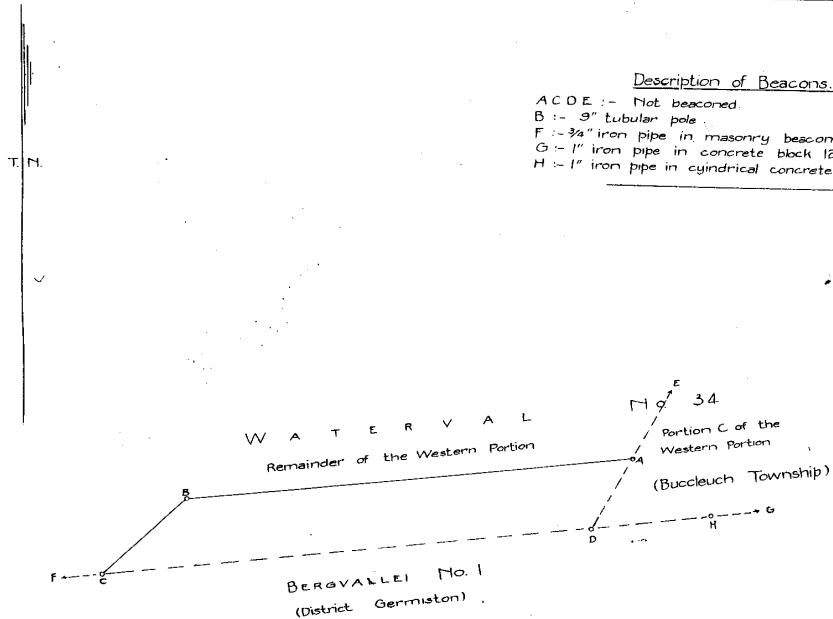
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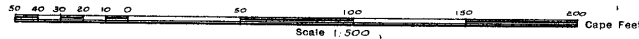
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DA 38.02	DA 209 50 50	C + 88 865.41	+ 159567.08
AE 8893.05	AE 209 50 50	D + 88 647.15	+ 159544.71
DC 219.40	DC 84 8 50	E + 84 2 01.26	+ 151736.56
CF 3381.40	CF 84 8 50	F + 92 229.18	+ 159911.89
DG 6475.21	DG 264 8 50	G + 82 205.70	+ 158884.41
HD 53.93	HD 84 8 50	H + 88 593.50	+ 155538.21

Description of Beacons.

- ACDE :- Not beacons.
- B :- 9" tubular pole.
- F :- 3/4" iron pipe in masonry beacon.
- G :- 1" iron pipe in concrete block 12" square.
- H :- 1" iron pipe in cylindrical concrete block, diam. 12".



As registered under :
Now registered under :
No. 5
REGISTRAR AFDDELING IR
REGISTRAR DIVISION IR



The figure line lettered ABCY represents the centre line of Overhead Electric Power Lines ~~morgan of land being~~ and Underground Electric Cables traversing the Remainder of the ~~Western~~ ~~of the farm~~ Portion of the farm

WATERVAL No 34

situate in the DISTRICT of JOHANNESBURG PROVINCE of TRANSVAAL

FRAMED FOR THE PURPOSE OF REGISTERING A SERVITUDE. Surveyed in May June 1938 by me

G. B. Laing
Land Surveyor

This diagram relates to Deed of No. dated In favour of

The original diagram is No. relating to Deed of Transfer No. dated 4/7/59 In favour of Registrar of Deeds

S.G. File No. 1141/38
Survey Records No.
Compilation No. 36/18
Lat. South 26° 02'
Degree Sheet No. H6

Figure 3: 1938 Map of Waterval 5IR (www.csg.dla.gov.za).

The physical assessment of the area earmarked for the proposed new Munyaka Pedestrian Bridge showed that the portion of land around it had been significantly altered and disturbed in recent times through development and ground works. The proposed bridge (span to span) is around 170m in length and is approximately 10m in width. The impact of the development will therefore be minimal. No cultural heritage (archaeological and/or historical) sites, features or material were identified in the area as well.

Furthermore, based on earlier aerial images (Google Earth) of the area dating to 2001, shows that even at that time, with no development around the area, there were no visible sites or features present.



Figure 4: A general view of the area close to the proposed bridge development.



Figure 5: Another general view. Note the on-going development in the area.



Figure 6: View of the vegetation around the river bank close to the proposed bridge location.



Figure 7: A view of the river bank and river crossing close to the proposed bridge location.



Figure 8: The area in 2001. No heritage sites or features are visible (Google Earth 2020).

Based on the aerial images, heritage desktop study and physical site assessment it is therefore deemed unlikely that any significant sites, features or material of cultural heritage (archaeological and/or historical) origin might exist in the proposed new Munyaka Pedestrian Bridge study area. Recent historical activities (agricultural and later urban/industrial) would have impacted on any if they did exist here in the past and would have disturbed or destroyed these to a large degree.

However, known archaeological and historical sites, features and material have been identified in the larger geographical area and this needs to be taken into consideration during any future actions related to the proposed development.

It is recommended that Exemption from a Full Phase 1 Heritage Impact Assessment (HIA) for the proposed new Munyaka Pedestrian Bridge development on a Portion of the Remaining Extent of Portion 1 of the farm Waterval 5IR in the City of Johannesburg Metropolitan Municipality, Gauteng be granted to the applicants taking into consideration the following:

The subterranean nature of cultural heritage (archaeological and/or historical) resources must always be kept in mind. Should any previously unknown or invisible sites, features or material be uncovered during any development actions then an expert should be contacted to investigate and provide recommendations on the way forward. This could include previously unknown and unmarked graves.

Should there be any questions or comments on the contents of this document please contact the author as soon as possible.

Kind regards

A handwritten signature in black ink, appearing to read 'Anton Pelser', written in a cursive style.

Anton Pelser

References

1. General & Closer Views of Study Area location and footprint: Google Earth 2020.
2. Bergh, J.S. (red.). 1999. **Geskiedenisatlas van Suid-Afrika. Die vier noordelike provinsies**. Pretoria: J.L. van Schaik.
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6. Republic of South Africa. 1999. National Heritage Resources Act (No 25 of 1999). Pretoria: the Government Printer.
7. Republic of South Africa. 1998. National Environmental Management Act (no 107 of 1998). Pretoria: The Government Printer.
8. Chief Surveyor General Database: www.csg.dla.gov.za. CSG Document 10IK1T01.