

HERITAGE REPORT

TO ACCOMPANY A PERMIT APPLICATION FOR ALTERATIONS & ADDITIONS

submitted in terms of Section 34 of the NHRA (1999) for
STABLES & BARN, OLD BETHLEHEM, FARM NO 6/153, STELLENBOSCH



09 March 2023

Prepared by Rennie Scurr Adendorff on behalf of Reside Properties



RENNIE | SCURR | ADENDORFF

ARCHITECTURE . INTERIOR DESIGN . HERITAGE . ARCHAEOLOGY



CONTENTS

1.0 INTRODUCTION2

1.1 Purpose of the Report

1.2 Statutory Context

1.3 Study Methodology

1.4 Limitations

1.5 Statement of Independence

2.0 SITE DESCRIPTION.....3

3.0 HISTORICAL OVERVIEW OF THE SITE AND ITS CONTEXT.....4

3.1 Historical Events in the Development of the Farm

3.2 The Stables Building

4.0 HERITAGE SIGNIFICANCE..... 13

4.1 Statutory Context

4.2 Heritage Resources Identified

4.3 Grading

5.0 PROPOSED HERITAGE INDICATORS AND GUIDELINES..... 17

5.1 Overarching Conservation Principles

5.2 Heritage Design Indicators for Stables and Barn

6.0 PROPOSED ALTERATIONS AND ADDITIONS/DEVELOPMENT 19

6.1 Barn Building

6.2 Stables Ground Floor Interior

6.3 Stables Attic Interior

6.5 Stables Front Elevation

6.6 Stables Rear Elevation

7.0 POTENTIAL HERITAGE IMPACT OF THE PROPOSAL 23

8.0 CONCLUSION AND RECOMMENDATIONS 24

REFERENCES & LIST OF FIGURES..... 25

ANNEXURES

- Annexure A: Design Proposal
- Annexure B: Survey Diagram

APPLICATION OVERVIEW

APPLICANT: Reside Properties
 SITE: Old Bethlehem farm
 ADDRESS: Farm No. 6/153, Stellenbosch
 USE: Residential property and commercial farm
 BUILDING: Stables and Barn
 BUILT: c1740-1780 with alterations and additions c1890-1900
 GRADE (proposed): Barn & stables IIIB; situated in a farm complex proposed IIIA; in a landscape of exceptional value, proposed Grade II. Within the wider Cape Winelands Grade I cultural landscape.
 STATEMENT OF SIGNIFICANCE: The buildings have intrinsic significance as early farm structures, have architectural significance for the vernacular character and historical layering. The stables is of greater architectural and spatial stature and significance. Greatest significance value lies in contribution to the composition of the complex as a whole, with the ensemble of buildings being coherent in age, form, material, scale and structure.
 ACT: NHRA Section 34
 APPLICATION: S-34 Permit for alterations and additions
 WORKS: Alterations to the stables building to convert it to use as a dwelling. This includes insertion of bathrooms and kitchen, and the conversion of the attic to be a habitable space, with the installation of access stairs and windows. Alterations, renovations and upgrades to openings and flooring.
 PROJECT PROFESSIONALS: Rennie Scurr Adendorff (Architect and Heritage Practitioner).
 RECOMMENDATIONS:

1. HWC approve the application and issue a permit to allow works and further approval processes to proceed.
2. The permit is issued subject to approval of detail design drawings of the central feature stair, dormer windows and general details for doors and windows past local authority approval stage.
3. Pure lime plaster and limewash to be used as elsewhere on farm
4. A close-out report should be issued to HWC within 2 months of completion.

1.0 INTRODUCTION

1.1 Purpose of This Report

Old Bethlehem farm, Stellenbosch, is situated off the R310, adjacent to Kylemore. The farm, portion 6 of 153, measures 91,5997 hectares. Since acquiring the farm in 2012, then in a disused and derelict state, the owners have undertaken a phased approach to its repair and redevelopment. This process has involved multiple applications and interactions with Heritage Western Cape (HWC) and motivated the 2018 establishment of a Heritage Agreement between the property owner, Reside Properties, and HWC. Since 2018, Rennie Scurr Adendorff (RSA) has operated as the principal agent for architectural work.

This Section-34 application applies to an entirely new phase of work: the renovation of the stables and attached barn building to serve as a residential accommodation, as the main suite/bedroom for the owners.

1.2 Statutory Context

Neither the farm nor the stable with barn building are formally protected in terms of the National Heritage Resources Act (No. 25, 1999) (NHRA). As such, this application is made in terms of Section 34 of the NHRA which regulates alterations to a structure older than 60 years.

Although the property as a whole exceeds 5000m², this application does not trigger Section-38 of the NHRA as the proposed works do not represent a "change to the character of the site" (NHRA, S-38(1)(c)).

Old Bethlehem is situated within the Dwars River Valley portion of the Cape Winelands Cultural Landscape, which is a provisional Grade 1 National Heritage Site.

In terms of the Stellenbosch Municipality Zoning By-law Scheme (2019), the farm is located in the Dwars River Valley Urban and Rural Conservation Overlay Zone (URCO4).

Relevant commenting bodies for the 30-day public participation process:

- Stellenbosch Local Municipality
- Stellenbosch Interest Group
- Stellenbosch Heritage Foundation

- Pniel Heritage and Cultural Trust
- Franschhoek Heritage and Ratepayer Association (FHRA)
- South African Heritage Resources Agency (SAHRA)

This report is issued to these bodies for comment. Comment received will be included with the Section 34 permit application made to HWC.

1.3 Study Methodology

Old Bethlehem has been researched and documented extensively in the past 20 years, with studies focussed on archaeology, architecture and ownership history. The proposed alterations to the stables and barn building are not sufficiently impactful or extensive to warrant a new round of study. This report has therefore drawn on earlier surveys and reports, in particular:

- Old Bethlehem Farm 153 Dwars River Valley, Drakenstein. Structural & Archaeological Investigations & Assessment of Farmyard Buildings Since the 18th Century. Hennie Vos, 2011.
- Old Bethlehem Farm 153 Dwars River Valley, Drakenstein. Homestead T-Plan. Structural & Archaeological Investigations & Assessment of the Walls and Floors, preparatory towards Rehabilitation. Hennie Vos, 2013.
- Bethlehem, Dwarsrivier valley, Farm 153 Stellenbosch: Archaeological exploration of secondary werf and outbuildings. Harriet Cliff, 2011.

Reports pertaining to earlier applications to HWC for repair and redevelopment of the Wine Cellar, Homestead and Apple Shed buildings on the werf, have also informed this report, as have the extensive studies into the history and significance of the cultural landscape and built environment of the area, published in the Stellenbosch Heritage Survey projects completed 2012 and 2018.

1.4 Limitations

No limitations have been encountered in drawing up this report. Full access has been available to all documentation (including documentation not part of HWC submissions) as well as to all the buildings on site.

1.5 Statement of Independence

This report and the design proposal presented is prepared by Rennie Scurr Adendorff. Professional fees for the compilation of this report are paid by the applicant, but are not linked to any desired outcome.

2.0 SITE DESCRIPTION

Old Bethlehem farm (also known as Bethlehem), farm 6/153, is located in the Dwars River Valley area north of Stellenbosch. It is situated on the east side of the R310, adjacent to Kylemore village.

The group of farm buildings - wine cellar, homestead, stables and barn - follow a linear pattern along an oak access avenue, and are oriented to face north west down the slope towards the Banghoek River. As is typical to the typology of Cape Dutch-era farm settlements, the Drakenstein mountain forms a pronounced backdrop.

The “legs” of the T-shape wine cellar and homestead, and other attached outbuildings, extend south-east to the rear and form a sequence of discreet courtyard spaces. This rear werf area is enclosed by a long, low wall.

The pitched roofed, stables building and attached, pitched roofed barn building are situated to the east of the homestead. A single storey building is attached to the west end of the stables. The long, narrow stables structure (roughly 33m by 7m exterior measurement) is mostly brick construction on a stone plinth. It has a pitched corrugated sheet roof, end gables and a central front gable. The front facade has door openings, while the rear facade has fixed timber windows only.

The interior is composed of a sequence of seven rooms each opening outdoors to the front, with the east side built first partly of stone, a main central entrance below the central gable, and the larger west-side rooms with garage/coach size openings.

The fabric of the structure shows it evolving through several phases of development and change (described in section 3 below), although the early footprint, established mid-late 18thC remains unaltered. The tall loft area and corrugated metal roof is a later addition, with the open area spanning the full length of the building. It is accessed by a timber ladder stair from the central ground floor room.

Interior flooring includes two rooms with cobble floors and concrete slabs floors. Some c1900 artefacts relating to its use as stables remain, such as cribs in timber with iron tie rings, and tack hooks. The building is in a partially repaired and updated state, and currently serves as a storage space.

The large barn is attached on the east of the stables building, and measures just over 17m by 11m. Built of a combination of materials, it appears to have evolved in an ad hoc manner. The deep, earliest dressed stone walls date to the mid-18thC, with later additions and a mid-20thC central raised roof portion. Like the stables, it opens to the north west. This utilitarian building has been partially repaired and is in use as a gym, and for storage.

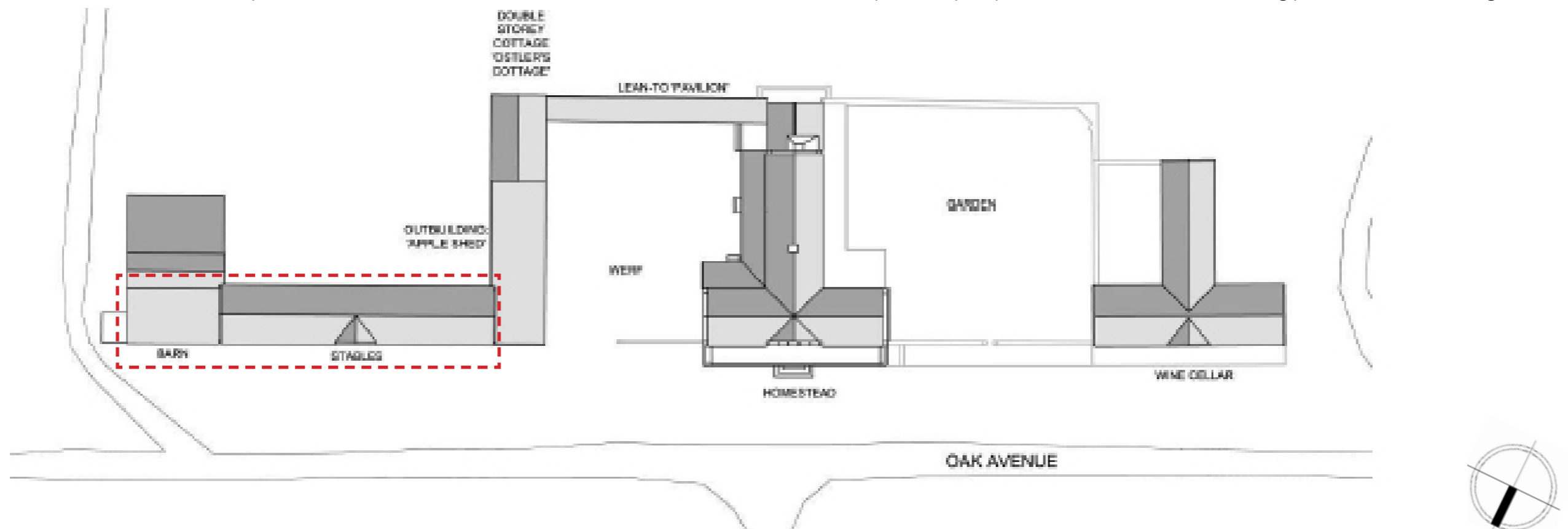
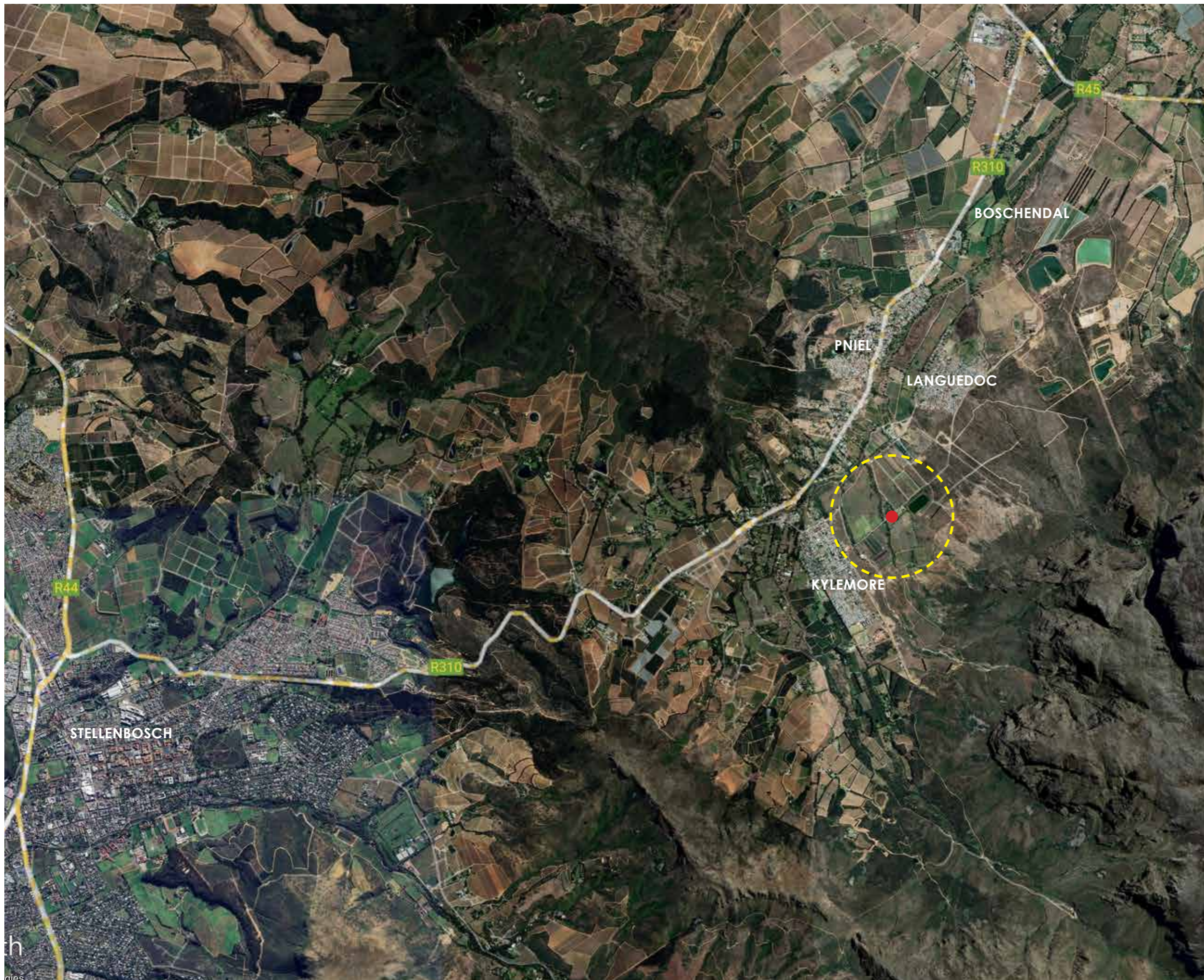



Figure 1. Werf plan: naming of parts. Stables and barn outlined red (Image: HB Architects 2016)



KEY

 Study Site

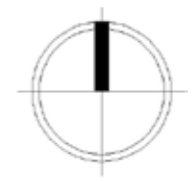



Figure 2. Locality Map (Image: Google)



KEY

 Study Site

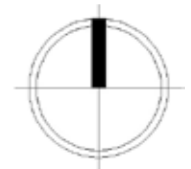


Figure 3. Farmstead group of buildings since recent renovation works, with stables outlined red (Image: Google 2023)



Figure 6. Front facade viewed from homestead/west side (Image: RSA 2023)



Figure 4. Front facade seen from the homestead/west side (Image: RSA 2018)



Figure 5. East end gable and front facade 2018 (Image: RSA)



Figure 7. Front facade of barn and stables seen from the east side (Image: RSA 2018)



Figure 11. Interior photograph



Figure 8. Interior photograph



Figure 9. Interior photograph



Figure 10. Interior photograph



Figure 13. Central entrance space with access to attic and intact artefacts c1900 (Image: RSA 2023)



Figure 12. Open attic space with central gable and end gable windows (Image: RSA 2023)



Figure 14. North east end wall of barn (Image: RSA 2023)

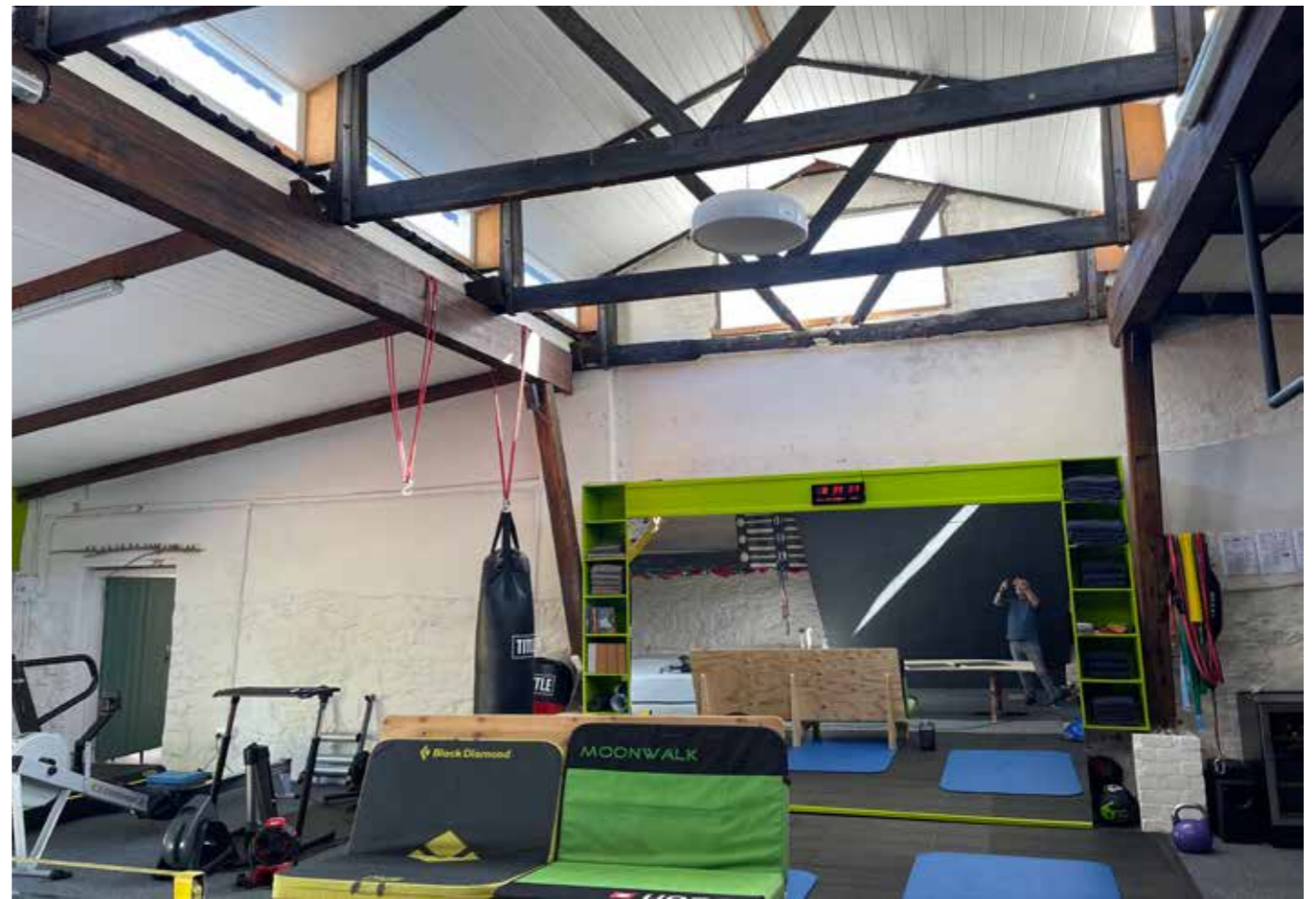


Figure 15. Barn interior with central raised roof and clerestory (Image: RSA 2023)

3.0 HISTORICAL OVERVIEW OF THE SITE AND ITS CONTEXT

Old Bethlehem has been researched and documented extensively in the past 20 years, with studies focussed on archaeology, architecture and ownership history. This report has drawn from these reports including: Vos 2009, 2011, 2013, and Clift 2011, and studies of the area at valley scale by Tittlestad 2008 and component parts of the Stellenbosch Heritage Survey 2012 and 2018.

3.1 Historical Events in the Development of the Farm

The significant events affecting the morphology of the farm are as follows. Portion 6/153 is one of three parallel portions of a 1696 grant to Petrus Simond, a Huguenot church minister employed by the VOC. A house (no longer standing) was built for his use. Over the intervening years and multiple land transfers, the farm appears to have acquired some structures, now archaeological ruins. The existing homestead, barn and wine cellar cluster date to the mid to late 18th century and the onset of a wine boom period during which many of the architectural set pieces of the valley were developed. Emancipation of enslaved people (1834-1838) changed the economics of farming, and the family then owning the farm were bankrupted. The grape phylloxera outbreak of the late 19th century ended the era of wine production, and the farm slid into disrepair and was gutted by fire c1880.

Following a pattern under way in the valley at the time, the new owner of 1893 planted extensive fruit trees. These supplied his Cape Town sweet and jam factory, while the farm buildings were redeveloped to a utilitarian functionality in the preferred form and materials of the time. In the mid-1950s, the land was subdivided, with Portion 6 identified on SG 11278/52. In 1958 it was added to the Rhodes Fruit Farms property holdings, which transferred to Anglo-American Farms (Amfarms) in 1969. This was acquired in c2003 by a consortium of investors operating as Boschendal (PTY) Ltd., with Old Bethlehem bought by the current owners in 2012 (Tittlestad 2008, Vos 2009, Clift 2011).

3.2 The Stables and Barn Buildings

A detailed fabric survey and dating of the stables and barn buildings and their immediate surrounds was undertaken by historical archaeologist, Hennie Vos, in 2011. See the diagram on the following page.

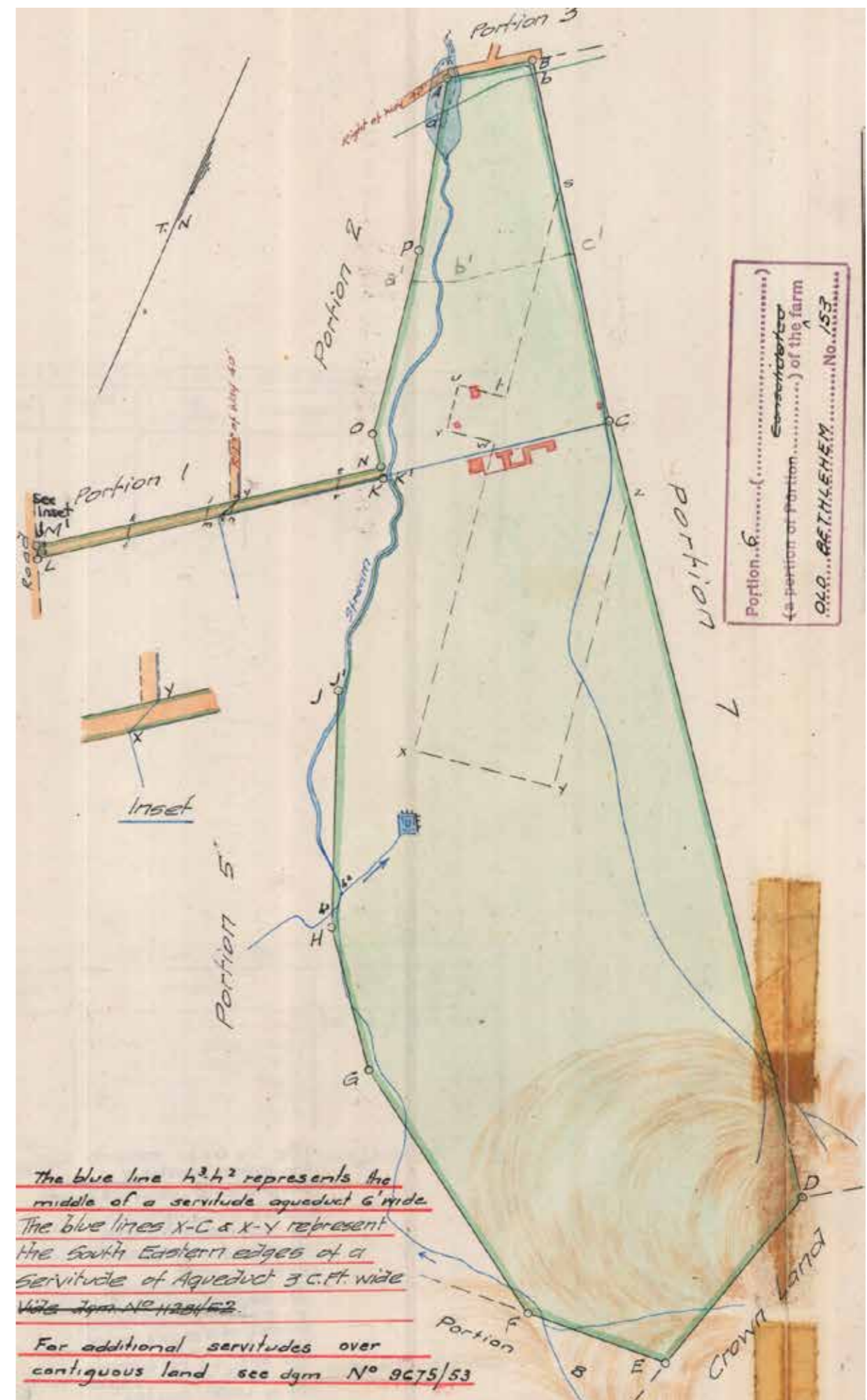


Figure 16. Survey diagram for 1952 subdivision shows the cluster making up the farm werf (Image: SG 11278/52)

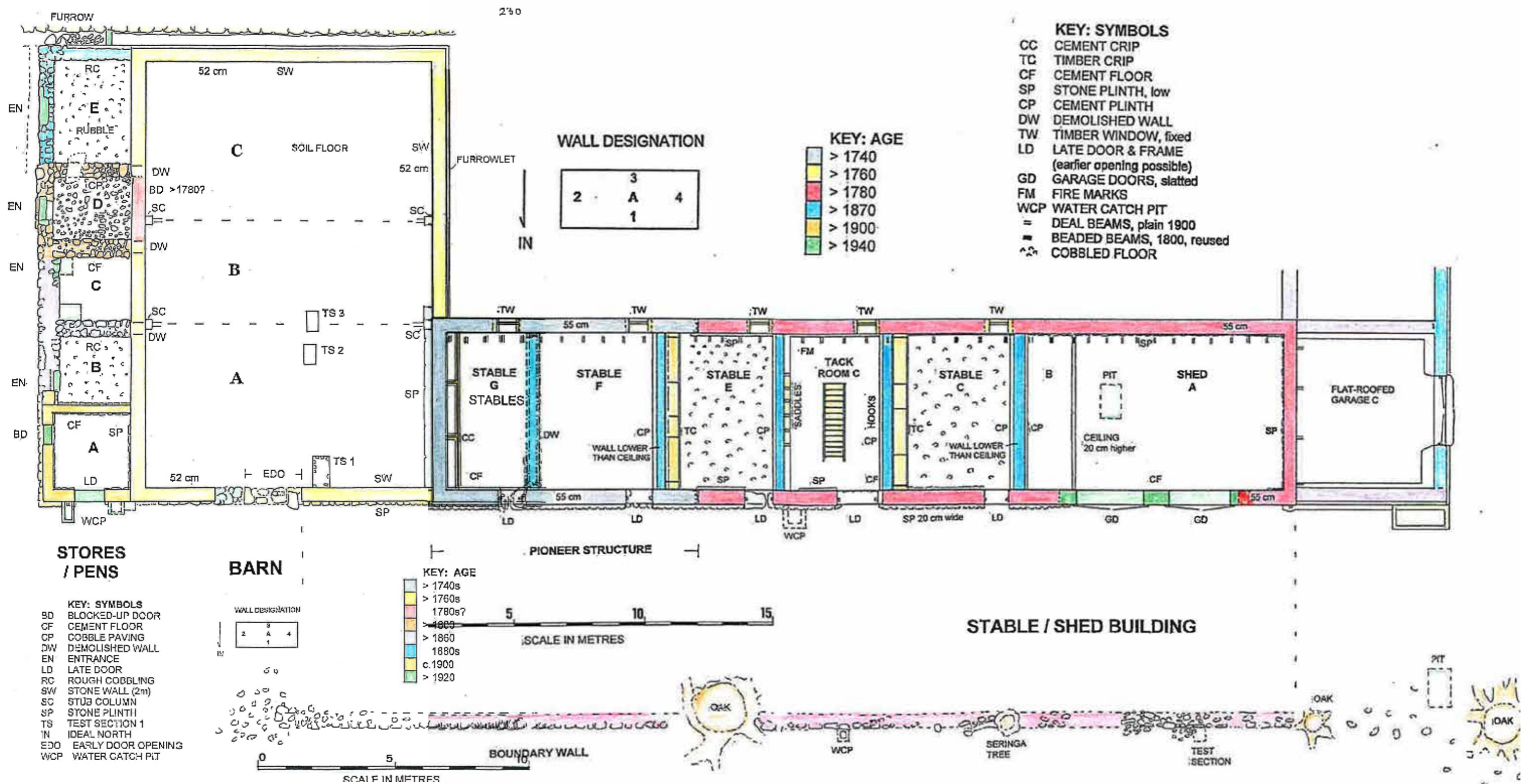


Figure 17. Dating development of the attached barn and stables structures. Building survey 2011 (Image: DMP amended by Vos, in Vos 2011: 185, 230)

3.2.1 Stables Building

Vos identifies the stable morphology as falling into roughly into three phases:

1. A small structure (c1740+) incorporating the easternmost portion of the building, set on a stone plinth with substantial stone walls, 55cm deep, topped with brickwork walls to a height of 3.4m and lime plastered. Vos surmises that the construction and materials used suggest an availability of labour and some investment in its construction.
2. An extension to the west on the same plan (c1780+) is built in brick on a low stone plinth. The few window and door openings suggests a utilitarian usage such as storage and stabling, and/or accommodation for enslaved people.

Vos notes evidence in the fabric, such as a beam slot, suggesting the possibility of thatch roofing on a hipped end gables with a central eye-brow gable. He concludes that there may have been reed ceiling and clay solders. Some remaining beams match those of the homestead, and are dated c1800.

3. Following fire, the building was redeveloped c1890-1900 with a raised walls and eaves to extend the loft area, and a central plaster gable added with evenly spaced ventilators. The corrugated sheet roofing was introduced at this point. New windows were added to gables, probably replacing early openings (windows or doors). Details suggest redevelopment for use as stables and garaging, with the introduction of a tack room, ladder stairs to loft space, feed cribs, timber tack hooks and other artefacts, some of which remain. In this period, carefully laid cobble floors were introduced to two room spaces either side of the central ground floor space.

Vos noted that the fabric demonstrates informal reuse of materials, and the integration, and occasionally merging, of old with new in each phase of redevelopment. He highlighted the presence and evocative quality of well worn threshold stones, and iron straps reinforcing a cracked c1800 ceiling beam.

The building was in a vacant, disused condition in 2011. Currently, the interior ground floor retains its original fabric in the stone and brick walling the early beams and the interventions of the c1900 upgrades, which included



Figure 18. Front elevation with slatted garage doors; detail of shutters (indicated in red) to be replicated and reinstated (Image: Vos 2011)



Figure 19. Building morphology: stone walling of phase 1 meets brick walling of phase 2 c1780+. (Image: Vos 2011)

increasing the height of the loft area and installing casement windows. Artefacts of its use as stables - timber cribs and hooks - remain in place.

The space has been inhabited and utilised by the family in an ad hoc manner pending this application, and approval for the renovation.

3.2.2 Barn Building

Described as barn-cum-kraal by Vos (2011), like the stables, the barn building has evolved in an ad hoc manner from the mid-18thC to mid-20thC. It abuts the stable building as a slightly later addition. Fabric evidence suggest a utilitarian, agricultural use throughout. The earliest walling is dressed stone on a stone footing (no plinth), to a height of 2m, suggesting first use as a kraal.

The upper walls, added a little later, are brick built with evidence of there once being a thatch roof, possibly half-hipped at the east end. Evidence of lean-to animal enclosures abut the outer walls. Given the large size of the barn building, it may follow the plan of similar valley farm settlement barns described by Vos as a pioneer period tripartite barns. In these examples, the internal floor plan has dividing walls and flooring for unique functions: storage of cereals and animal feed, animals and other uses. However, the evidence for this not clear in the remaining fabric.

Pilasters with brick infill added mid-20thC raise the walls to accommodate a higher roof set on steel frame and girders over the central aisle. This and the IBR roof sheeting, the enlarged front opening and roof openings, all date to this period of extension. Like the stables building, the fabric evidence of the barn morphology is blurred by the probable reuse of earlier fabric in later repairs and extensions.

The building, in a vacant, semi-ruined condition in 2011, has been inhabited and used as the gym and exercise space for the family in recent years..



Figure 20. Cobble floor and timber crib (Image: Vos 2011)



Figure 21. Barn viewed from front, axial road (Image: Vos 2011)

4.0 HERITAGE SIGNIFICANCE AND GRADING

4.1 Statutory Context

Old Bethlehem lies within the Dwars River Valley. This falls within the Cape Winelands Cultural Landscape, nominated by the South African Heritage Resources Agency (SAHRA) as a Grade 1 National Heritage Resource and gazetted as follows: "Provisional protection of the Cape Winelands Cultural Landscape as a heritage resource" (Government Gazette 27614 No 516 June 2005).

Neither the farm as a landscape nor any of its buildings are formally protected in terms of the NHRA, despite some confusion in 2017 applications to HWC. There is a Heritage Agreement in place between the property owner and HWC.

Although the property as a whole exceeds 5000m², this application does not trigger Section-38 of the NHRA as the proposed works do not represent a "change to the character of the site" (NHRA, S-38(1)(c)).

Section-34 of the NHRA applies to this application for alterations to the stable and barn buildings to allow them to function as a residential dwelling with attached gym and sports equipment store.

It is located in the Stellenbosch Municipality Dwars River Valley Urban and Rural Conservation Overlay Zone (URCO4).

4.2 Heritage Resources Identified

In the context of the Cape Winelands region, Old Bethlehem does not represent a highly intact, rare or exceptional example of a Cape Dutch-era farm settlement when compared with Goede Hoop, Boschendal, Bien Donné, Rhone and others. However, it has intrinsic value as a coherent complex in a landscape setting of exceptional value. Within the complex, the heritage resource of the **stables and barn building** is assessed as follows:

- Contextual: High, as a component part of the farm werf ensemble of built structures, and their spatial arrangement in the landscape with river, mountain backdrop and axial avenues.
- Aesthetic: Medium/High, while highly altered, fairly ordinary and utilitarian, the adjoined buildings are of a scale, form and materiality

that is aesthetically suited to the context and each other.

- Representivity: M/H, they are representative examples (although much altered) of Cape winelands farm settlement buildings.
- Intrinsic: M/H, the attached buildings, as standalone objects, have value in and of themselves.

4.3 Grading

As shown in section 3, both the stable and barn buildings have undergone several phases of alteration, with the degree of authenticity being difficult to determine. Neither are exceptional examples of the typology in the Dwars River Valley area. Both buildings (and the barn in particular) are ordinary and unexceptional, and while they include old fabric, are very altered with blurred legibility. For these reasons they are provisionally graded IIIB.

However, together they contribute significantly to the composition of the complex as a whole, with the ensemble of buildings being coherent in age, form, material, scale and structure. As a result, the ensemble acquires an ordered and legible layout. For this reason the complex, made up of werf buildings and walling, justifies Grade IIIA.

The buildings are set in a landscape setting of high aesthetic value, with the mountain backdrop and axial oak avenues defining the spatial structure of the ensemble. This wider landscape setting warrants Grade II recognition.

It should be noted that:

- BELCom, in its deliberations regarding the Wine Cellar application in 2011, minuted the following: "The committee is persuaded that the complex merits grade II status and that thought should be given to its proclamation as a PHS" (BELCom Decisions 17 November 2011).
- A 2017 BELCom record of decision for an application for works notes: "The property is graded IIIA but this Committee has previously graded it Grade II" (BELCom Decisions 12 December 2017).
- The Stellenbosch Heritage Survey (documented 2017) graded the buildings of Old Bethlehem Grade IIIA (although noted that with works underway a resurvey would be required), in a Grade II landscape unit.
- The cultural landscape component of the Stellenbosch Heritage Survey (documented 2016) identified this portion of the mid-valley area as featuring "highly significant critical biodiversity and ecological support areas" and designated it Grade IIIB (SHS 2016: Appendix F).

Despite these slight discrepancies, there is a common opinion within overseeing heritage authorities, and heritage documentation relating to the farm, that it is conservation worthy in terms of its heritage significance.

At present, Sections 34 and 38 of the NHRA provide sufficient protection to ensure that a sensitive and well-monitored approach to repairs, restoration and new interventions is followed.

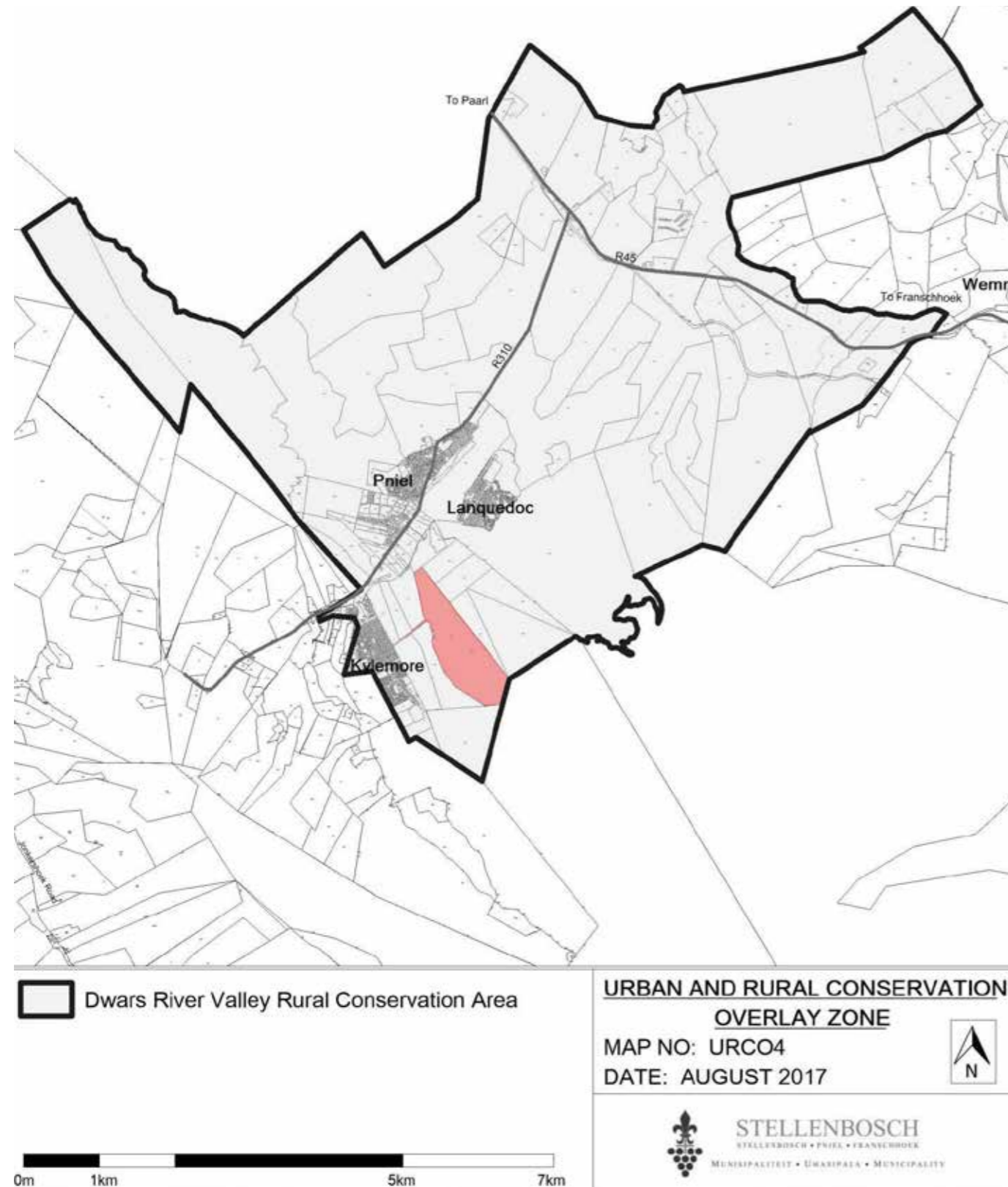
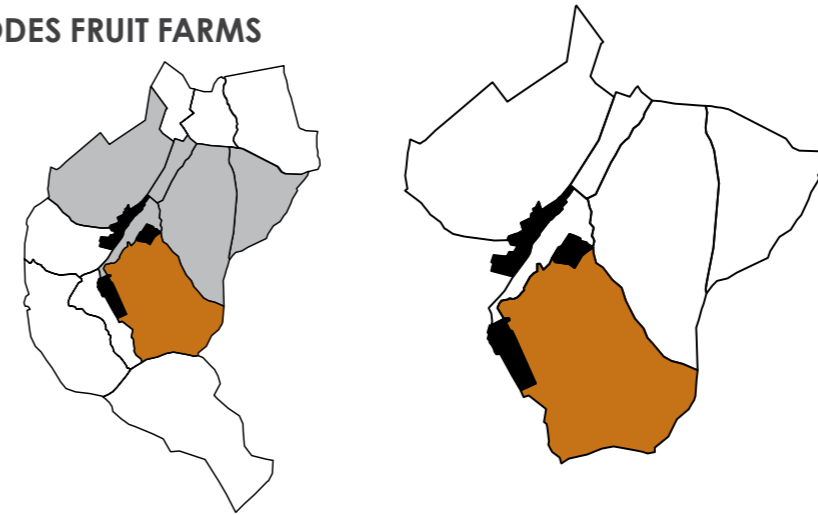


Figure 23. Old Bethlehem (shaded red) is located in the Municipal Urban & Rural Conservation Overlay (Image: Stellenbosch Municipality Zoning Scheme Bylaw 2019: 136)

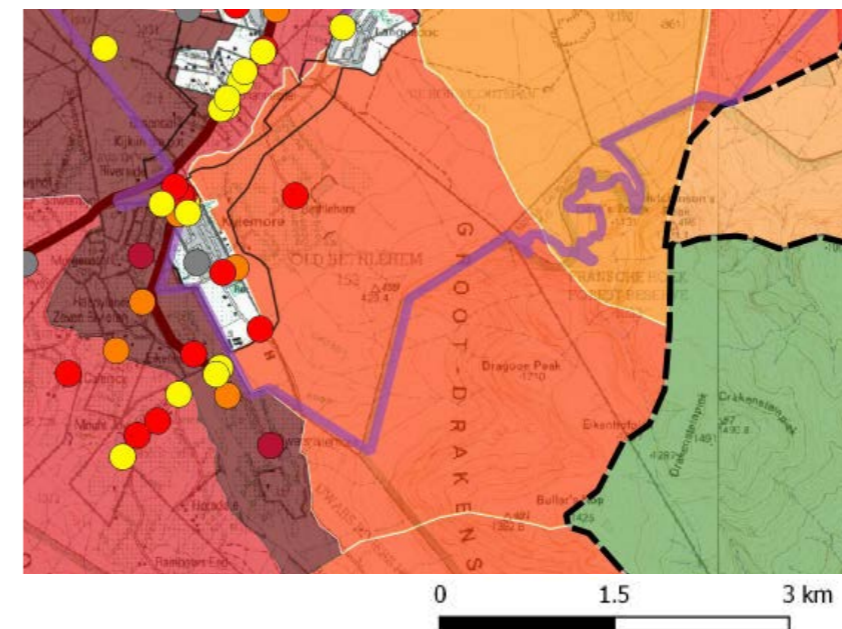
F08 (7.55) Grade IIIb

RHODES FRUIT FARMS



F08 Agrarian bowl

The unit is largely characterised by steep mountain slopes with numerous perennial streams leading down into a drainage basin just above Lanquedoc (also see F09). Lanquedoc and Kylemore are the settlements that flank its western boundary. Views terminate in Dragon's Peak, Bullers Kop and Eikenhof Peak to the east. Die Bordjie Outspan presents large tracts of critical biodiversity areas in a natural condition and ecological support areas along the drainage lines. The area to the west features excellent soil suitability for agriculture (viticulture). The area between Lanquedoc and Kylemore is characterised by agricultural fields (fallow or worked) and vineyards. The agricultural fields and avenues of Bethlehem are visible from the Helshoogte Road (R310) and are beautifully framed by the Drakenstein mountains behind. The views over this agrarian and mountainous landscape from Pniël, Lanquedoc and Kylemore largely determine their picturesque character. Incorporating an early freehold grant, the farm



of Bethlehem comprises Cape Dutch and Victorian buildings, two Oak avenues, and vast agricultural holdings that are semi-derelict. It is currently being renovated.

This unit features highly significant critical biodiversity and ecological support areas that contribute to its value. It bestows significant scenic qualities to the settlements of Pniël, Kylemore and Lanquedoc.

Figure 22. Extract Stellenbosch Heritage Survey shows the farm settlement grade IIIA and the landscape unit grade as "high" IIIB (Image: SHS 2016: Appendix F)

SITE NAME: BETHLEHEM

LANDSCAPE UNIT NUMBER: F08

LANDSCAPE UNIT GRADE: Grade II

ADDRESS OF THE SITE

PROPERTY NO
 SITE ADDRESS Banghoek Conservancy
 CURRENT USE Farm
 ORIGINAL USE Farm

PROTECTION AND GRADING

Curr.NHRA Protection S34
 >60YRS? **Yes**
PROPOSED GRADING Grade IIIa

MAP



LATITUDE/LONGITUDE

-33.9117633333 18.9593066667



SIGNIFICANCE

Associational		Representivity
Age	Medium	Rarity
Scientific		Archaeology
Symbolic		Intangible
Architectural	Medium	

ARCHITECTURAL STYLE

Cape Dutch origins

ARCHITECT/BUILDER

SITE DESCRIPTION

Farm complex currently being developed / renovations.

STATEMENT OF SIGNIFICANCE

Dating from the mid-1800's, the farm of Bethlehem that comprises Cape Dutch and Victorian buildings and vast agricultural holdings that are semi-derelict, is currently being developed / restored. The site has aesthetic, architectural, scenic and landscape significance, that will be clarified when the development / restoration is complete in the future

INTERIOR DESCRIPTION

GROUPING WITH OTHER SITES

Yes, several barns in-line (one being converted to wine sales) and others being worked-on

EVIDENCE OF DEMOLITION

SITE HISTORY

LANDSCAPE SIGNIFICANCE

Two Oak tree Avenues at 90 degree to each other, the one on axis with the homestead

CONTEXTUAL DESIGN

INVASIVE ELEMENTS

Building site

HERITAGE VULNERABILITY

REFERENCES Fransen 2004: 271; Winter 1988 13 #1

DATE 9/1/2017

Figure 24. Stellenbosch Heritage Survey 2017, with image of barn. Site proposed grade IIIA.

TABLE OF SIGNIFICANCE

BUILDING NAME/S: Stables and Barn

SITE: Old Bethlehem FARM 6/153
 ARCHITECT/S: Unknown DATE C1750-1800
 ORIGINAL USE: Unknown (farm building) CURRENT USE Alteration to dwelling

APPLICATION LEGISLATION
 OLDER THAN 60 YEARS: X PREV. NATIONAL MONUMENT:
 HERITAGE OVERLAY ZONE: X GAZETTE:
 TITLE DEED RESTRICTIONS: - S.27 S.34 X S.38.3

HERITAGE VALUES

RARITY:	M	ARCHITECTURAL:	M
REPRESENTIVITY:	M/H	SOCIO-HISTORICAL:	L
EXCELLENCE:	M	ENVIRONMENTAL/CONTEXTUAL:	H
INTEGRITY:	M/L	SCIENTIFIC/TECHNOLOGICAL:	-
AESTHETIC:	M	SLAVERY:	M/H
SYMBOLIC	L	CULTURAL:	L
ASSOCIATIONAL:	M	INTRINSIC:	M
AGE:	M/H	ARCHAEOLOGICAL:	M

HERITAGE ANALYSIS

SITE & STRUCTURE DESCRIPTION

Vernacular farm buildings developed in 3 phases from mid-18thC, extended late 18thC and extended further late 19thC. Oriented north west towards Banghoek river, on an axial line with early werf homestead and wine cellar buildings. Stable is a long, narrow structure (33m x 7m) set on a stone plinth with pitched corrugated sheet covered roof, tall attic space and gable windows. Ground floor is composed of 7 rooms, with a central room beneath a central front gable and timber ladder to the single open attic space. Doors on the building front, fixed windows to the rear. Timber floors and beams include beams c1800 and c1900. Rebuilt and used as a stable c1900; several artefacts such as timber crib, tack hooks and cobble floors remain. Barn is large open stone and brick building, with walls raised and corrugated pitched roof with clerestory added mid 20thC

MAJOR ALTERATION/S: Stone & brick building extended. C1800
 Building eaves raised to accommodate larger attic; thatch roof replaced with corrugated sheet. C1900

PHYSICAL CONDITION: Condition is generally fine, with some original detail and fabric – walling, timber beams - remaining.

STATEMENT OF SIGNIFICANCE: The buildings have intrinsic significance as early farm structures, have architectural significance for the vernacular character and historical layering. The stables is of greater architectural and spatial stature and significance. Greatest significance value lies in contribution to the composition of the complex as a whole, with the ensemble of buildings being coherent in age, form, material, scale and structure.

PROPOSED GRADING: Grade IIIB buildings in Grade IIIA built context

OPPORTUNITIES & THREATS: Opportunity for adaptive re-use to incorporate the stable and barn in the farm's new role as a family dwelling. However the introduction of infrastructure for services (electricity, water, sewerage), and facilities such as kitchens and bathrooms should be sensitive to the historical fabric. Existing artefacts and fabric elements such as original beams and cobble floors should be integrated into the design. Faux elements of restoration, such as new stone, plaster and iron work should be avoided.

RECOMMENDATIONS & GUIDELINES: Apply the building conservation conventions of a "cautious approach", one that respects the existing fabric, composition and context. New interventions should be evident as such, and while not necessarily "subservient", should be of a scale and material that co-habits comfortably with the existing.



5.0 PROPOSED HERITAGE INDICATORS AND GUIDELINES

In common with the other structures making up the werf group, no full restoration of the early buildings - wine cellar, homestead or stables - has been considered practicable. The farm buildings have experienced several phases of neglect and redevelopment, with the result that they have lost coherent and substantial authentic fabric. As a general comment, it was noted in 2011 that too little information as to original form and material remains.

5.1 Overarching Conservation Principles

The blurred historical layering is a fundamental characteristic of the attached stables and barn building. This indicates a conservation approach that incorporates and celebrates the material and aesthetic of the historical layers, while restoration to a particular appearance or period would be stylistic and inappropriate.

- Historical layering should be conserved.
- New interventions should be sympathetic to the existing architectural character and detailing in terms of scale, form, massing and material, but clearly distinct as a new layer.
- New interventions should respond and be appropriate to the development footprint pattern of the wider werf area.
- Hard and soft landscaping should be in keeping with the character and scale of the existing werf form.

5.2 Heritage Design Indicators for Stables and Barn

The adaptation to use as residential dwelling requires the introduction of a new layer, with heritage design indicators and preferred approach as follows:

Existing form and fabric:

- Retain the existing form, particularly the linear axis of the front facade. Do not introduce new projecting attached buildings, pergolas or similar to this elevation.
- Retain as much existing masonry, such as walling (stone and brick) and threshold stonework as possible. Avoid subtraction or demolition of fabric and detail, including of the more recent intervention of the barn roof.

- Retain, repair and conserve architectural timber work such as beams and attic floor.
- Retain and celebrate existing artefacts and material remnants that reference the stables use, such as tack hooks and timber crib. Where these cannot be conserved in situ, effort should be made for appropriate reincorporation elsewhere into the building.
- Effort should be made to reincorporate the cobble floors into the room design. Where that is not practical, they should be preserved and protected beneath a removable flooring surface.
- The timber attic stairs are unsuited to the proposed new use and inhabited attic. These should be retained and conserved on site, with a view to their incorporation elsewhere.

New interventions for adaptive reuse:

- New interventions should be legible and appropriate in scale, material and style.
- New extensions/additions should follow the linear form of the building and be scaled to align with the existing building heights, and positioned on the rear/werf garden side of the stable building. The sloped topography, density of vegetation and scale allows it to comfortably absorb new interventions.
- Internal alterations - altered and new openings, new walling - should be of a scale and in a position that is appropriate to the structure.
- Size and position of openings on the front elevation should be altered as little as possible.
- New walling, cabinetry fittings and fixtures should be carefully considered and minimally invasive, particularly in the two cobble stone floored rooms.
- In general, new interventions should be modest and well scaled to the existing. However, this does not preclude the opportunity to introduce a striking architectural element that expresses the new use and that is well designed, and appropriately scaled and located.

Careful intervention with stone plinth and thresholds on front/north elevation



Retain and celebrate evidence of layering



Rear/south werf garden area: has the capacity to comfortably absorb a new intervention



Retain and reinstate artefacts



6.0 DEVELOPMENT PROPOSAL

6.1 Barn Building

The only work affecting the barn building is the insertion of double glass doors and sliding barn shutters to the existing main opening; and the insertion of a new bathroom (shower and WC) to the rear east side.

6.2 Stables Ground Floor Interior

- Central space beneath gable:

- A new, semi-circular concrete floating stair, clad in timber, with glass balustrade, is inserted in the central ground floor space. This space serves as entrance and circulation hub. The stair replaces the existing timber ladder stair.

- East side of central entrance:

- Walling inserted to form a passage, create an en-suite bathroom and separate WC.
- Internal walls removed to connect two east rooms to form bedroom with en-suite.
- New double doors and window open to rear patio (see 6.6).

- West side of central entrance:

- Room converted to kitchen.
- Internal walls removed to connect two west rooms to form open kitchen-dining-lounge.
- New fireplace and flue inserted at far west end.
- New inter-leading door connecting to adjacent building.
- Two new double doors to rear patio (see 6.6)

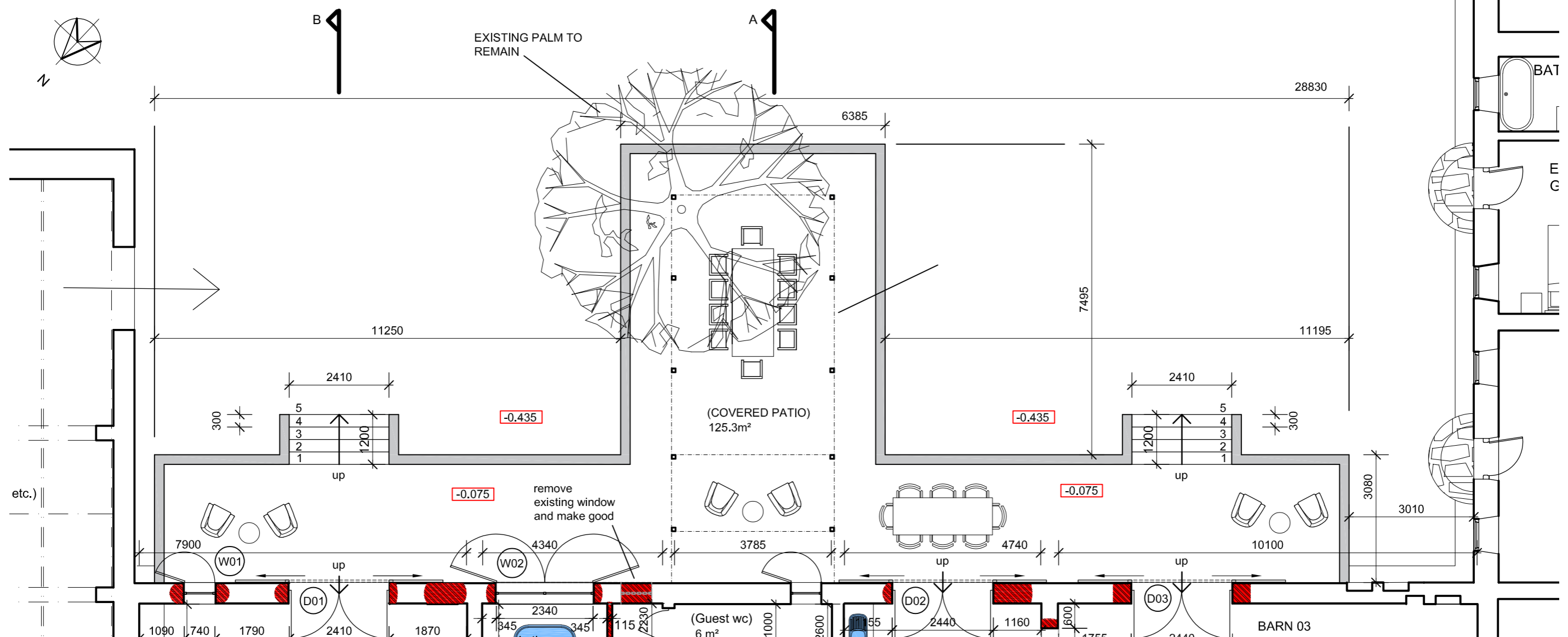


Figure 25. Development proposal: ground floor (RSA 2023)

6.3 Stables Attic Interior

- Gable end windows removed and replaced, by larger casement (east) and two casements on either side of central walling for new flue (west).
- New plasterboard walls to divide open space into three areas: bedroom/study, living, and en-suite/dressing.

- Three aluminium frame fixed and sliding-over dormer windows added to the south/rear (see 6.6).
- New staircase terminates with glass balustrade.
- Front gable window and timber flooring is restored.

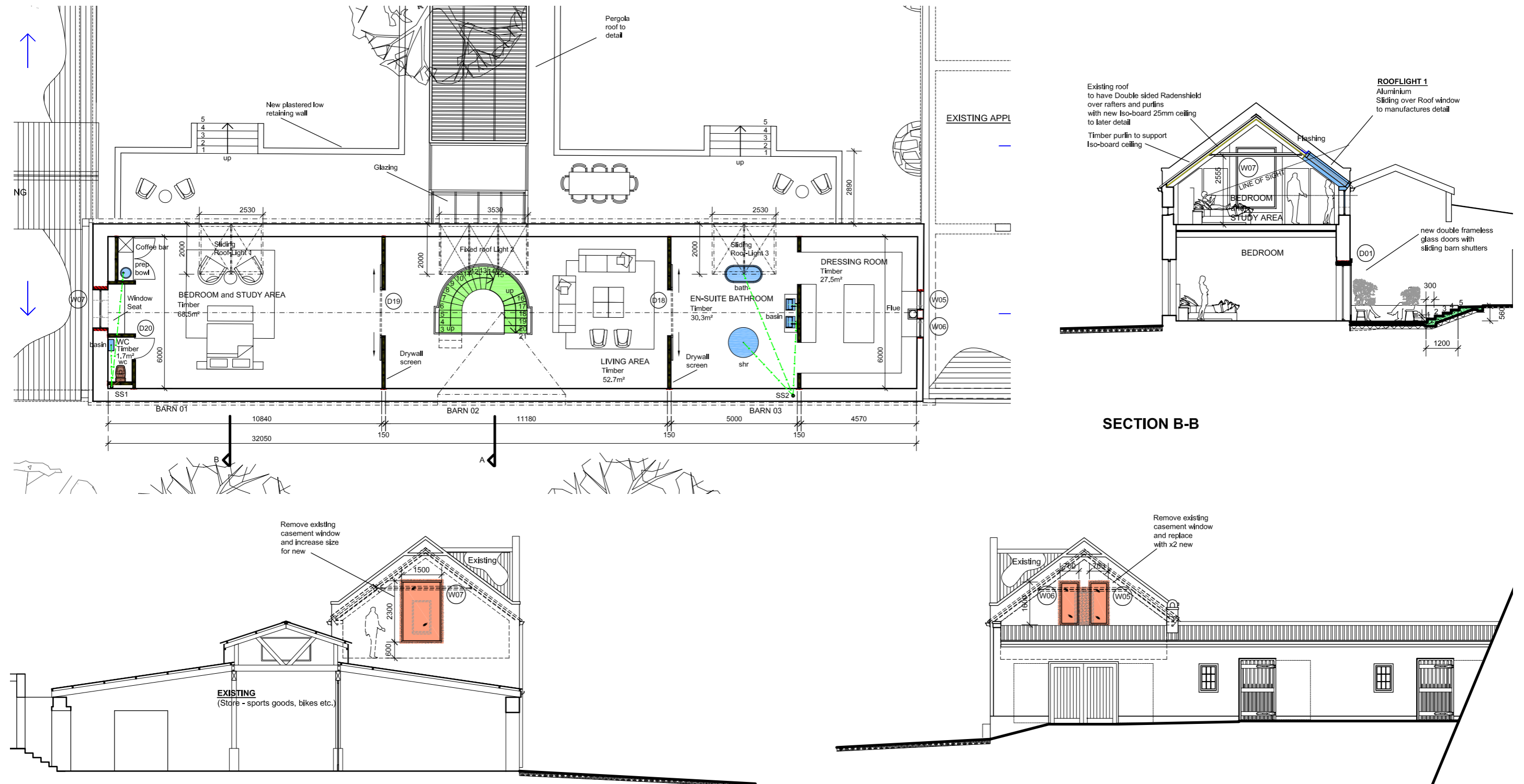


Figure 26. Development proposal: attic (RSA 2023)

6.5 Stables Front Elevation

The front elevation is most sensitive to change and is little altered by the proposal. All openings remain as is in terms of size and position.

- 2 doors are replaced by windows with glazed upper half set on fixed timber slat lower half, to replicate the appearance of a stable door. Stone plinth and existing threshold stones are retained with no impact to fabric or appearance.
- Timber slat garage/barn doors to be re-instated to cover the large, existing openings of what becomes the lounge space.

6.6 Stables Rear Elevation

The proposed alterations are most felt on the south-east/rear elevation, where 3 sets of double glass doors and one set of double windows open to a new patio and covered pergola area. These replace the small, occasional fixed windows on the ground floor.

- Walling is opened to accommodate 3 new double frameless glass doors with sliding barn shutters open to the rear/south-east.
- Existing fixed windows: 3 are removed, with openings bricked closed; 2 openings remain with new windows inserted.
- Three large dormer windows are added to the rear elevation as part of the attic conversion.



Figure 27. Development proposal: front elevation and section (RSA 2023)

7.0 POTENTIAL HERITAGE IMPACT OF THE PROPOSED DEVELOPMENT

The proposed work introduces a new use and new fabric to the buildings. The existing layers are retained and revealed. The impacts are generally either positive, or mitigated.

Impact of alterations to internal layout: Mitigated

- Wall nibs are retained to express the position of earlier walling.

Impact of alterations to elevations: Positive or mitigated

- The openings front elevation are essentially unchanged, so the scale and rhythm of the building as a farm building/stables remains legible.
- New openings to the rear elevation are appropriately scaled and express the new residential use.
- The new T-shaped patio and light steel pergola are a distinct new layer that is complementary to the composition of the existing werf layout.

Impact of introduction of feature staircase: Positive (with caveat)

- The concept of a feature stair, centrally located beneath the gable, is a clear and fitting new layer that expresses the new use of the building.

7.1 Details and Mitigations to Potential Impacts

(See annotated drawing below)

1. Portion of wall probably incorporates the original structure's 55cm dressed stone wall and removal should be sensitively managed.
2. The introduction of new walling, saniware and kitchen services to the cobble stone floor spaces should try to minimise impact to the flooring.
3. Installation of new timber new windows should address the intersection with the stone plinth.
4. New semi-circular floating staircase introduces a strong element to underpin the adaptive new use. Detail drawings are required to ensure that it is appropriately scaled and detailed.
5. Existing artefacts impacted by alterations and requiring removal/relocation - such as timber cribs in cobble stone rooms, and tack hooks in entrance room - should be conserved on the property and potentially reinstated elsewhere.

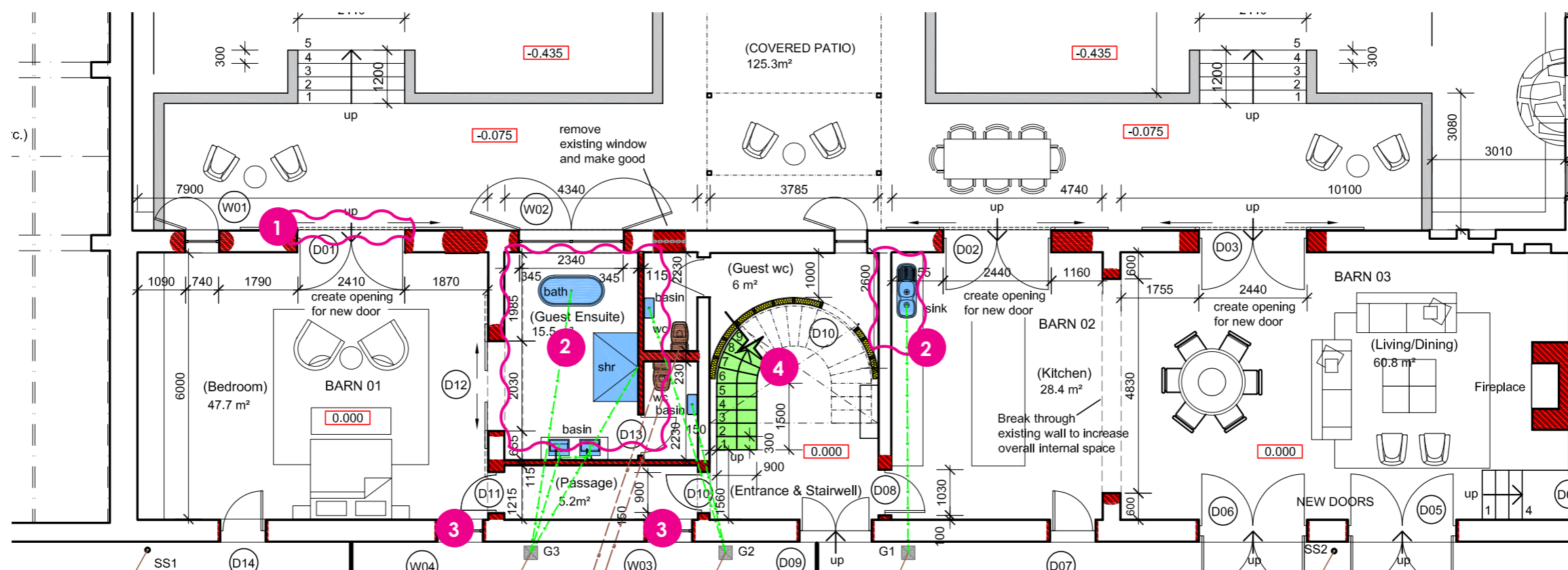


Figure 29. Areas of sensitivity identified with pink outline

8.0 CONCLUSION AND RECOMMENDATIONS

The stables buildings is part of a complex typical to Cape Winelands early farm settlements. It is significant as one of the historical set pieces of the Dwars River Valley, which occupies a setting of exceptional beauty. The complex, which has been frequently and significantly altered since its mid-18thC establishment, is centred around the homestead. The most recent (2016-2018) alterations are quite drastic in that they have removed earlier layers and recreated the centrepiece homestead to a possible previous appearance.

The stables building and its attached barn are an important component part of the complex, although less significant in and of themselves. As with the other structures, they have been much altered however remain legible as utilitarian, agricultural buildings. The proposed alterations are an adaptive reuse of these agricultural buildings to function as a residential dwelling with attached facilities.

The intervention has no negative impact on the form and stature of the buildings and the heritage significance of their role within the wider complex. The proposal, while converting the agricultural buildings to residential function, does not overwrite the clarity of their earlier use. The newly introduced elements will be clearly legible as such, however, do not overwhelm the historical fabric.

In conclusion, the proposed development does not represent a negative impact to the significance of the buildings. However, there are some recommendations that should be observed to ensure that the significance is retained and potentially, enhanced.

We recommend that:

1. HWC approve the application and issue a permit to allow works and further approval processes to proceed.
2. The permit is issued subject to approval of detail design drawings of the central feature stair, dormer windows and general details for doors and windows past local authority approval stage.
3. Pure lime plaster and limewash to be used as elsewhere on farm
4. A close-out report should be issued to HWC within 2 months of completion.

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Vos, H.N. (2013) Old Bethlehem Farm 153 Dwars River Valley, Drakenstein. Homestead T-Plan. Structural & Archaeological Investigations & Assessment of the Walls and Floors, preparatory towards Rehabilitation.

Figure 16. Survey diagram for 1952 subdivision shows the cluster making up the farm werf

Figure 17. Dating development of the attached barn and stables structures. Building survey 2011

Figure 18. Front elevation with slatted garage doors

Figure 19. Building morphology: stone walling of phase 1 meets brick walling of phase 2 c1780+.

Figure 20. Cobble floor and timber crib

Figure 21. Barn viewed from front, axial road

Figure 23. Old Bethlehem (shaded red) is located in the Municipal Urban & Rural Conservation Overlay

Figure 22. Extract Stellenbosch Heritage Survey shows the farm settlement grade IIIA and the landscape unit grade as "high" IIIB

Figure 24. Stellenbosch Heritage Survey 2017, with image of barn. Site proposed grade IIIA.

Figure 25. Development proposal: ground floor

Figure 26. Development proposal: attic

Figure 27. Development proposal: front elevation and section

Figure 28. Development proposal: rear elevation

LIST OF FIGURES

Figure 1. Werf plan: naming of parts. Stables outlined red

Figure 2. Locality Map

Figure 3. Farmstead group of buildings since recent renovation works, with stables outlined red

Figure 6. Front facade viewed from homestead/west side

Figure 5. East end gable end and front facade 2018

Figure 4. Front facade seen from the homestead/west side end

Figure 7. Front facade of barn and stables seen from the east side

Figure 11. Interior photograph

Figure 9. Interior photograph

Figure 8. Interior photograph

Figure 10. Interior photograph

Figure 13. Central entrance space with access to attic and intact artefacts

Figure 14. North east end wall of barn

Figure 12. Open attic space with central gable and end gable windows

Figure 15. Barn interior with central raised roof and clerestory

ANNEXURES

HERITAGE REPORT - ALTERATIONS - OLD BETHLEHEM STABLE AND BARN

submitted in terms of Section 34 of the NHRA (1999) for

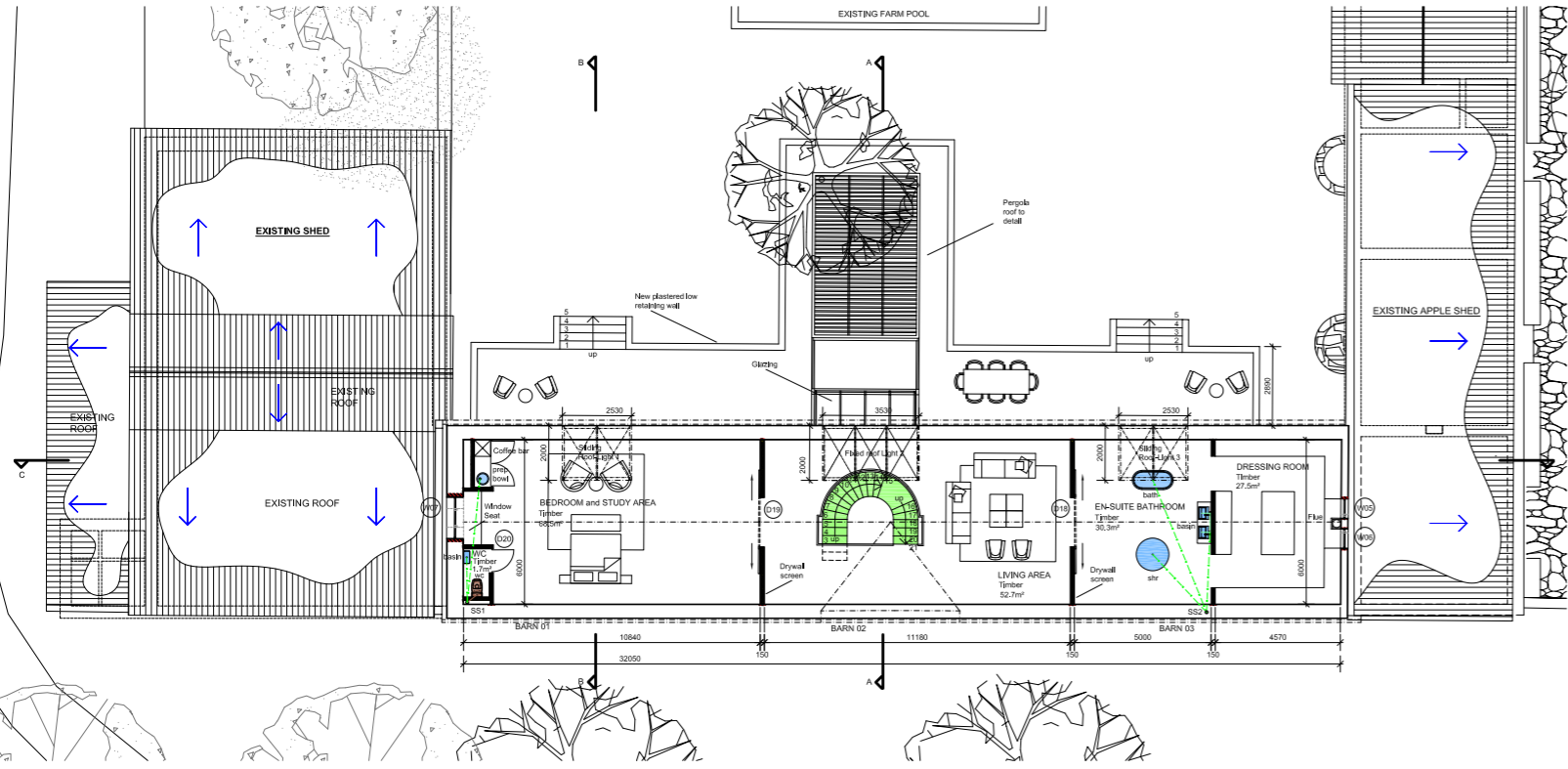
BETHLEHEM FARM NO 6/153, STELLENBOSCH

February 2023

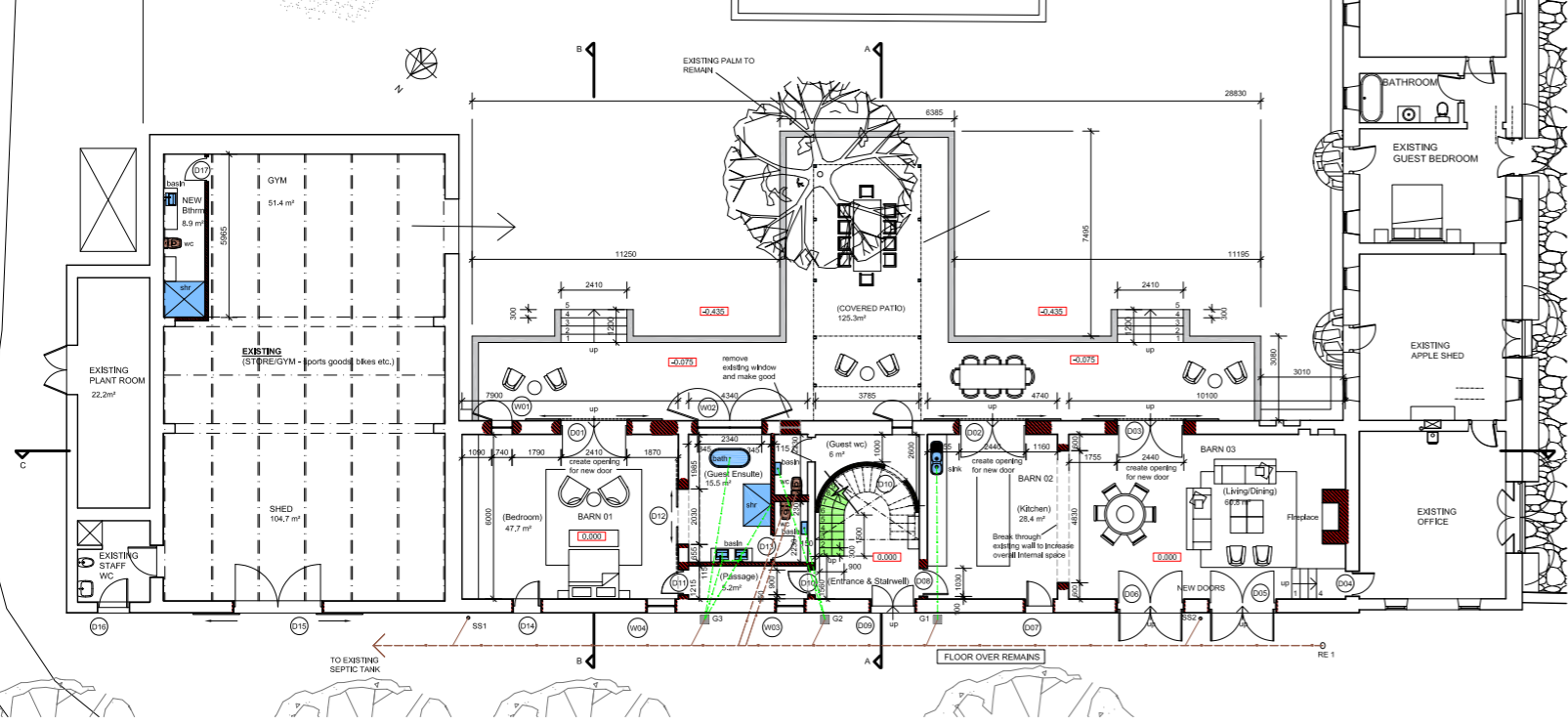
Prepared by Rennie Scurr Adendorff
on behalf of Reside Properties



Annexure A: Design Proposal

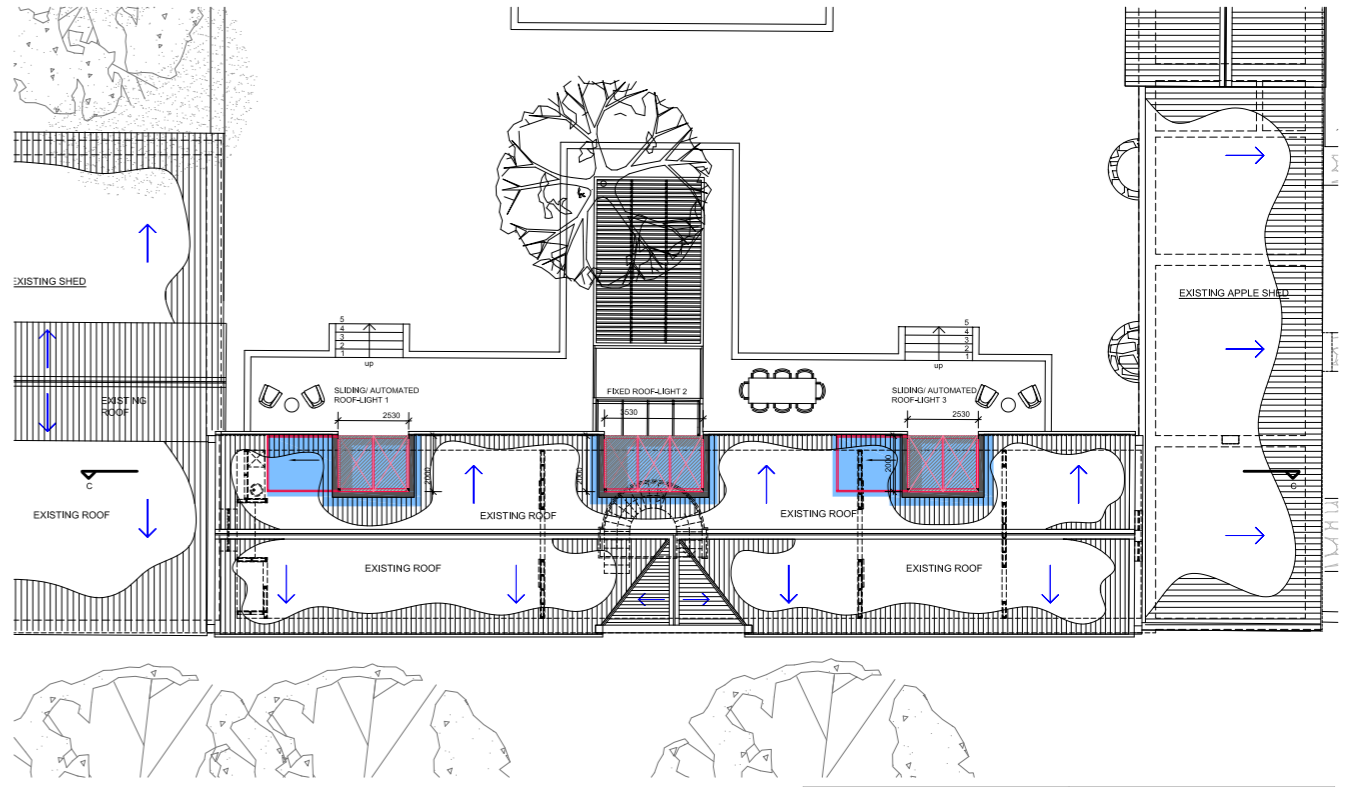


FIRST STOREY
1:100



GROUND STOREY
1:100

NOTE:
READ C-001 together with C-002 and C-003 (Sections and Elevations) FOR OVERALL CLARITY



ROOF PLAN
1:100



LOCALITY PLAN
1:10 000

GENERAL NOTES

- This drawing is the copyright of the Architects.
- All dimensions and levels must be checked on site prior to setting out.
- Any discrepancies are to be reported to the architect immediately.
- All work is to be done in accordance with the National Building Regulations.

CONSTRUCTION NOTES

New traditional thatch roof construction:
all treated timbers:
- Bolted pole collar-trusses (min 1700mm at feet) and to detail, fixed at every second beam (at ±2000/c) and to set 45° thatch profile.
- Pole purlins as shown (ridge-pole, eaves pole and one mid-pole at "hanebalk" collar tie) average 1200mm.
- Common rafters over purlins average 800mm @ 500/c.
- Approved thatching latte at 200/c.
- Approved Albertinis thatch laid to give a minimum 150mm thickness.
- Traditional linewashed mortar ridge and underlay to detail and sidewall mortar flashings to end gables similarly.

LINTOLS:
All new/adjusted openings to have prestressed precast lintols. In addition to traditional 70 thick treated timber lintols.

NEW OPENINGS:
Generally all new to detail traditional small-pane casements with batten construction shutters and matching batten detail doors.

DISPOSAL:
septic tank and soakaway all in accordance with local authority regulations. Loft level one-pipe system stack to be chased in wall to link with ground floor disposal.

FOUNDATIONS
280mm walls to have min. 700 x 230mm foundations. 230mm walls to have min. 700 x 230mm foundations. 110mm walls to have min. 600 x 230mm foundations. Foundation sizes to be checked and specified by Engineer.

FLOORS
Floor finish as indicated on plan on 30mm screed on concrete surface bed to Engineer's detail on DPM on 50mm clean sand blinding on compacted fill on hardcore. All floor slabs to Engineer's details.

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R.	DATE	DESCRIPTION
A	08-03-2023	UPDATE AS PER REPORT

SACAP 4860

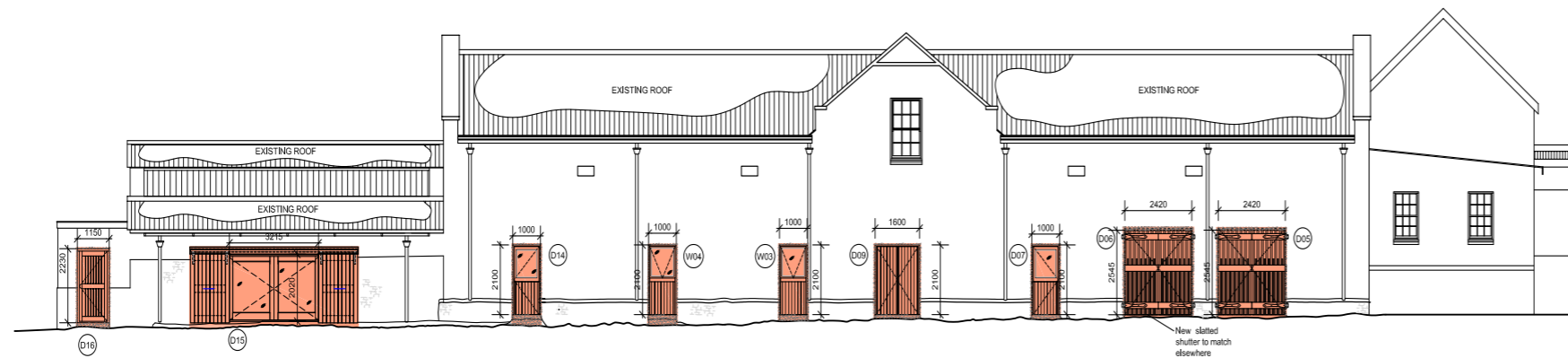
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Client: Reskide Properties
Project: Barn Internal Alterations, Old Bethlehem, Farm 152 Stellenbosch

Drawn by: MS
Scale: As indicated @ A1+
Date: 08-03-2023
Checked: AL/ES/AON

Project Number: 32130
Drawing Number: C-0001
Revision: A

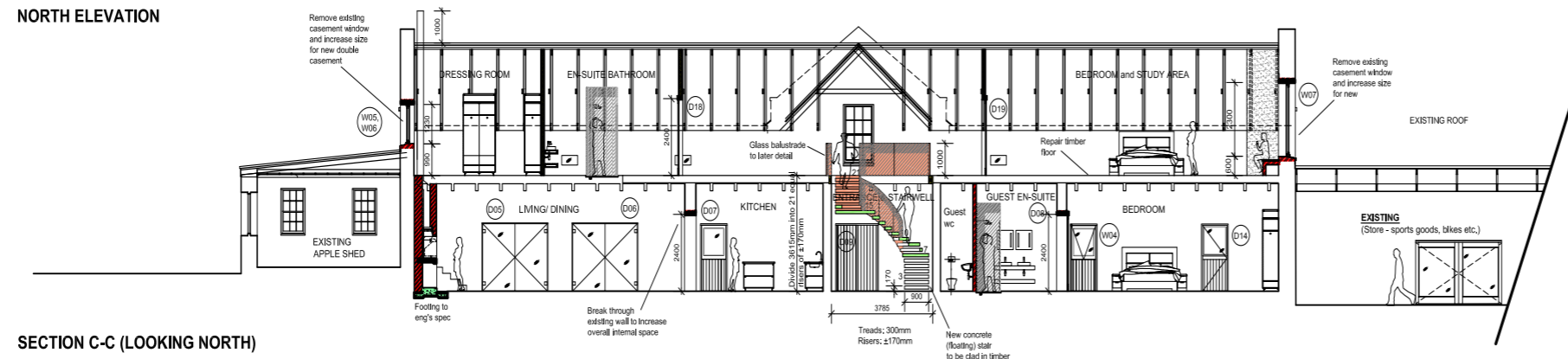
ARCHITECTURE
RENNIE | SCURR | ADENDORFF
15 BARN CHURCH STREET, CAPE TOWN 8001
021 425 21 424 424 | 021 425 21 424 424



NORTH ELEVATION

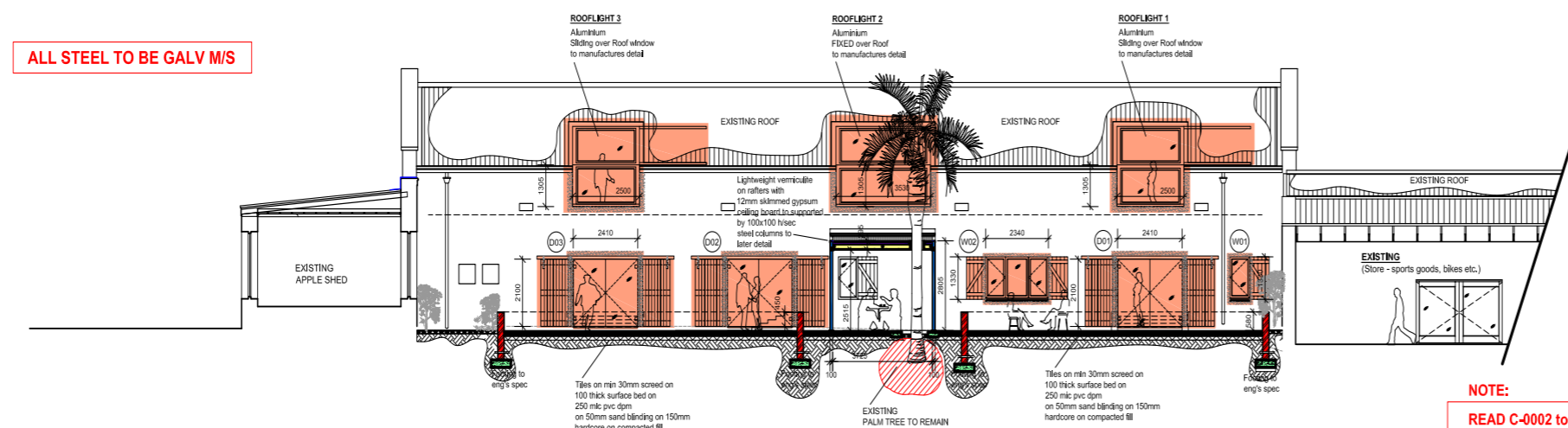
ZONING	AG
MAX FLOOR SPACE	1500m ²
BUILT UPON (coverage)	
Maximum height wall/plate 9m max	11m
Maximum height agricultural building	12m
Street Boundary	30m
Common Boundary	30m
AREA OF SITE	9227m ²
EXISTING	196m ²
NEW	125m ²
TOTAL	321m ²

92.27 hectares
Apple Shed and Oster's Cottage



SECTION C-C (LOOKING NORTH)

ALL STEEL TO BE GALV M/S



SOUTH ELEVATION

NOTE:
READ C-002 together with C-0001 (Plans) and C-0003 (Sections and Elevations) FOR OVERALL CLARITY

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 - Approved Albertinia thatch laid to give a minimum 150mm thickness.
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REVISIONS

R.	DATE	DESCRIPTION
A	08-03-2023	UPDATE AS PER REPORT

Author:

SACAP 4860

Client: Reskie Properties

Project: Barn Internal Alterations, Old Bethlehem, Farm 152 Stellenbosch

Drawing type: **COUNCIL SUBMISSION DRAWINGS: BARN ALTERATIONS: SECTIONS and ELEVATIONS**

Date: 08-03-2023	Scale: As indicated @ A1	
Designed: MS	Client: AL/ES/AON	

Project Number	Drawing Number	Revision
32130	C-0002	A

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
REVISIONS

R.	DATE	DESCRIPTION
A	08-03-2023	UPDATE AS PER REPORT

Client:
 Reside Properties

Project:
 Barn Internal Alterations, Old Bethlehem, Farm 152 Stellenbosch

Drawing type:
COUNCIL SUBMISSION DRAWINGS:
 BARN ALTERATIONS:
 SECTIONS and ELEVATIONS

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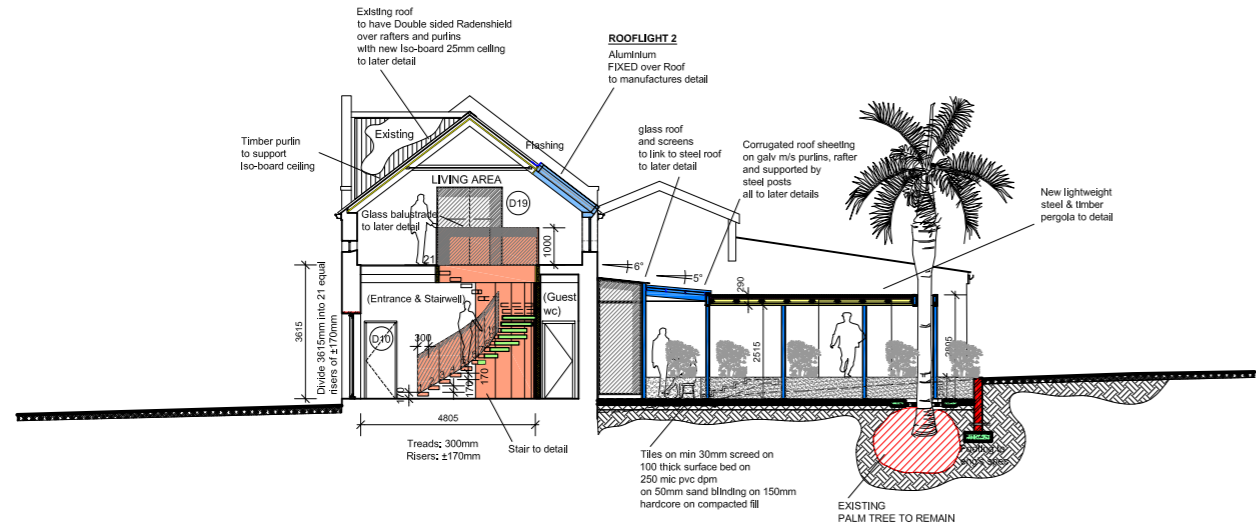
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ARCHITECTURE

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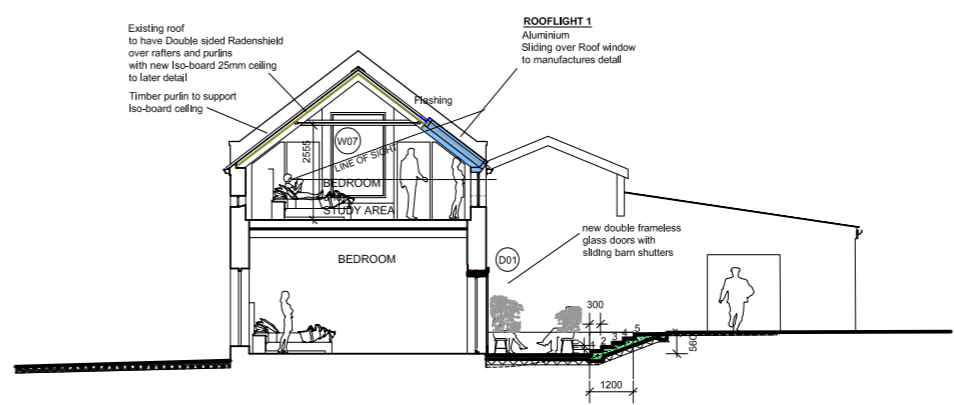
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 ☎ +27 (0) 21 423 9328 ☎ +27 (0) 21 424 9396 ✉ cape@archrsa.com

NOTE:
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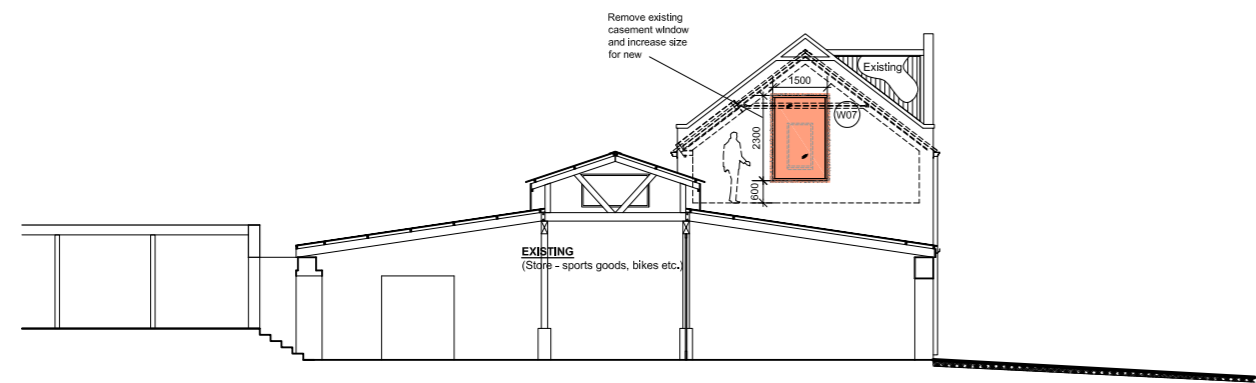


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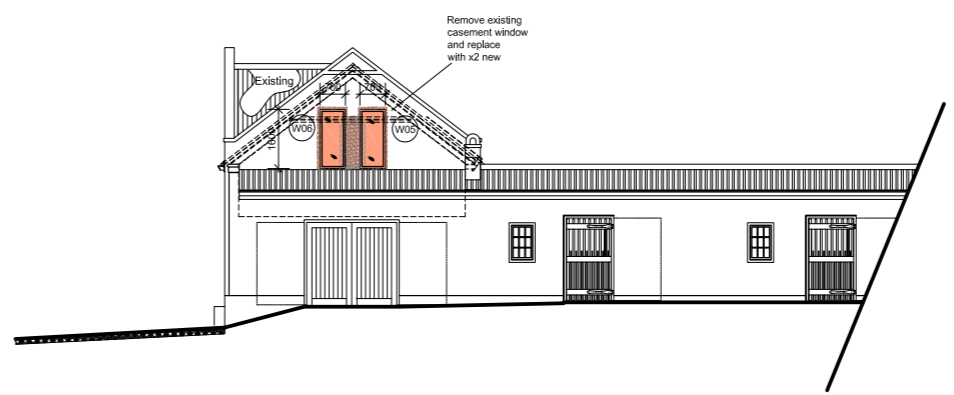
ALL STEEL TO BE GALV M/S



SECTION B-B

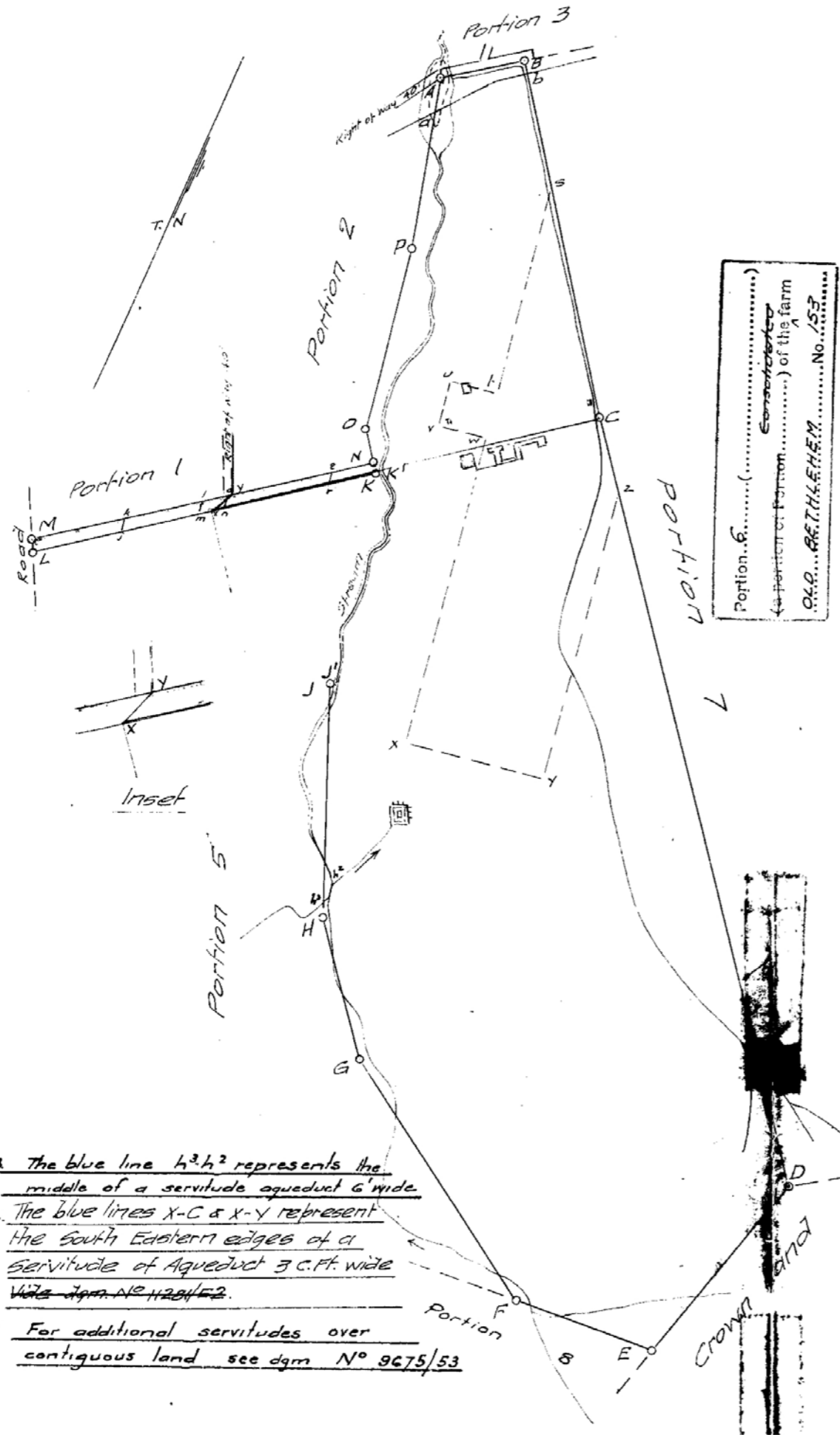


EAST ELEVATION



WEST ELEVATION

Annexure B: Survey Diagram



SIDES	Cape Feet	ANGLES OF DIRECTION	SYSTEM 1920 CO-ORDINATES	
			y	z
AB	433.7	232.55.10	A + 12756.9	+ 20005.7
BC	1881.3	323.37.30	B + 12410.9	+ 19744.2
CD	4068.7	321.33.30	C + 11295.2	+ 21258.9
DE	1093.0	14.48.20	D + 8765.7	+ 24445.7
EF	741.2	85.23.50	E + 9045.0	+ 25502.4
FG	1474.8	122.42.50	F + 9783.8	+ 25561.8
GH	749.7	140.40.00	G + 11024.7	+ 24764.7
HJ	1204.3	157.05.10	H + 11499.9	+ 24184.8
JK	1108.1	167.05.40	J + 11968.8	+ 23075.5
KL	1788.0	52.20.10	K + 12216.3	+ 21995.4
LM	61.0	152.32.30	L + 13631.7	+ 23087.9
MN	1777.2	232.20.10	M + 13659.8	+ 23033.8
NO	173.1	142.20.10	N + 12253.0	+ 21947.9
OP	961.7	170.17.20	O + 12358.7	+ 21810.9
PA	889.2	164.36.30	P + 12520.9	+ 20863.0
JJ'	30.0	260.00.00		
KK'	30.0	232.20.10		

No. 1 1278/52

Approved

Surveyor-General.

RAT

Portion 6 (.....) Consolidated Farm No. 153
 (.....) of the farm
 OLD BETHLEHEM No. 153

SERVITUDES UNDER WHICH THIS PROPERTY FILED WITH Consolidated Farm 153

1. The green line a-b represents Servitude Electric Supply Line, vide dgm. No 1402/1934 annexed to D/S 1919-229-13918.

The line L-K represents the southern edge of a servitude right of way vide dgm 1120/1952 annexed to D/S

Description of Beacons:

- A.C.J.K.M } = 3' Fencing standard section
- L.N.O.P } = projecting 6" under stone cairn.
- B.D.E } = 3' Fencing standard section
- F.G.H } = projecting 6" under stone cairn 3'x3'

2. The lines MN and LK represent the edges of a servitude road (coloured brown)

Scale 1 : 7500

The figure A.B.C.D.E.F.G.H.J.J' middle of stream K' L.M.N.O.P

represents 106.9425 Morgen of land being

Portion 6 of the farm Old Bethlehem

situate in the Division of Stellenbosch, Province of Cape of Good Hope.

Surveyed in July-Oct. 1952 by me

H. Friedlander
 Land Surveyor.

This diagram is annexed to

The original diagram is No. 11272/52 annexed to

File No. S/14417
 S.R. No. E. 2221/52
 Degree of BH-8D
 St 6. 12

Registrar of Deeds.

VN. 153/6 © S.P.C.T. 8 4095