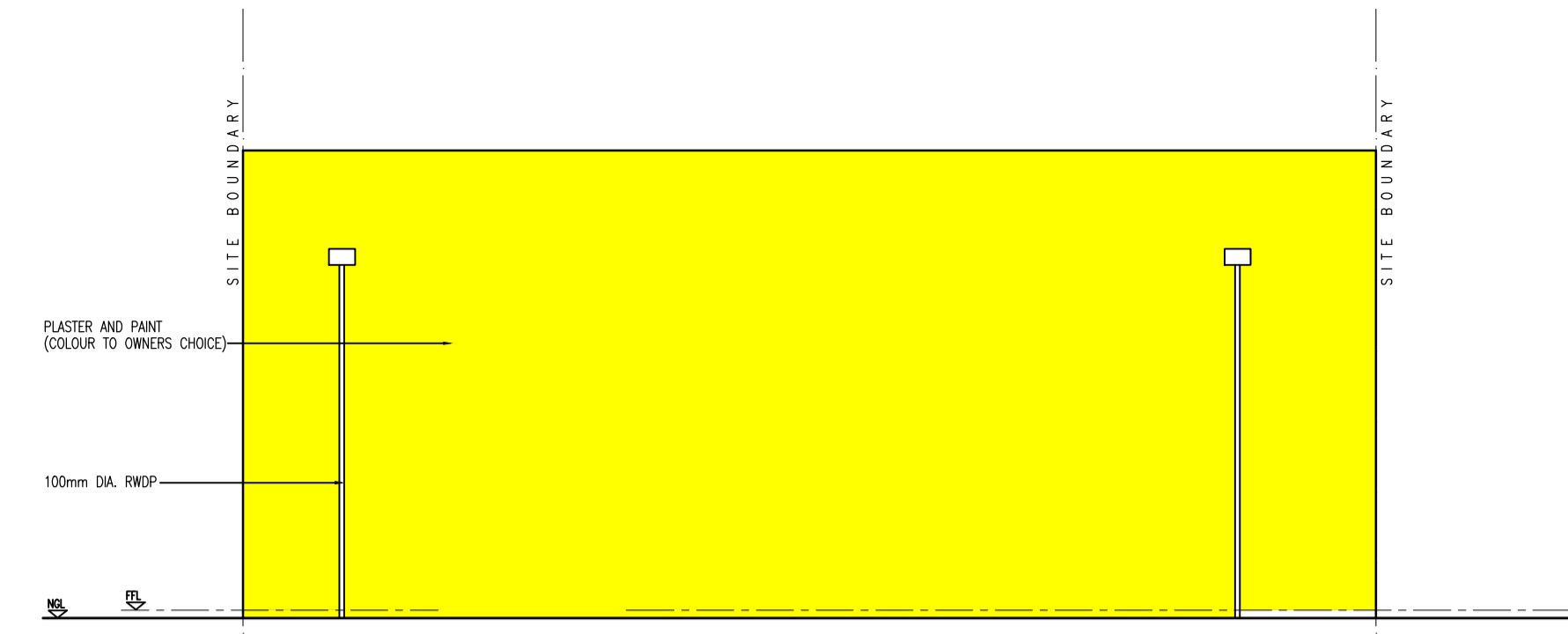
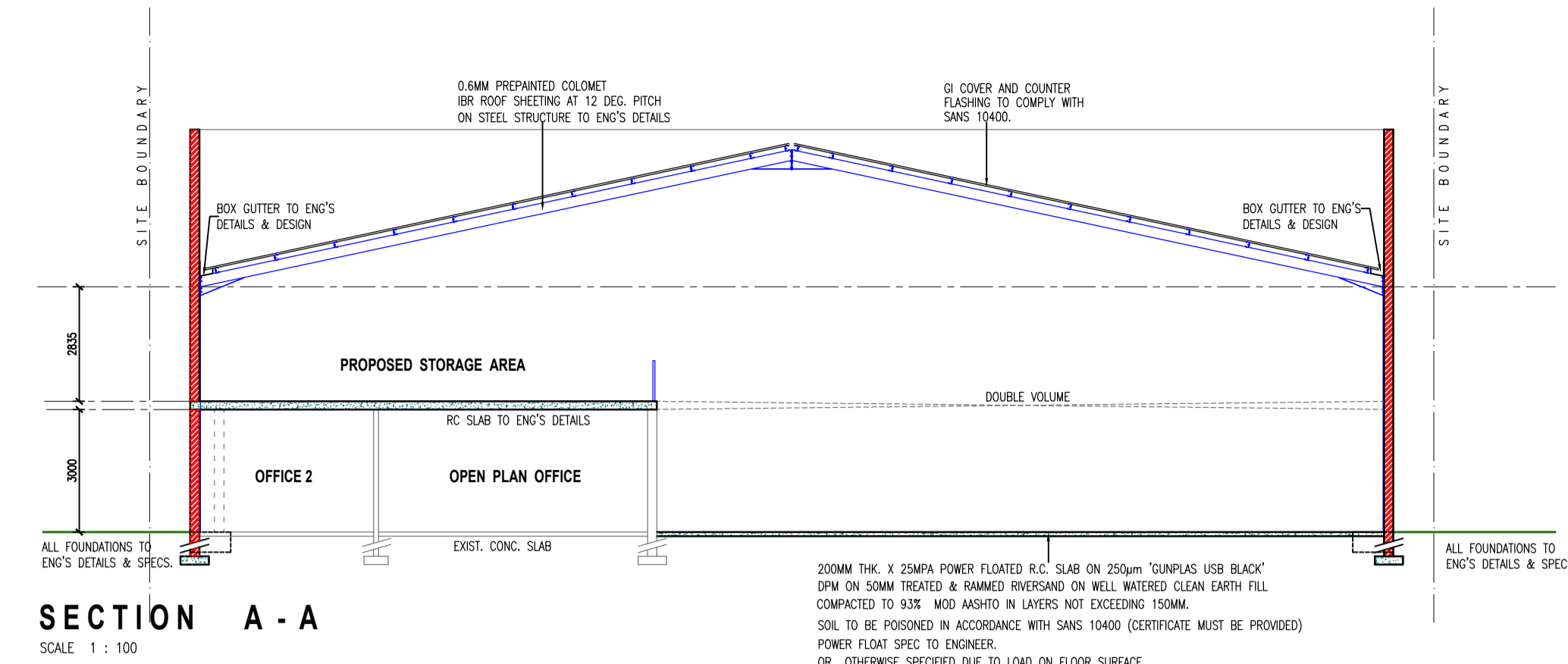


NORTH EAST ELEVATION
SCALE 1 : 100



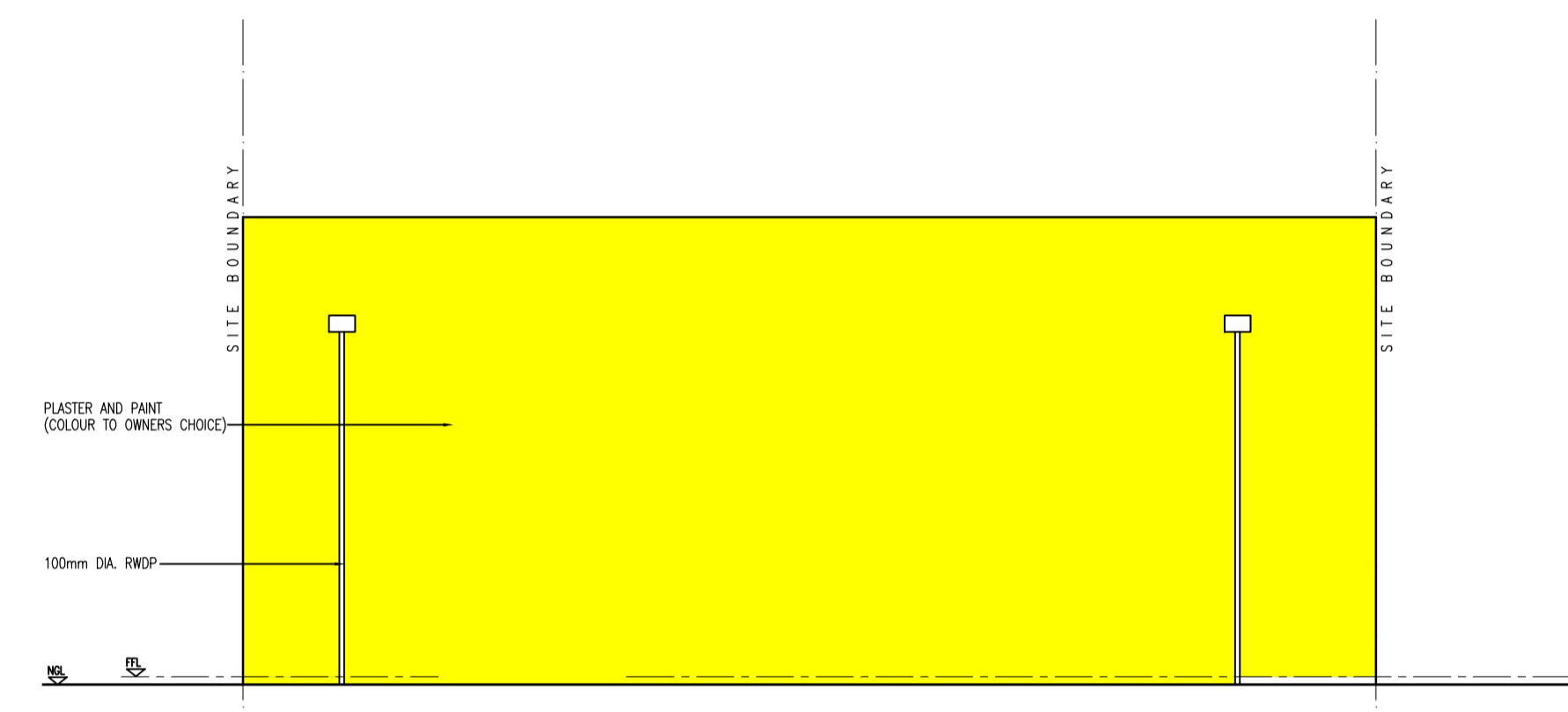
SOUTH EAST ELEVATION
SCALE 1 : 100



SECTION A-A
SCALE 1 : 100



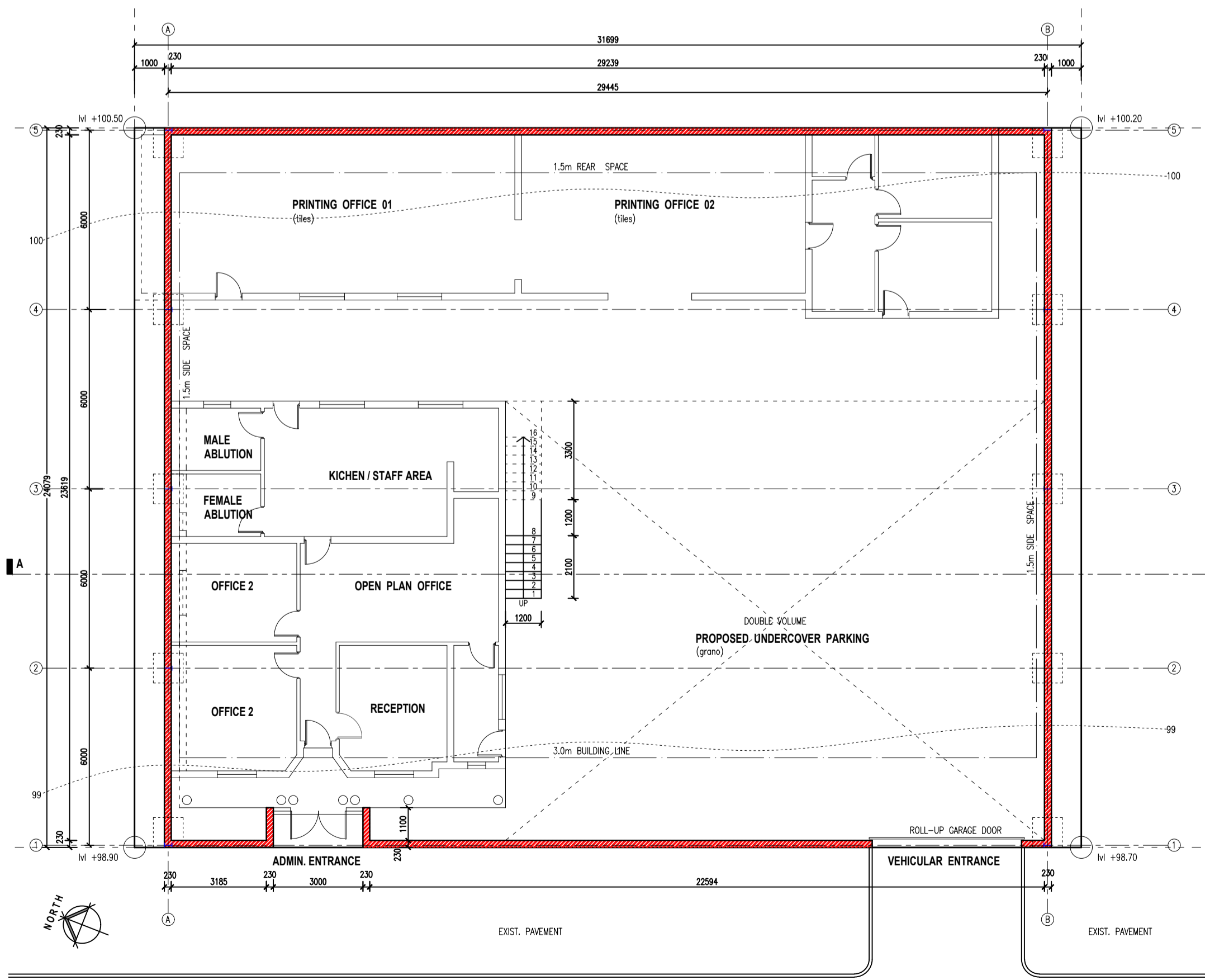
SOUTH WEST ELEVATION
SCALE 1 : 100



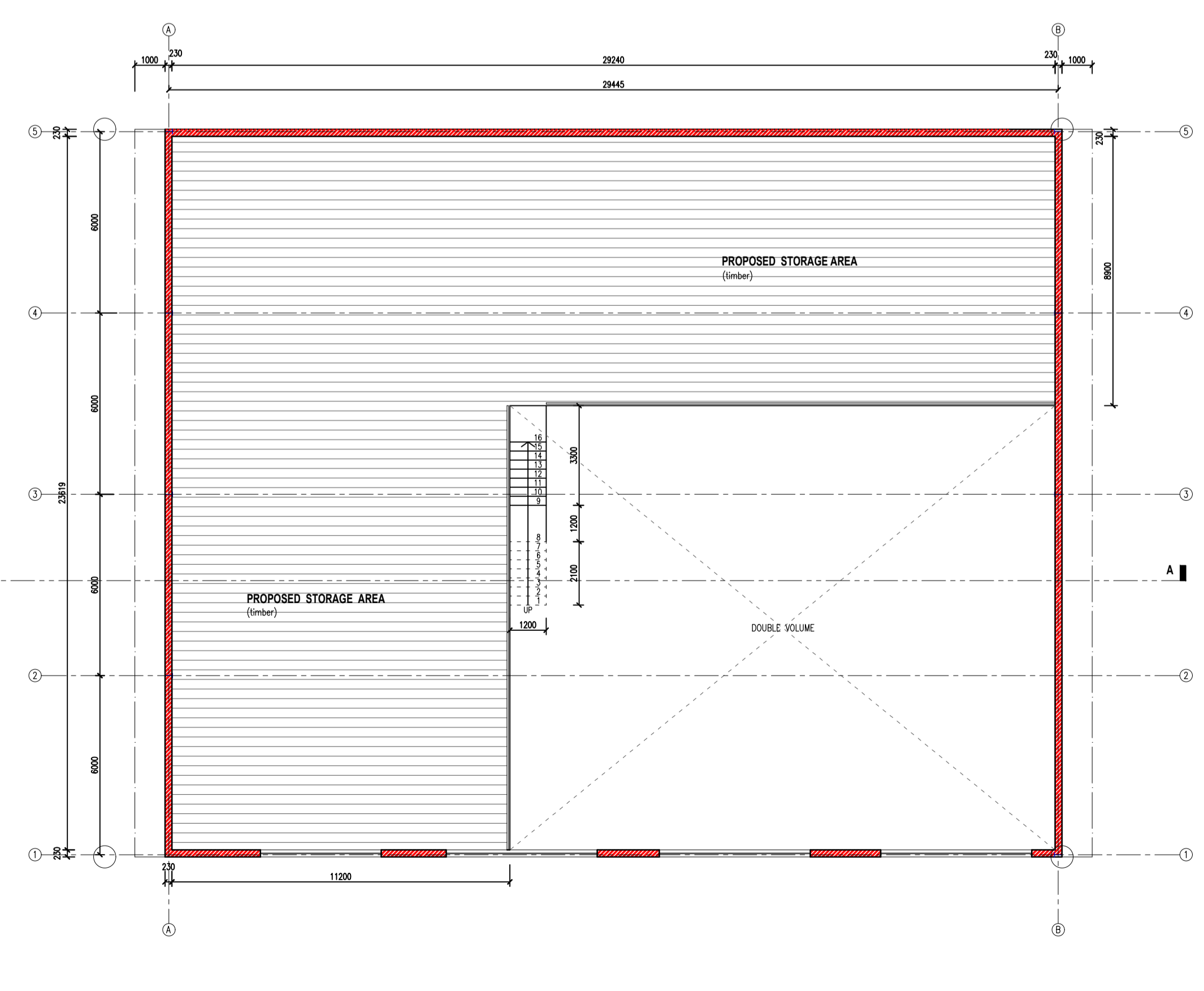
NORTH WEST ELEVATION
SCALE 1 : 100

- GENERAL :**
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DRAWINGS, THE ELECTRICAL LAYOUT, THE KEY TO THE ELECTRICAL LAYOUT AND THE SCHEDULE OF FINISHES.
1. ALL WORK TO COMPLY WITH SANS 10400
 2. ALL DIMENSIONS AND LEVELS TO BE CHECKED
 3. SAFETY GLASS TO BE USED WITHIN 300MM OF FFL
 4. BALLUSRADES AND HANDRAILS TO BE NBR, PART M
 5. STAIRWAYS TO BE SABS 0400 PART M
 6. ALL ACCESS CHANNEL ON SEWER & STORMWATER DUCT TO COMPLY WITH SANS 10400
 7. TERMINAL R/E SHOULD BE 1.4m FROM CONNECTION
- STRUCTURE**
1. ALL FOUNDATION WALLS AND STRUCTURAL WORK TO PROF. ENG. DETAIL
 2. ALL SOIL EXCAVATION AND FILLING TO PROF. ENG. DETAIL
 3. RC FLOOR SLABS AND BEAMS TO PROF. ENG. DETAIL
 4. PC LINTELS TO ALL NON BEAM OPENINGS
 5. HOLDING DOWN BOLTS AND PAD FOUNDATIONS TO DETAIL BY ENG.
 6. ALL STEEL COLUMNS AND RAFTERS AND GUSSETS TO PROF. ENG. DETAIL
- MECHANICAL & HEALTH :**
1. FRESH AIR TO BE SUPPLIED AT A RATE OF 7.51 PER SEC. PER PERSON
 2. AIR TO BE UNIFORMLY DISTRIBUTED THRU HABITABLE AREAS VELOCITY MAX. 0.5m/s, MIN 0.2m/s
 3. ALL SOLELY DEPENDENT ON MECHANICAL VENTILATION MUST BE VACATED IN THE EVENT OF MECHANICAL FAILURE
 4. VENTILATION OF INTERNAL AREAS TO IT43 PER FITTING
 5. ALL ROOMS TO HAVE 10% NATURAL LIGHT. ALL PASSAGES, TOILETS AND KITCHENS TO HAVE MIN 160 LUX. ENG. DETAIL
- PLASTER :**
1. PLASTER TO COMPLY WITH SANS 2001 EMI : 2007
- WALLS :**
1. EXTERNAL - 230MM BRICK WALLS, PLASTERED & PAINTED (AT THE FRONT WALL)
230MM BRICK WALLS (FACEBRICK TO SIDE AND REAR ADJOINING WALLS)
 - INTERNAL - 230MM & 115MM BRICK WALLS, PLASTERED & PAINTED AS INDICATED ON PLAN.
2. TWO COURSES OF BLOCKWORK TO BE REINFORCED IN WITH BRICK-FORCE. SOLID CEMENT MORTAR JOINT BELOW WALLPLATE LEVEL, ABOVE WINDOW HEAD LEVEL AND BELOW WINDOW CILL LEVEL.
 3. UNPLASTERED EXTERNAL WALLS TO BE BAGGED AND BITUMEN PAINTED BETWEEN SKINS.
 4. ALL BLOCKWORK BELOW GROUND LEVEL TO BE BRICKS RECOMMENDED FOR THE PURPOSE BY THE MANUFACTURER.
 5. GUNBLE 'BRICKGRIP' DPC'S TO BE PROVIDED OVER ALL SLABS, UNDER ALL CILLS, PARAPETS AND ELSEWHERE AS REQUIRED BY THE LOCAL AUTHORITY AND IN ACCORDANCE WITH SANS 10400 AND WINDOW SYSTEMS.
 6. GALVANISED STEEL COIL OUTGUARDS, LAPPED AND SOLDERED AT JOINTS TO BE TO LOCAL AUTHORITY REQUIREMENTS.
- LOCAL AUTHORITY :**
1. THE OWNER IS RESPONSIBLE FOR ALL LOCAL AUTHORITY NOTICES AND FEES.
 2. THE OWNER IS REQUIRED TO OBTAIN ALL NECESSARY CONNECTIONS TO SERVICES.
 3. WHERE LOCAL AUTHORITY OR GOVERNMENT REGULATIONS REQUIRE MORE STRINGENT SPECIFICATION THAN SHOWN HEREIN, THEY ARE TO BE FOLLOWED WITH PRIOR CONSENT OF THE OWNER.
 4. THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWING TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT.
 5. ALL SANS 10400 STANDARDS AND SPECIFICATIONS ARE TO BE ADHERED TO AS A MINIMUM STANDARD AND GOOD CONSTRUCTION PRINCIPLES.
 6. ALL LEVELS ARE APPROXIMATE.

MUNICIPAL STAMPS :



SITE AND GROUND STOREY PLAN
SCALE 1 : 100



FIRST STOREY PLAN
SCALE 1 : 100

CLIENT : SMWOP PROPERTY HOLDING CC

ARCHITECTURAL PROFESSIONAL

KOC ARCHITECTURAL CONSULTANTS

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PROJECT : PROPOSED ADDITIONS AND ALTERATIONS AT 227 RETIEF STREET SUB SITE OF 1.0 OF LOT 2746 PMS

DRAWING DESCRIPTION : GROUND STOREY PLAN ELEVATIONS SECTION

DRAWN	CHECKED	OCCUPANCY CLASSIFICATION
KGC	KGC	HH
DATE	SCALE	AS SHOWN
DECEMBER 2022		
DRAWING No.	REVISION	STATUS
KGC 48/22	0	S
DWG Drawing number		SHEET
KGC 48 / 22		1 / 1