

BOSCHENDAL WAENHUIS  
ALTERATIONS AND ADDITIONS TO DELI - CAFÉ  
DRAFT FOR COMMENT

submitted in terms of Section (27) of the NHRA (1999) for  
ALTERATIONS AND ADDITIONS TO BOSCHENDAL DELI BUILDING,  
BOSCHENDAL FARM 10/1674, R310, STELLENBOSCH



S.27 REPORT

2 March 2023

Prepared by Rennie Scurr Adendorff on behalf of Boschendal (Pty) Ltd



RENNIE | SCURR | ADENDORFF

ARCHITECTURE . INTERIOR DESIGN . HERITAGE . ARCHAEOLOGY



# CONTENTS

**1.0 INTRODUCTION .....2**

1.1 Background

1.2 Statutory Context

1.3 Study Methodology

1.4 Limitations

1.5 Statement of Independence

**2.0 SITE DESCRIPTION .....2**

**3.0 HISTORICAL OVERVIEW OF THE SITE AND ITS CONTEXT .....8**

3.1 Recent Changes to Boschendal Homestead

**4.0 HERITAGE SIGNIFICANCE .....8**

4.1 Heritage Resources Identified

4.2 Grading

4.3 Statement of Significance

**5.0 PROPOSED HERITAGE INDICATORS AND GUIDELINES ..... 11**

**6.0 PROPOSED DESIGN ..... 15**

**7.0 IMPACT OF PROPOSAL ..... 22**

7.1 Physical addition of the new wing

7.2 Height of building relative to roof.

7.3 Services Location

7.4 Alterations to the existing building :

7.5 Landscaping and Parking

7.6 Including comment by Sarah Winter, co-author of the CMP

**8.0 CONCLUSION ..... 26**

**9.0 RECOMMENDATIONS ..... 26**

**LIST OF FIGURES ..... 27**

**REFERENCES ..... 27**

## ANNEXURES

Annexure A: Existing Minor Works Permit (2021) ..... 29

Annexure B: Existing Minor Works Permit (2022) ..... 29

Annexure C: Extract from Cape Winelands Cultural Landscape Provisional Protection - Dwars River properties only (Government Gazette 516/27314; 3 June 2005) ..... 30

Annexure D: Extract from the declaration of Boschendal as a PHS (Government Gazette 2044; 5 November 1976) ..... 32

Annexure E: Survey Diagram (S.G. 7539/2007) ..... 33

Annexure F: Proposal (RSA, 2023)

Annexure G: Title deed

## 1.0 INTRODUCTION

### 1.1 Background

Rennie Scurr Adendorff have been appointed to design an extension to the Boschendal deli building, historically the waenhuis, and to apply for the Section 27 permit to undertake this work.

RSA has previously submitted a Minor Works Permit pertaining to renovation, repair and maintenance of the building in 2020 (Annexure A), and an extension to that permit in 2022 (Annexure B).

### 1.2 Statutory Context

Boschendal is a declared Provincial Heritage Site, and all alterations to structures on the property - within the ringmuur which delineates the extent of the proclaimed area - triggers a Section 27 application in terms of the National Heritage Resources Act (No. 25 of 1999).

### 1.3 Study Methodology

The proposed design intervention builds on the CMP process. This S27 application is necessarily concise as it relies on the underlying CMP document for wider contextural framing information.

Report compiled by:

Mike Scurr (Architect and Heritage Practitioner)

Katie Smuts (Archaeologist and Heritage Practitioner)

Architectural Design - RSA

Shaun Adendorff

Mike Scurr

Amy Lawrence

### 1.4 Limitations

No limitations have been encountered in the compilation of this report.

### 1.5 Statement of Independence

Rennie Scurr Adendorff does not have any legal ties to Boschendal, nor is there any financial gain tied to any positive comment or outcome. Professional fees for the compilation of this report and the design are paid by the owner, but are not linked to any desired outcome.

## 2.0 SITE DESCRIPTION

This application pertains to the Boschendal deli building, historically the waenhuis or coach house. Boschendal, Farm 10/1674, is located off the R310, Dwars River Valley, Stellenbosch.

The structure, together with the old slave quarters and wine cellar, is one of the outbuildings enclosed in an extensive ringmuur that, with the manor house, comprises the Boschendal werf. This rectangular werf is unusually narrow, lending the space the feel of a street.

The old cellar and coach house, which form a matching pair opposite each other and date to 1802, currently serve as restaurant facilities. There is also a 'slave building' and a kraal. Most of these buildings are old, although many have been modernised.

The house itself is a thatched, H-shaped Cape Dutch farm house dating from 1812, although an older core almost certainly exists. It has a low front gable with a round cap, a design repeated above the doors and windows. The house has recently been refurbished to serve as an art gallery, also subject to a Minor Works Permit obtained by RSA.

The werf was extensively restored by the Fagans in the 1970s, and the homestead served, for a time, as a museum.

The landscape setting of Boschendal makes it one of the winelands' most enduring and popular tourist destinations.

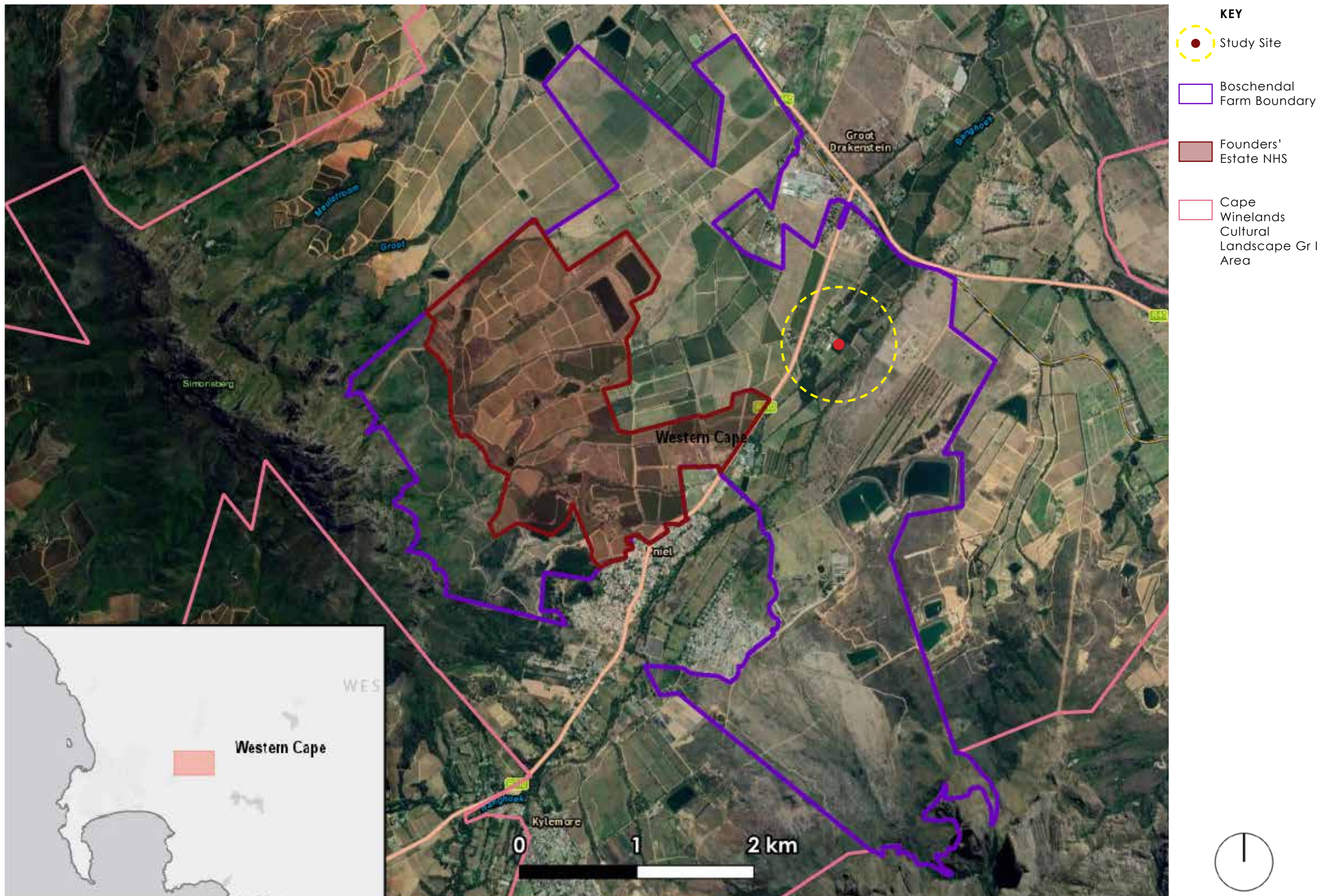


Figure 1. Locality Map (RSA, 2020).





- KEY**
-  Boschendal PHS
  -  Subject Building



Figure 2. The buildings comprising the Boschendal werf (RSA, 2020).



Figure 5. Front facade of building, view to north west (Boschendal, 2022)



Figure 3. Exterior of building in context, view to north west (RSA, 2020)



Figure 6. Deli Café interior (RSA, 2022)



Figure 4. Exterior of building in context, view to south west (RSA, 2020)



Figure 7. Kitchen and Scullery (RSA, 2022)



Figure 9. Kitchen and Scullery (RSA, 2022)



Figure 8. Kitchen and Scullery (RSA, 2022)



Figure 10. Kitchen and Scullery (RSA, 2022)





Figure 11. Kitchen and Scullery (RSA, 2022)



Figure 13. Kitchen and Scullery (RSA, 2022)



Figure 12. Kitchen and Scullery (RSA, 2022)



Figure 14. Kitchen and Scullery (RSA, 2022)

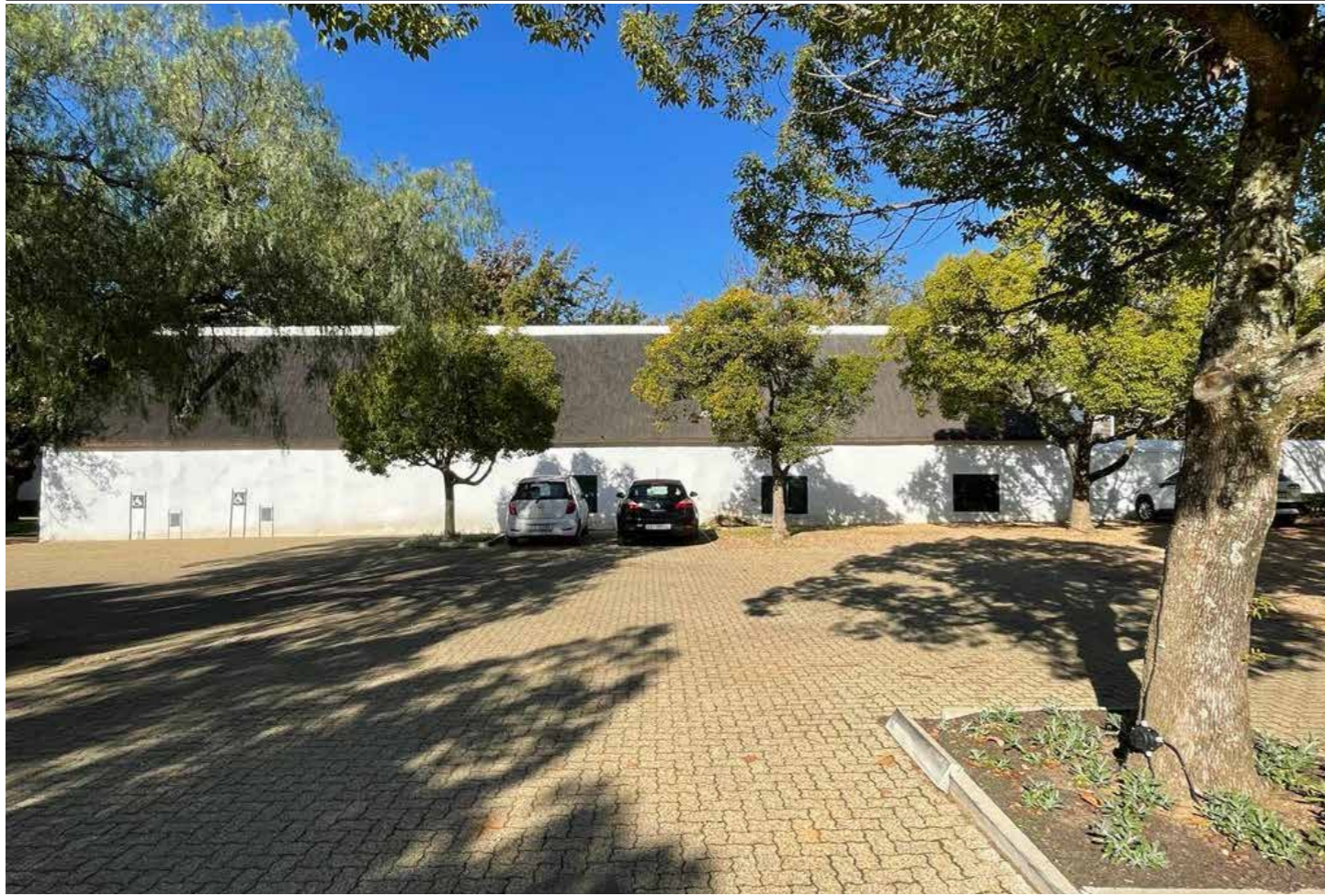


Figure 15. Rear facade of building (Boschendal, 2022)



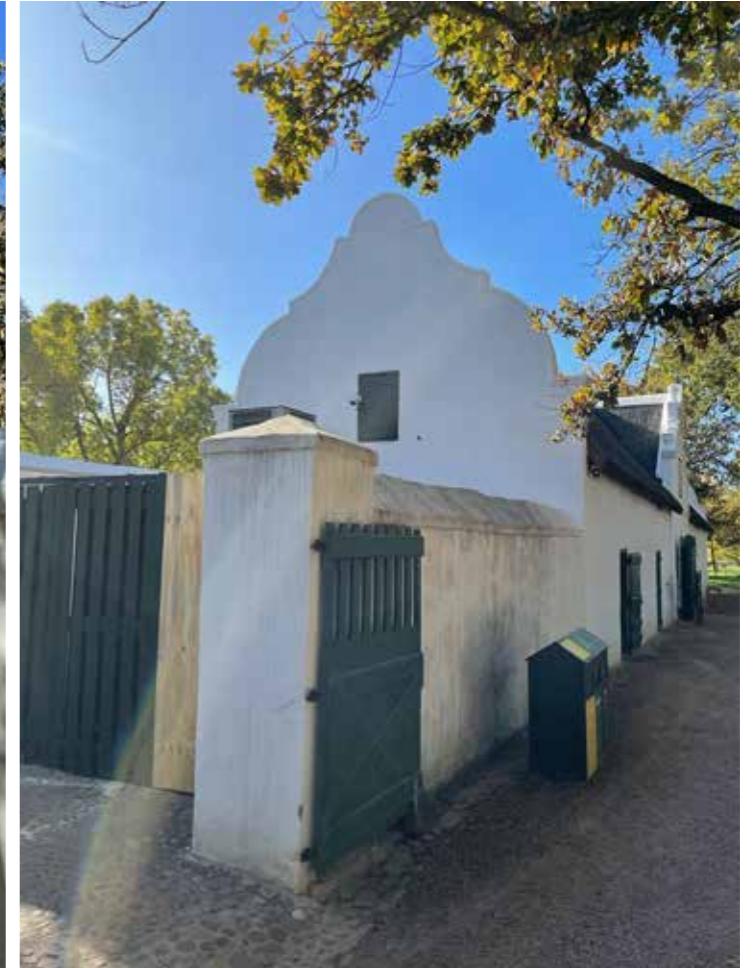
Figure 17. North gable end (l) and south (r) (Boschendal, 2022)



Figure 16. Rear facade of building, view to north east (Boschendal, 2022)



Figure 18. Kraal walls beyond southern end of kitchen area (RSA, 2022)



The Waenhuis is located within 200m of the R310 Scenic Route. This, together with the iconic historic and contemporary views of the werf with the Jonkershoek Mountain backdrop is an important informant. The Waenhuis deli extension is discretely positioned so as not to negatively impact any key views from the R310.

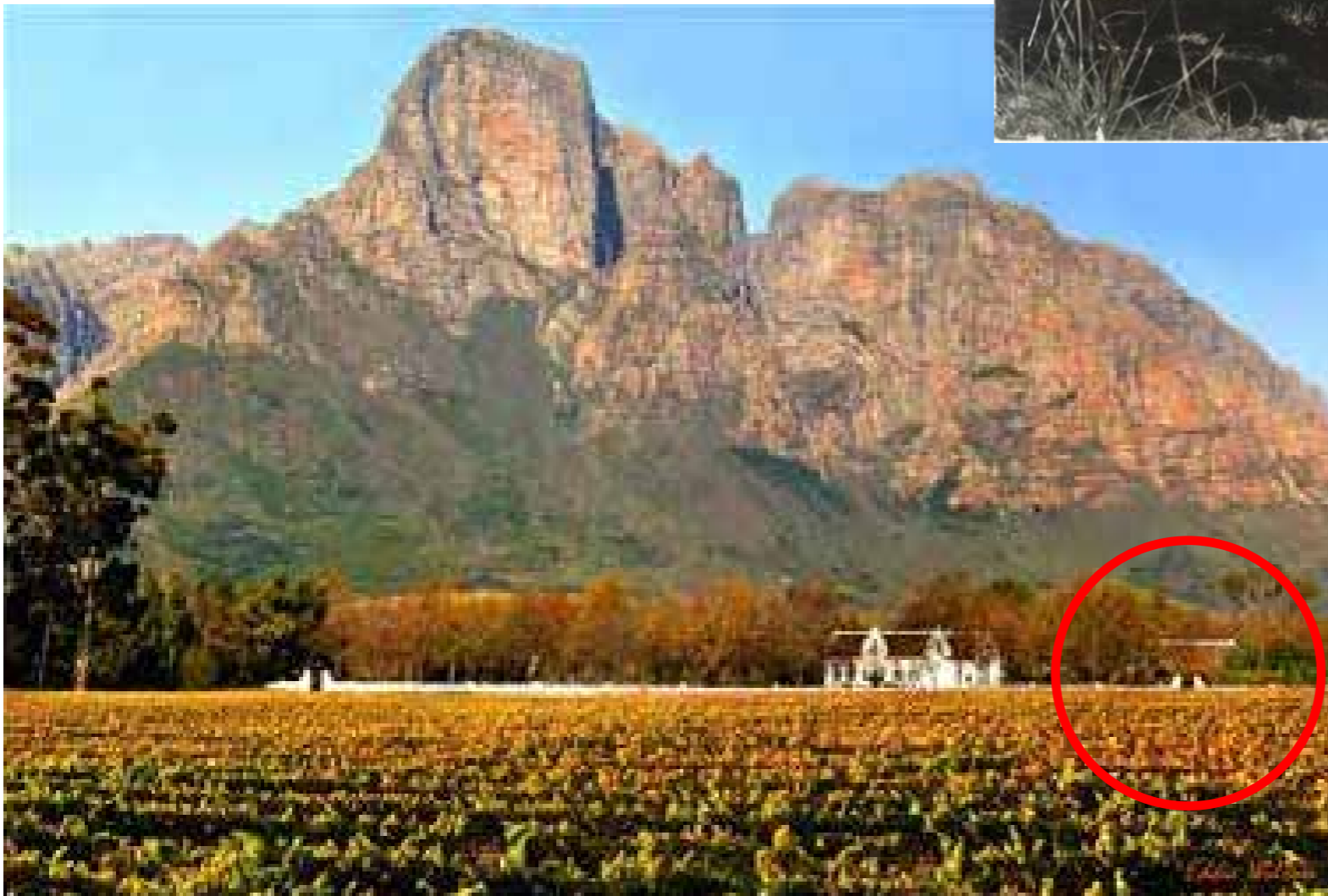
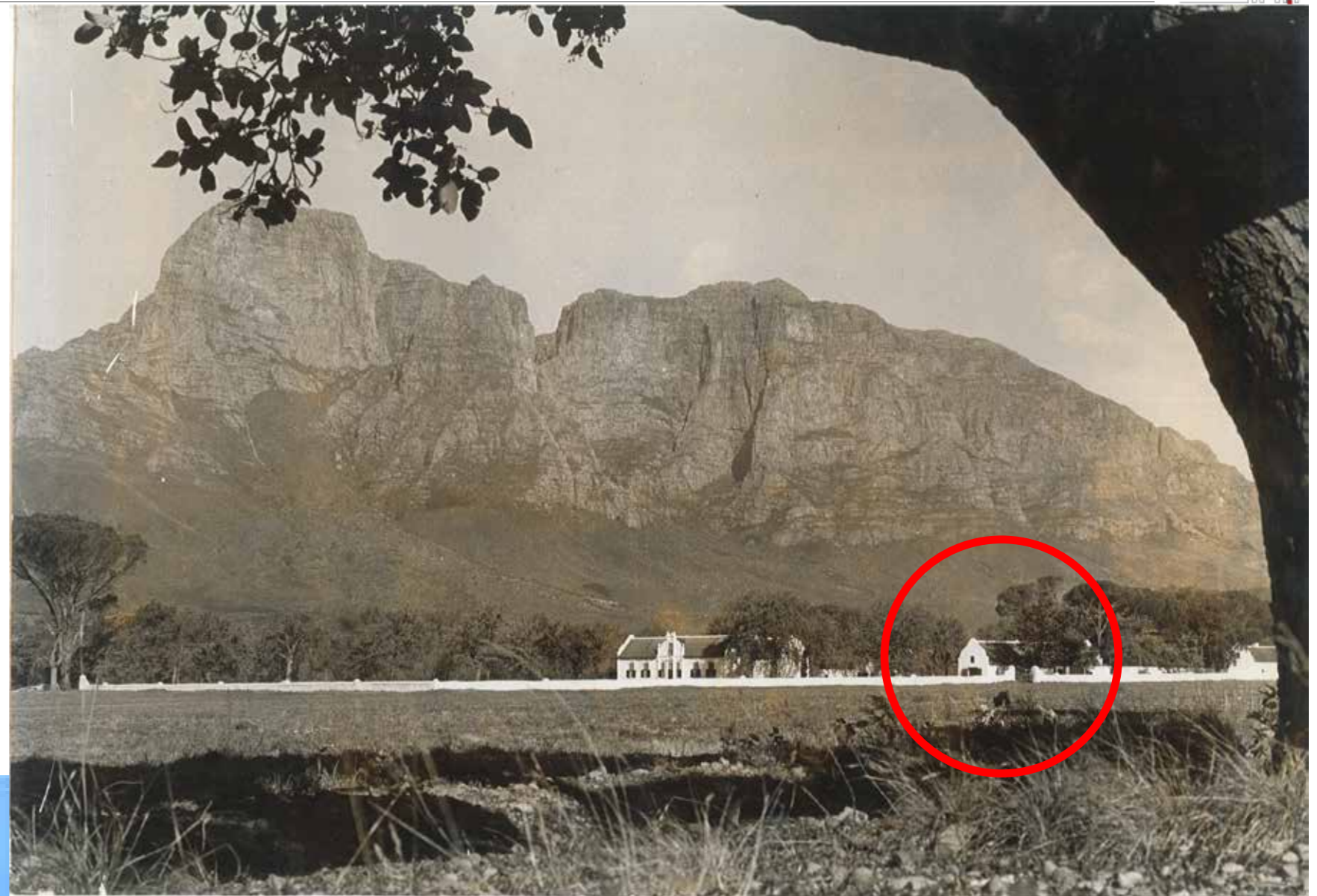


Figure 19. Historic and contemporary views of Boschendal werf from the R310 (Fagan Collectio; Boschendal Archive)

### 3.0 HISTORICAL OVERVIEW OF THE SITE AND ITS CONTEXT

The history of the development of Boschendal and the history of its ownership has been well studied and reported on elsewhere (Fagan, 1979; Fransen, 2004). Here a condensed history is provided for context.

The farm was originally two grants made to two Huguenots: Nicolas de Lanoy in 1690, and the adjacent land, Boschendal, to Jean le Long in 1713. Both properties were originally 60 Morgen in size. After Le Long died in 1715, Abraham de Villiers, another Huguenot, bought Boschendal, having by then already acquired de Lanoy's property. Since then, both have been farmed as a single property.

In 1717, Abraham sold to his brother, Jacques de Villiers, and it is likely this owner who built the first substantial buildings on the farm. After his death, Jacques' widow lived there until 1738 when she transferred it to their youngest son, Jean or Jan.

Jan married twice and had a very large family, buying property for all his sons, and setting up the de Villiers as the preeminent family in the region. His twentieth son, Paul de Villiers became owner of the property in 1802, and it was Paul who built the house in its current form, although the core of the house is almost certainly older than the gable which carries the date 1812, and the initials of Paul and his wife Anna Susanna Louw. When the couple moved to Paarl in 1839, Jan Jacobus and Hendrik Francois, their two sons, took possession of Boschendal, and Hendrik bought his brother out in 1843, selling it back to Jan when he took ill after 20 years of farming. Jan remained on the farm until he too moved to Paarl in 1879.

The farm was bought on Jan's death in 1880 by Daniel Jacobus Retief who went insolvent seven years later, and sold it on to J GC Myburgh. The farm was then acquired by Cecil John Rhodes, together with other properties acquired after the phylloxera epidemic decimated the Cape wine industry.

Under Rhodes both the crops under cultivation and the methods of farming changed extensively. Vines were replaced with fruit trees, and farming methods, production and processing were mechanised, industrialised, and corporatised. The large labour force required for the mass production that Rhodes Fruit Farm entailed led to the creation of a workers' village at Lanquedoc, and a proliferation of cottage clusters across Rhone and Boschendal.

#### 3.1 Recent Changes to Boschendal Homestead

The homestead and the outbuildings have gone through several changes in the recent past, best known of which was the overhaul and renovation undertaken by the Fagans in the 1970s. These renovations revealed much about the history of the structures up until that point, and the historic layering present within their fabric and form.

More recent changes have involved use changes and minor repair and maintenance.

### 4.0 HERITAGE SIGNIFICANCE

#### 4.1 Heritage Resources Identified

The Boschendal homestead and werf, comprise a defined arrangement of buildings of various ages, dating to the eighteenth and nineteenth centuries. The farm house likely pre-dates the 1812 date indicated on the gable, and previous restoration work revealed a T-shaped core to the structure a meter below the present floor level (Fagan, 1979)

Fagan dates the werf outbuildings to the ownership of Paul de Villiers in the early years of the C19th, finding no trace of earlier forms, although he notes changes through time. Fagan (Ibid.) expressly links their various forms to their functions through relating their features to known economic activities on the farm, and the recorded possessions of de Villiers (Ibid.).

In addition to the great age of the structures comprising the werf, their spatial relationship is similarly important, with Boschendal's highly formalised layout presenting the grand, structured appearance that was increasingly coded into farm werfs on the C19th as organic development was eschewed in favour of planned, formal arrangements. As such, Boschendal can be considered a statement of wealth and prestige as much as it can be considered a functional, working werf.

Aesthetically and architecturally, the homestead is an excellent example of the Cape Dutch style, while previous restoration work has shown that the structures as they now appear hold vast amounts of information both about their own histories, and the histories of the workings of such farms as Boschendal.

## 4.2 Grading

The Boschendal outbuildings and werf fall within the Grade I area of the Cape Winelands Cultural Landscape (Annexure C), and are included in the Grade II Boschendal Provincial Heritage Site proclamation (Figure 8). This proclamation includes the Boschendal farmhouse and all outbuildings enclosed within the werf ringmuur (Annexure D).

## 4.3 Statement of Significance

This is a complex and site of great heritage significance. The natural (and contrived and enhanced cultural landscape) setting, the elongated and on axis (approach avenue and homestead) werf layout and architecture, epitomises Cape Dutch farm complexes. The H-plan house on the raised plinth that surrounds the building, outbuildings that line the werf and a fowl run near the house are some of the features that have aesthetic, architectural, landscape and cultural significance.

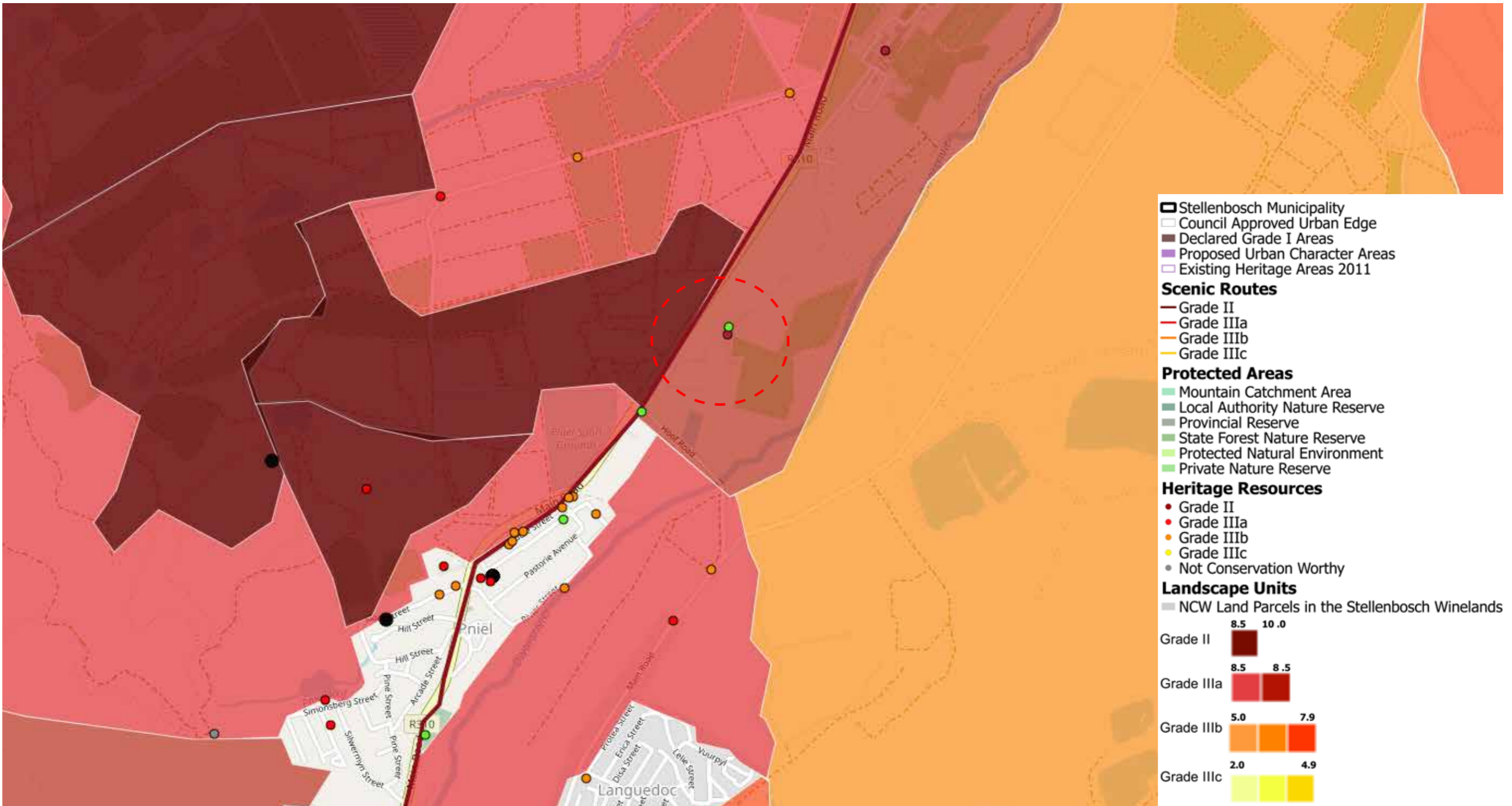


Figure 20. Stellenbosch Municipal Heritage Survey Map showing landscape gradings and heritage resources identified in and around Boschendal. indicated in red (Todeschini and Jansen, 2018).

# SITE NAME: BOSCHENDAL

LANDSCAPE UNIT NUMBER: F06  
 LANDSCAPE UNIT GRADE: Grade II

## ADDRESS OF THE SITE

PROPERTY NO  
 SITE ADDRESS R310 Pniel Road  
 CURRENT USE Tourism  
 ORIGINAL USE Agriculture

## PROTECTION AND GRADING

Curr.NHRA Protection S34  
 >60YRS? **Yes**  
 PROPOSED GRADING Grade II

## MAP



## LATITUDE/LONGITUDE

-33.8747083333 18.9756066667



## SIGNIFICANCE

|               |                |
|---------------|----------------|
| Associational | Representivity |
| Age           | Rarity         |
| Scientific    | Archaeology    |
| Symbolic      | Intangible     |
| Architectural |                |

## ARCHITECTURAL STYLE

Cape Dutch

## ARCHITECT/BUILDER

Fagan

## SITE DESCRIPTION

The setting, werf layout and architecture epitomises Cape Dutch farm complexes. H-plan house on raised plinth that surrounds the building, outbuildings line the werf and a fowl run near the house; axial approach with Stone Pines. Numerous cottages, some converted to luxury accommodation, and other buildings on the larger estate.

## STATEMENT OF SIGNIFICANCE

This is a complex and site of great heritage significance. The natural (and contrived and enhanced cultural landscape) setting, the elongated and on axis (approach avenue and homestead) werf layout and architecture, epitomises Cape Dutch farm complexes. The H-plan house on the raised plinth that surrounds the building, outbuildings that line the werf and a fowl run near the house are some of the features that have aesthetic, architectural, landscape and cultural significance.

## INTERIOR DESCRIPTION

## GROUPING WITH OTHER SITES

## EVIDENCE OF DEMOLITION

## SITE HISTORY

## LANDSCAPE SIGNIFICANCE

## CONTEXTUAL DESIGN

## INVASIVE ELEMENTS

## HERITAGE VULNERABILITY

REFERENCES Fransen 2004: 274; Winter 1988: 13 #6

DATE

8/23/2017

Figure 21. Heritage Grading Sheet for Boschendal (Todeschini and Jansen, 2018).

## 5.0 PROPOSED HERITAGE INDICATORS AND GUIDELINES

The following heritage indicators are derived from the Boschendal Historic Core Conservation Management Plan (RSA and Winter, 2023: 44-46; 86):

### Landscape interventions

- Recognise the central werf space as an equally important to the historical buildings framing this space, and the need for a holistic approach to landscape interventions.
- Recognise the varying landscape character across the werf ranging from the primary role of the central werf space to the more resilience farmland setting to the east to the opportunities to re-activate/reinforce the front of the homestead and its treed setting and approach to the north.
- Recognise the need for the revisioning of the some elements of the 1970s landscape concept for the central werf space and the strong conservation ethos underpinning the interventions. This needs to reflect a shift in the heritage landscape in terms of approaches to heritage management, critical debates about inclusivity and representivity, the need for universal access and the need to balance commercial viability and sustainable conservation practice. It also needs to reflect a shift away from an overlay corporate, formal character of the space.
- Respect historical patterns of access and alignments. New patterns should be subsidiary particularly in terms of avoiding the introduction of formal axes.
- The appropriate scale and nature of landscape interventions in terms of use of rural landscape elements, e.g. tree planting, water furrows, surfacing and edge treatments , signage and lighting. Urban and suburban elements should be avoided e.g. paved surfaces. The gentle slope and footfall of the werf to be retained.
- Respect the principle of simple geometric lines, a limited planting palette and use of materials, and minimal visual clutter.
- Respect the arrangement of landscape elements (trees, pathways, water furrows) with a balance between formality and informality of the farm werf context.
- Protect and reinforce trees of stature contributing to the treed setting and visual-spatial qualities of the werf.
- Vehicular traffic to remain on the periphery of the historical werf space.
- Recognise opportunities to relocate parking further away from

the werf in order to provide it with more breathing space. Parking should be visually screened and fragmented. No structured parking.

- Limit the extent of restaurant/coffee shop/wine tasting outdoor seating to certain pockets within the werf space, keeping the path on axis with the homestead open and not intruding into the immediate foreground.
- Recognise opportunities to increase visitor numbers without impacting the landscape character of the core heritage asset for example, in the same way that the Olive Press function venue absorbs visitor traffic on the periphery of the primary werf. Opportunities exist within the East Garden to diversify the visitor experience and create a capacity sponge for visitors.

### Building Work

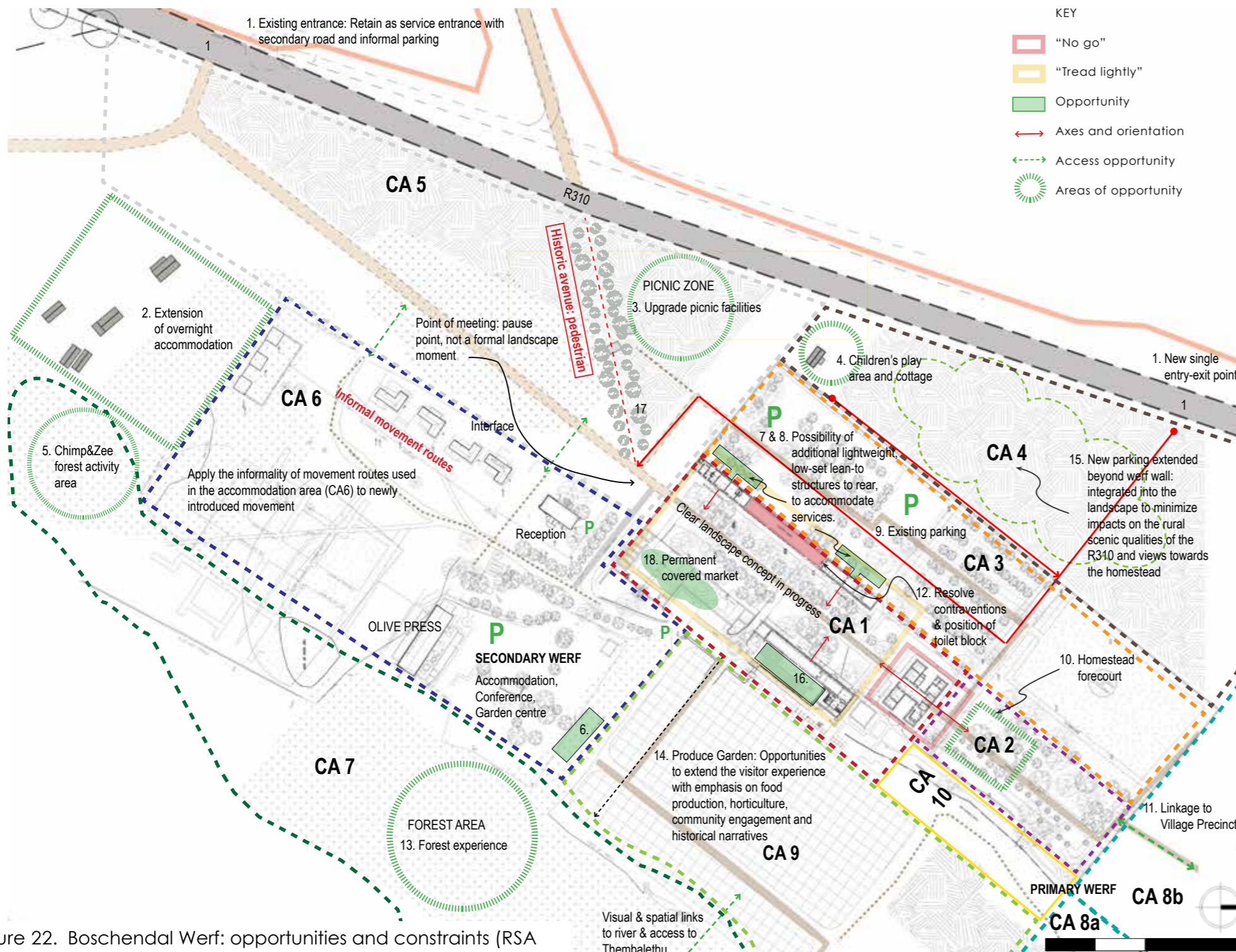
- Recognise the varying heritage significances and sensitivities across the werf with the capacity to accommodate change ranging from the high degree of significance of the historical werf requiring an approach of minimal intervention to the more resilient eastern interface where a treadlightly approach to new development can be considered.
- Respect the historical layering of the werf in terms of the justification for the removal the later additions and the addition of contemporary layers.
- Building additions to be visually discrete from the R310 scenic route, historical werf space werf and approach routes.
- New interventions should be subsidiary to the spatial dominance of the primary werf.
- Retain the primary role of the central shaft of space; activation of new edges to the werf should also remain subsidiary.
- New buildings to contribute to place making as opposed to creating an "object in space".
- The siting of new building development should be at sufficient distance from primary werf to give it 'breathing space'. It should not erode its agricultural frame and visualspatial relationship with the Dwars River.
- New buildings should reflect a rural architectural character and follow the simple rectangular forms of the existing buildings. The height of new buildings should be single storied and not exceed that of the ridgeline of the wine cellar. Their width should not exceed 7m in width with lean-tos accommodated to the rear of

new buildings.

- Retain the experiential qualities and character of the werf in terms of the scale of any new development, the amount of movement likely to be generated, parking requirements and likely impacts in the form of lighting, noise, etc.
- Contribute to compact settlement form as opposed to a sense of scatter in the landscape.
- Respect orthogonal patterns and the linearity of the werf layout.
- Respect the sense of werf enclosure with a modulated form of

buildings and relationship between solid and void.

- Scale of new building interventions need to be appropriate in terms of width, height to ridgeline and silhouette of existing.
- Respect for a rural built form and architectural typology.
- Express 'new' architecture to the back to the building.
- Encourage adaptive reuse contributing to the sustainable conservation practice and semipublic access through range of tourism uses. Balance the needs of sustainable conservation practice and commercial viability.



**Indicators**

1. R310 access arrangements
2. Overnight accommodation
3. Picnic zone
4. Children's play area & cottage
5. Chimp&Zee forest activity
6. Conservatory Garden Shop
7. Slave Quarters - farm shop lean-to additions
8. Coach house/stables - deli lean-to additions
9. Existing parking
10. Homestead forecourt
11. Village linkage
12. Ablution facilities (temporary)
13. Forest area
14. East Garden, produce garden
15. Parking area
16. Cellar extension
17. Historic link
18. Permanent covered market

Figure 22. Boschendal Werf: opportunities and constraints (RSA and Winter, 2023: 78)



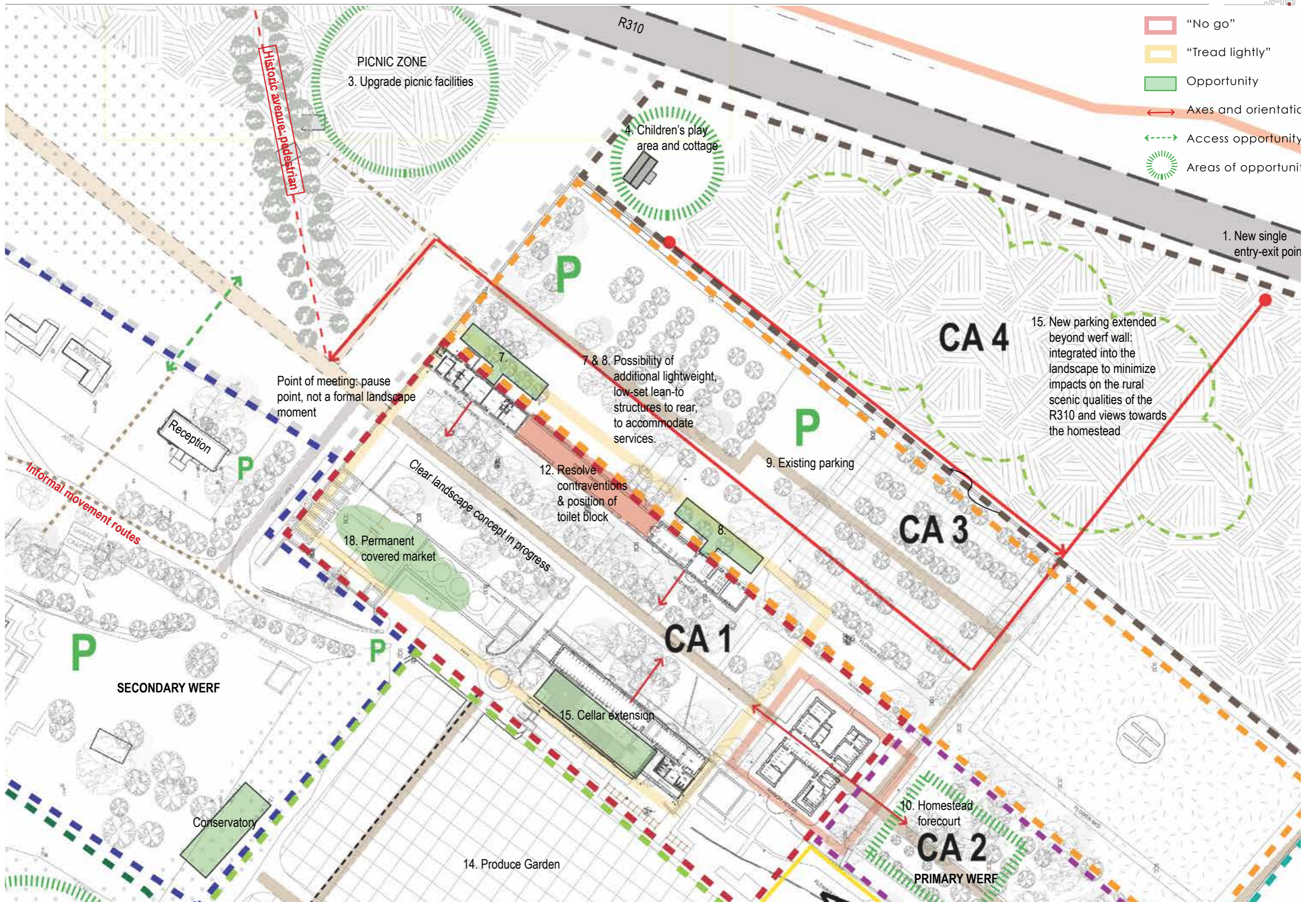


Figure 23. Boschendal Core Werf opportunities and constraints map (RSA and Winter, 2023: 79)

## Coach House / Stables Deli - Deli Lean-to Additions

- Character Area: CA 1, CA 3
- Description: Build new, low key, af-dak type extension behind parapet wall with discrete link into deli to provide additional kitchen and WC service space and to relieve pressure on services and spaces in historic structures and to allow for expansion of seating in deli restaurant.
- High Level Indicators: Gasket connection to historic building.
- Separate by an open service passage. Reads as simple white walled building as a foil when viewed from the parking lot.
- Legal Triggers: S27 (now and with proposed change to PHS area)
- Heritage Risks: Medium to High
- Other Risks: Land use requirements related to retail expansion

As the CMP has been circulated for public comment and is currently with HWC for approval, it is useful to provide some of the comments of the Stellenbosch Interest Group (SIG) pertaining to that document.

SIG provided very detailed comment on the specific findings of the CMP, raising a number of issues. While some of these were of a technical nature, noting inconsistencies in nomenclature that have subsequently been addressed, concern was raised regarding the 2013 heritage indicators approved by HWC, and the fact that these indicators had not been included verbatim.

The CMP has absorbed the 2013 indicators (as set out in the Winter and Baumann HIA of that year), and it was regarded as unnecessary to absorb them verbatim. However the reference to the absence of specific 2013 heritage indicators has been addressed in the final CMP. Most of the concern raised relate to the Assessment of Opportunities and Constraints, and the opportunities for new interventions within the Boschendal werf. It should be noted that the development opportunities and constraints identified in the CMP would all be required to follow a detailed heritage application process and are Subject to Section 27 for a permit application to HWC and should thus not be regarded as a fait accompli.

In the comments for the CMP, the SIG noted:

*The adaptive re-use of recent times in the site's history has left the wine cellar "stylised" into a restaurant use." The same ruling would be applicable to the slave quarters, coach house and perimeter walls of the primary werf. The lean-tos will severely impact on views from the adjacent*

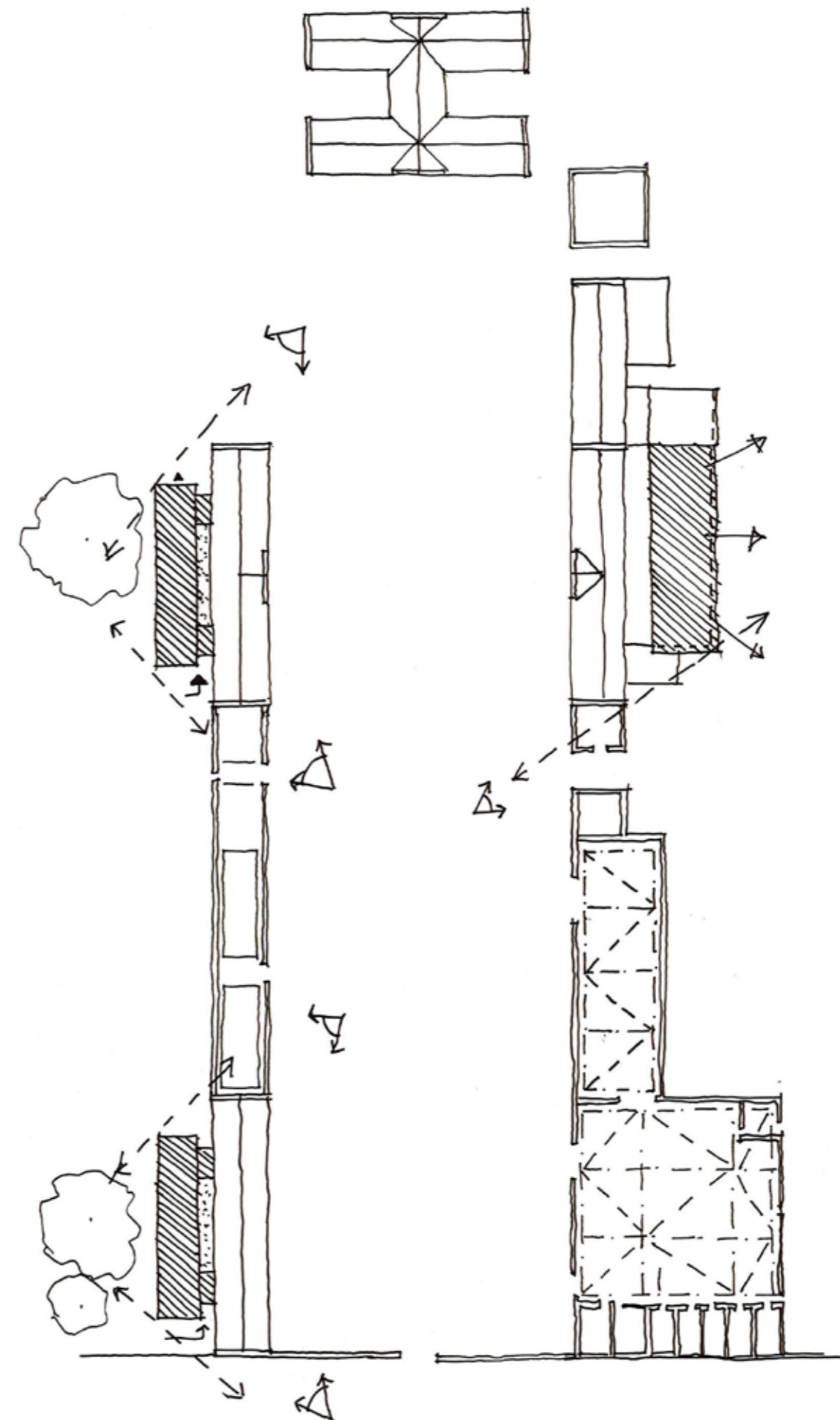


Figure 24. Possible scenarios explored in the CMP for the utilisation of, and extension to, the rear of the historical werf outbuildings, keeping the primary werf space open (RSA and Sarah Winter, 2023: 86; 89)

the western facades of the Slave Quarters and Coach House with their rough walls and windows will be lost.

The links will require breaking into the walls of the Slave Quarters and Coach House and depending on their position may even result in the removal of some of the windows. The proposed lean-tos will present a new façade with modern finishes, bare, unbroken walls entirely inappropriate in the grade II primary werf. The view from the western werf and carpark towards the Homestead will also be reduced as the lean-to behind the Coach House, will intrude across the viewline.

The view of the Homestead as visitors approach the main western entrance to the primary werf is reduced by the introduction of lean-tos.

If the current facilities and seating space cannot serve the visitors then the number of visitors in the primary werf has reached its maximum and the visitors must be entertained in other parts of the farm. The Heritage Risks associated with additions 7 and 8 are high and retail expansion must comply with Land Use requirements (CMP 2022)

#### Design Response:

The comments from SIG are noted and have been carefully considered in the alignment, scale, form and content of the service wing. The additions are necessary to meet operational, health and safety and practical considerations for the existing deli-café operation, and have been designed to align with the heritage indicators and principles identified.

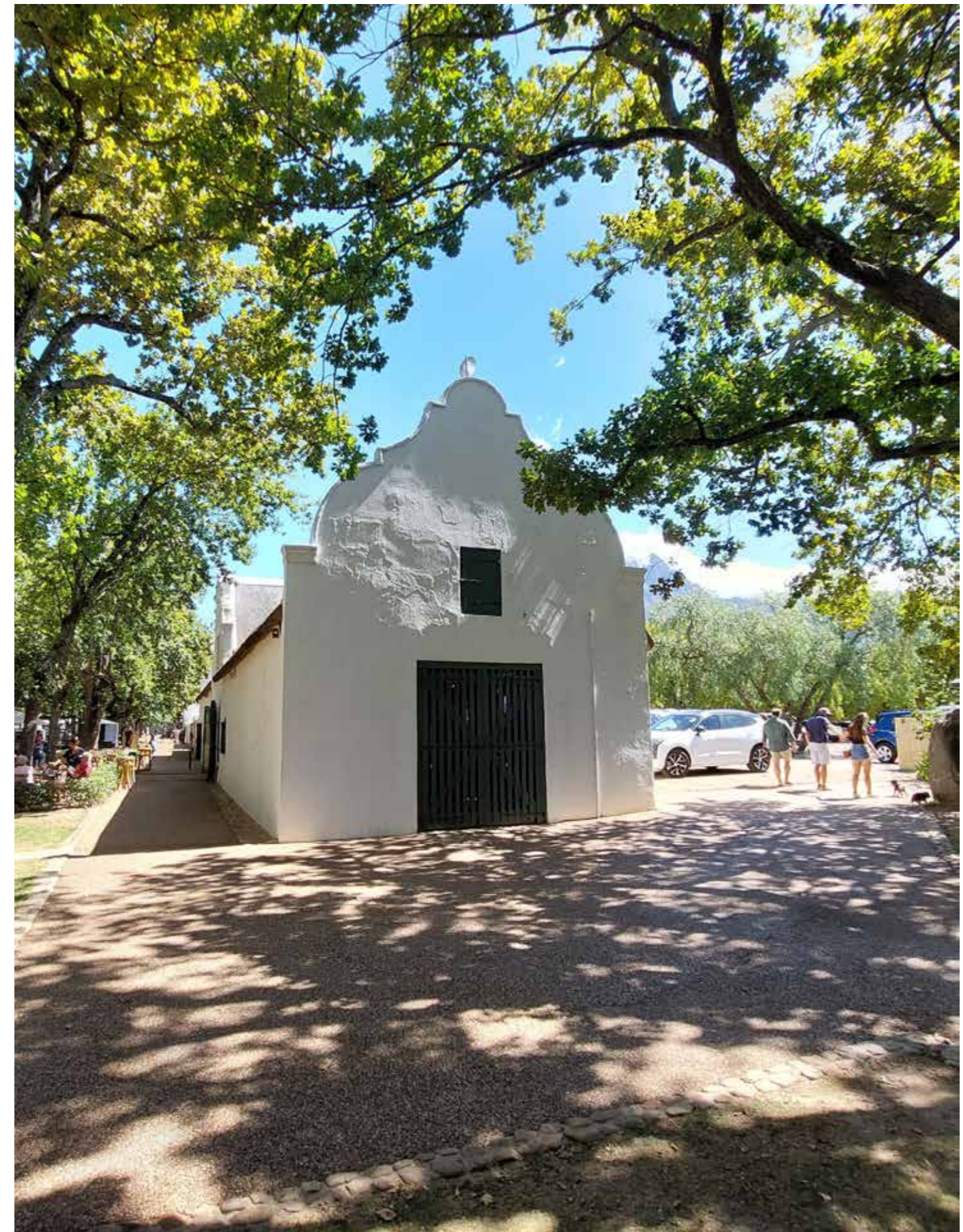


Figure 25. Boschendal waenhuis (RSA 2023)

## 6.0 PROPOSED DESIGN

The proposal provides for an extension to the existing, historic Waenhuis building, currently and also planned to be used as the Deli-café for the Boschendal werf.

The broad concept for the service building is embedded in the Conservation Management Plan for the Historic Core and is further developed now following detail briefing and assessment of needs. Roughly 40% of the building is currently used for services including kitchen, pantry and scullery, with attendant and ad-hoc external service yards to ventilation and gas bottles etc. An interim, temporary kitchen upgrade phase was undertaken in 2022. This involved “skinning” the inner walls of the service areas to allow for full tiling, new services and flooring etc to meet health and safety demands. This added dry wall skin was done as a short term measure and to avoid damage to the historic building.

The service needs of the deli-café are beyond what can be accommodated in the historic structure. Creating the external, separate service wing will allow various functions to be moved out of the old building, and maximise restaurant seating there. (80 seats inside, and 80 outdoors). More importantly from a heritage perspective, the intrusive service components are removed from the historic space allowing this to be restored and expressed and used as a complete building. Services can also be removed from the courtyard space and south gable and integrated more easily into the new building.

The courtyard used for kitchen services now can be reclaimed as part of the restaurant with outdoor seating.

The extension is located to the rear of the “waenhuis” and is connected to that structure by means of a light weight “gasket”. The gasket has glass skylights to distinguish the new from old, and will provide space for three public WCs as well as storage space and waiter’s stations.

The new extension provides a new service yard and makes extensive use of landscaping to define public / private spaces. The gasket courtyard is landscaped, while a landscape screen wall serves to hide the service block. The roof is a flat, landscaped roof to hide service ducts and the overall structure is sunk into the ground by 700mm below floor level

so as to be below the eaves line of the thatch. The building and landscaping response also allows cars to be located away from the building.

The wing is designed as a secondary, background building and to not impact on views from and within the historic werf.



Figure 26. Boschendal waenhuis (RSA 2023)

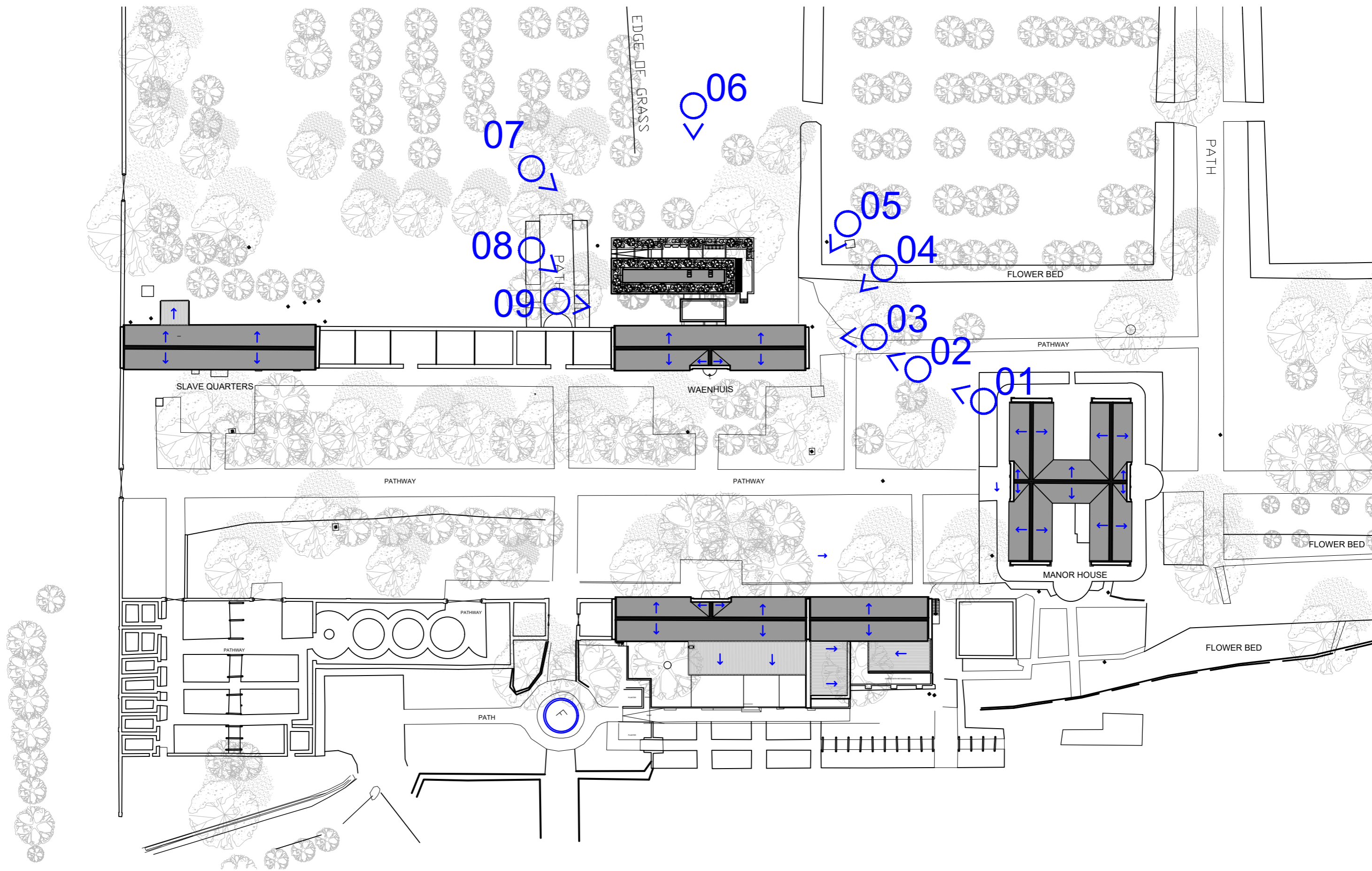


Figure 27. Site Plan

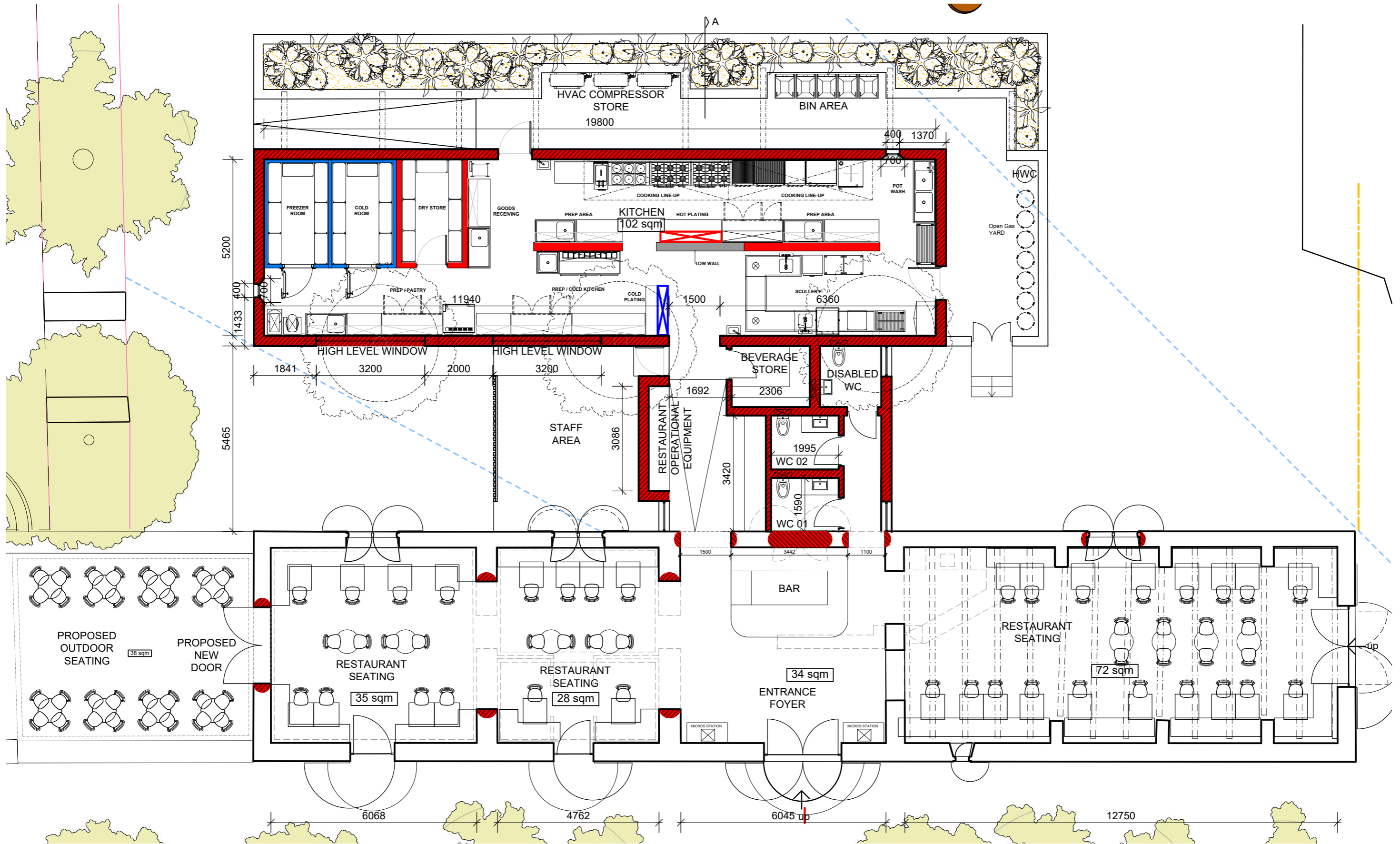


Figure 28. Layout Plan

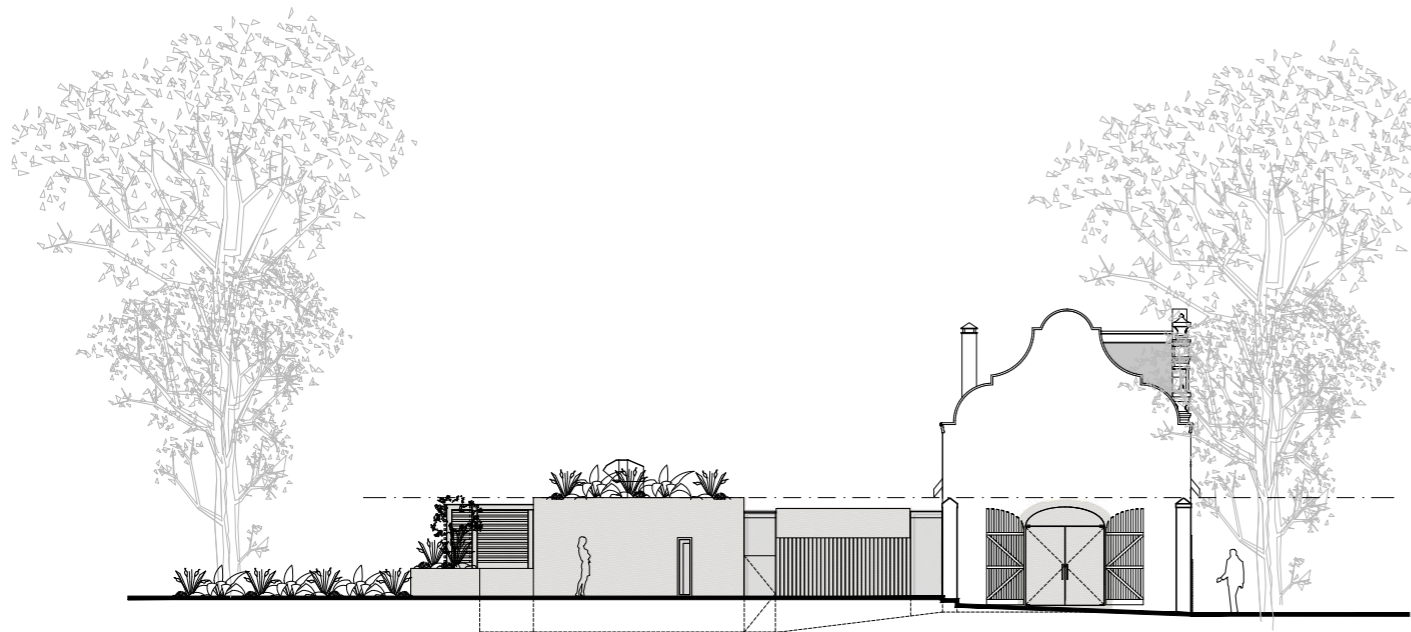


Figure 29. South Elevation

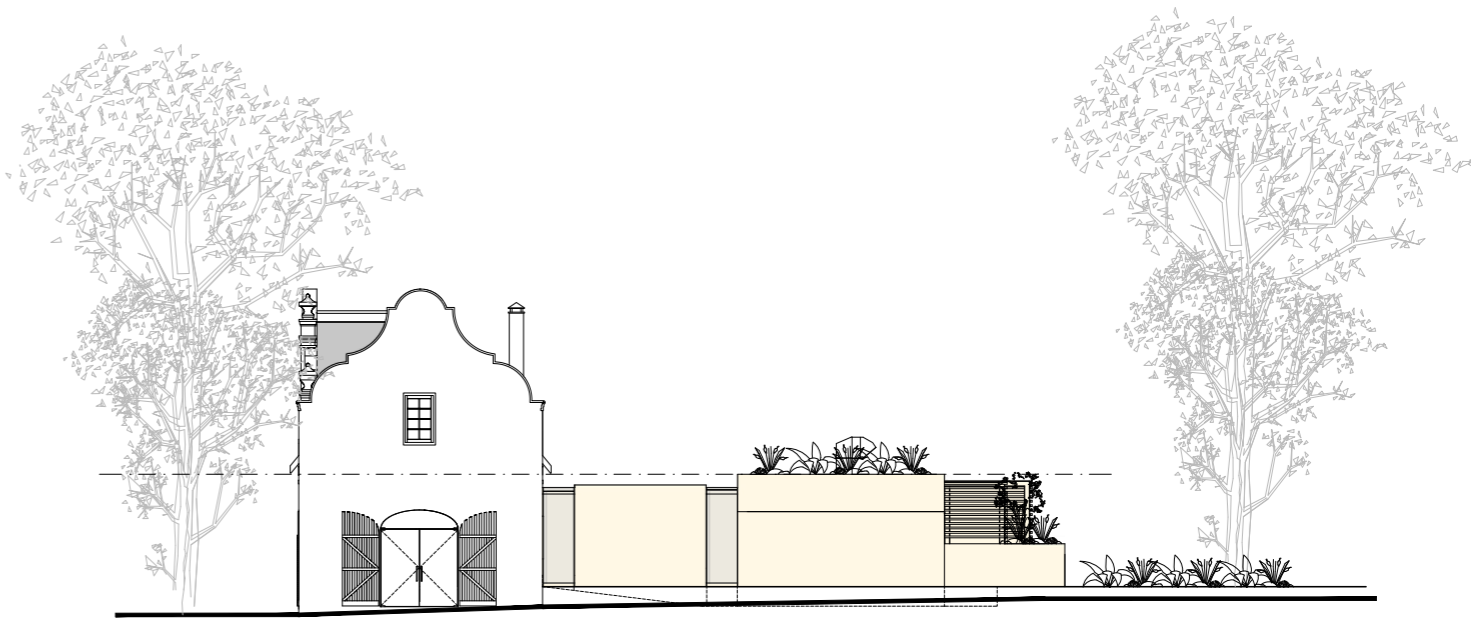


Figure 30. North Elevation

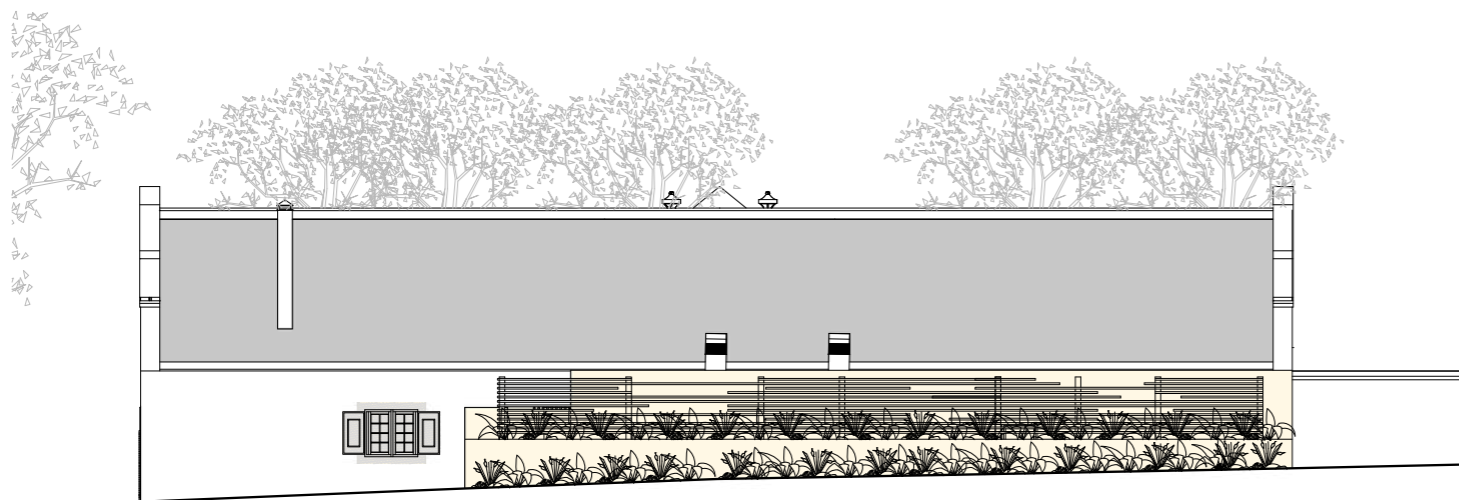


Figure 31. West Elevation

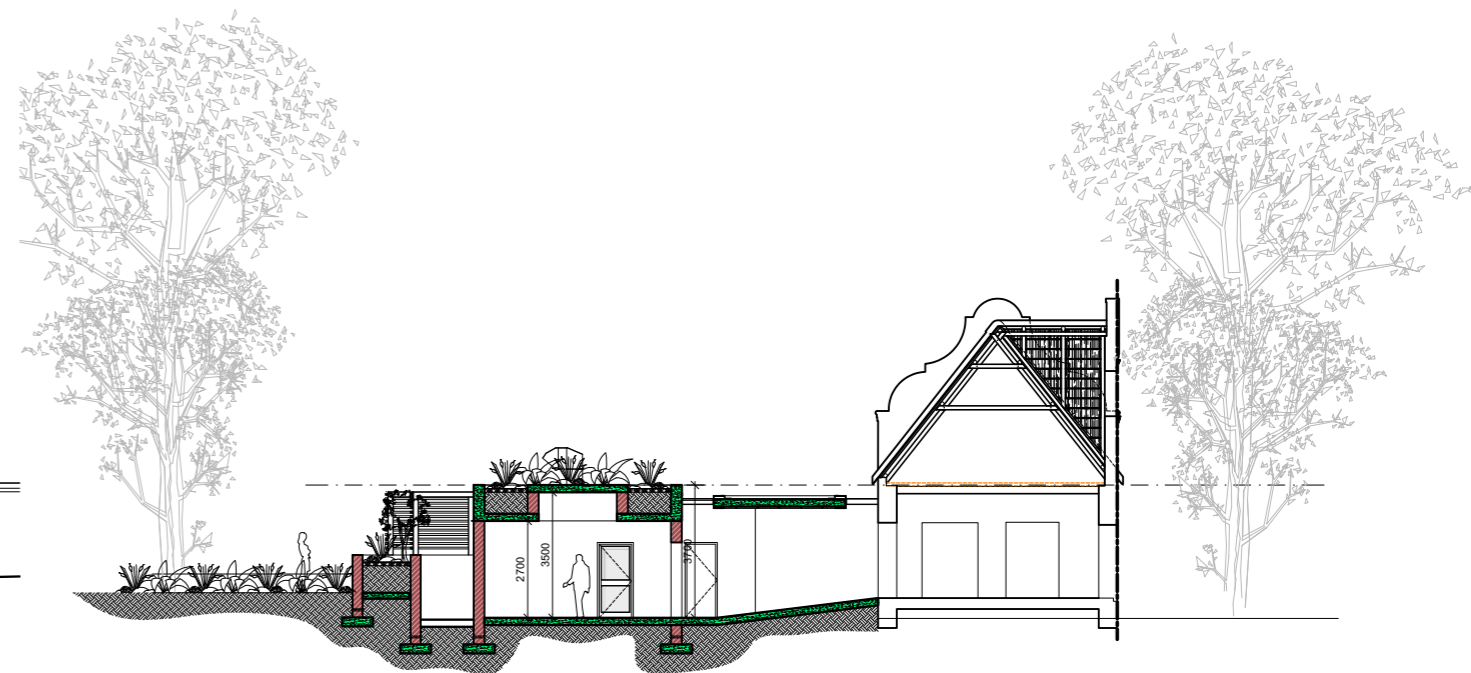
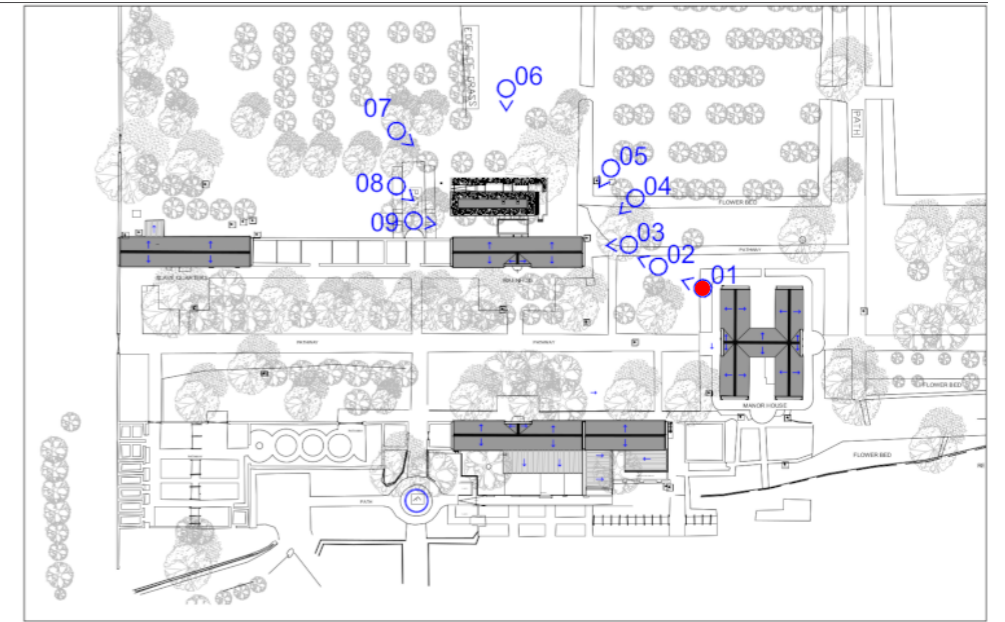


Figure 32. Section A

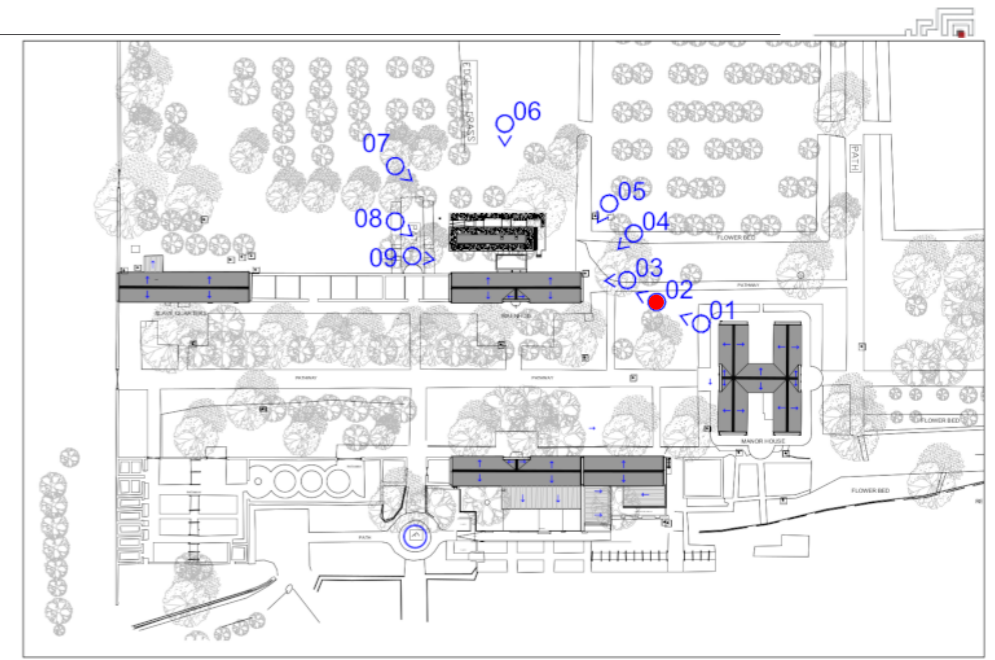


Existing View



Proposed View

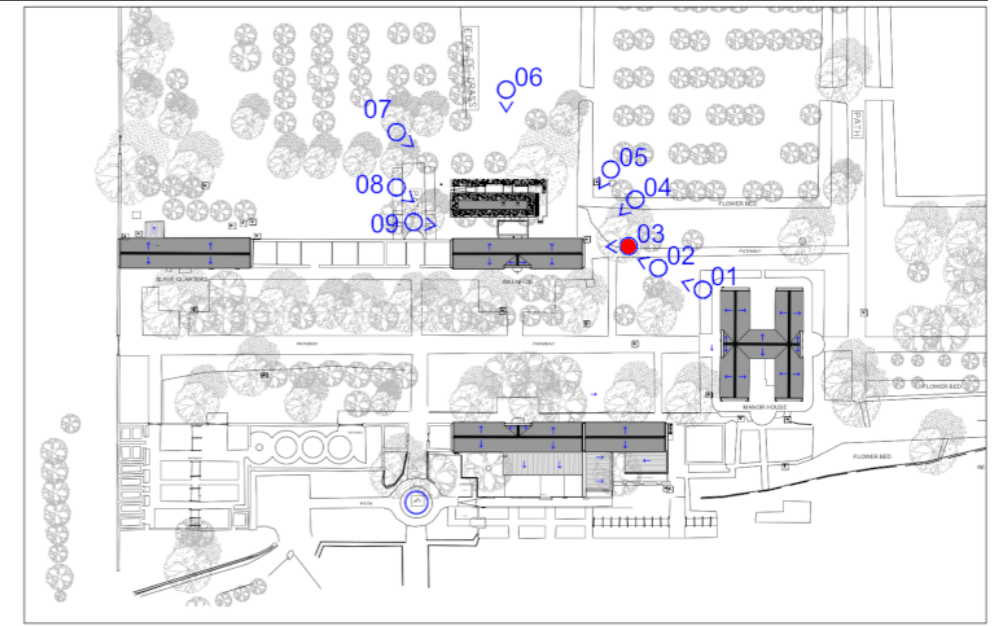




Existing View



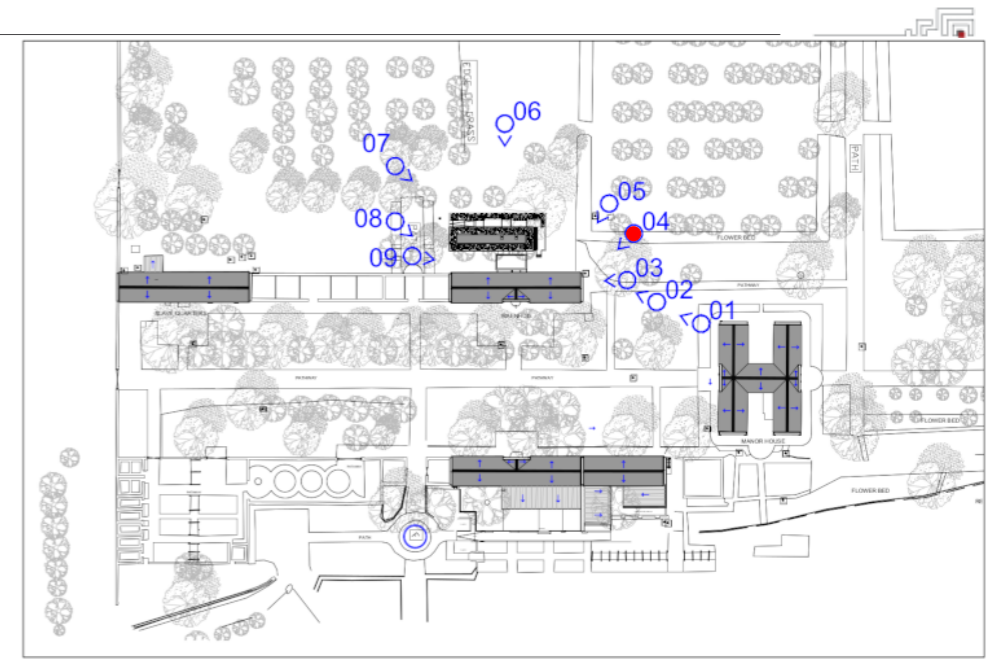
Proposed View



Existing View



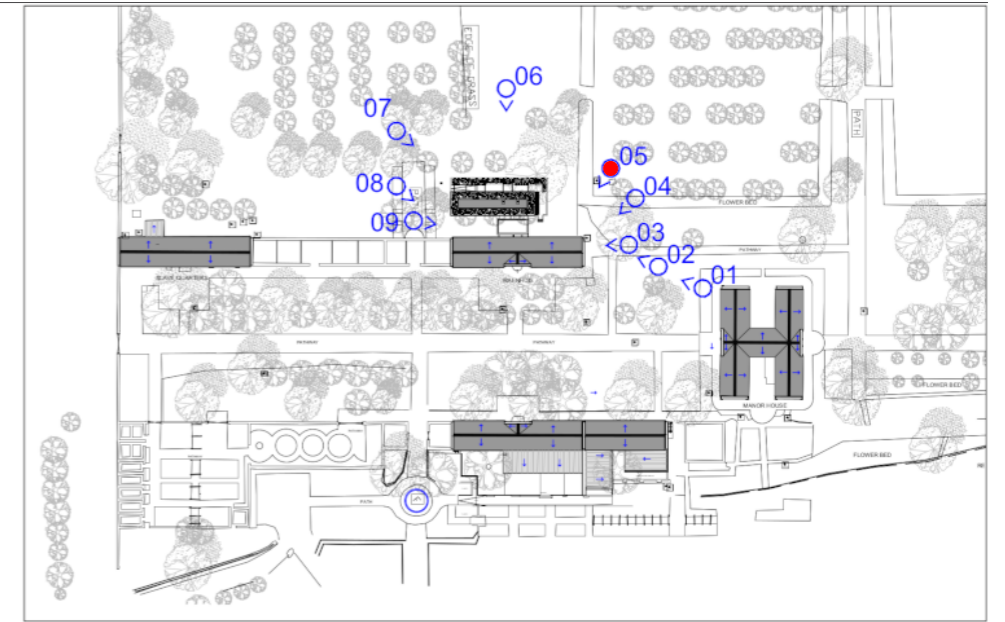
Proposed View



Existing View



Proposed View

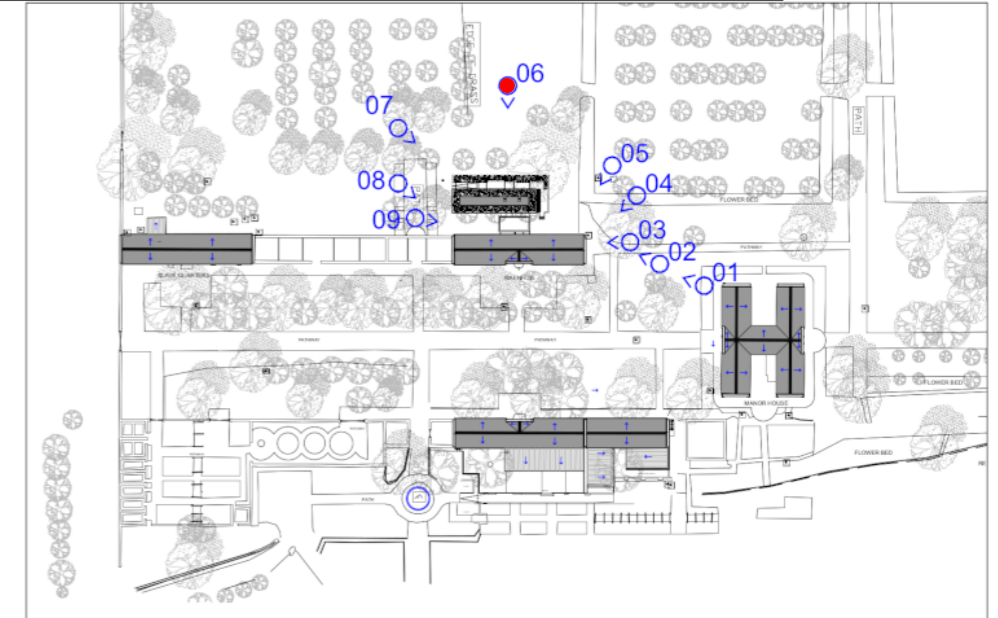


Existing View



Proposed View

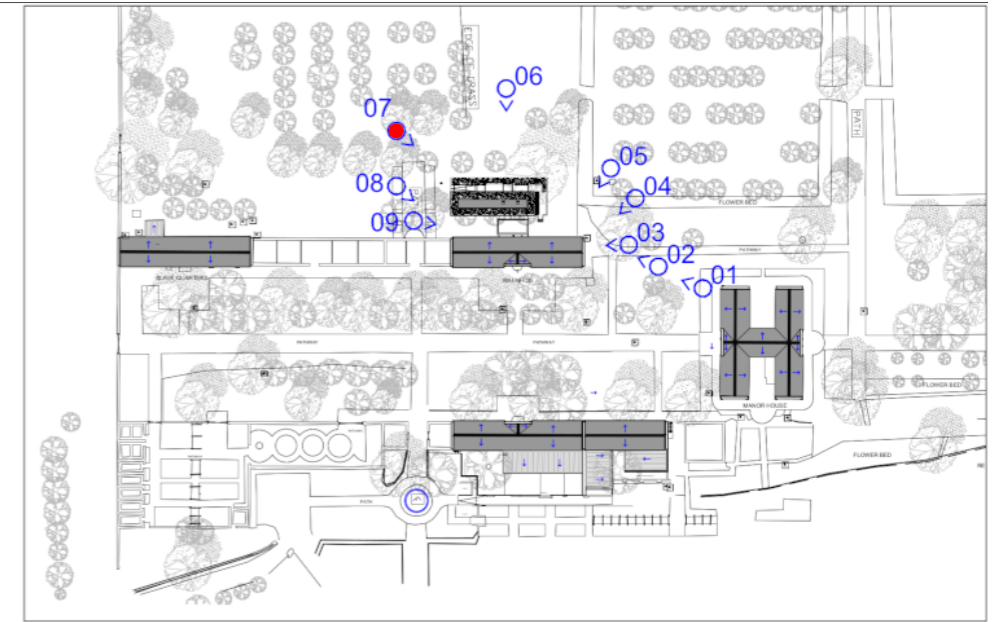
View 06



Existing View



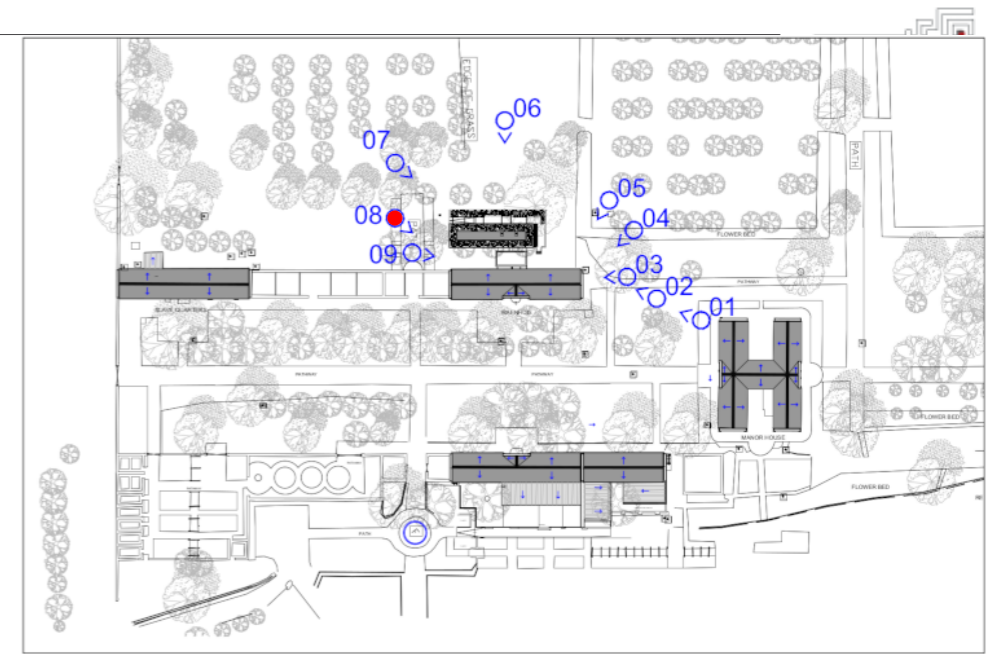
Proposed View



Existing View



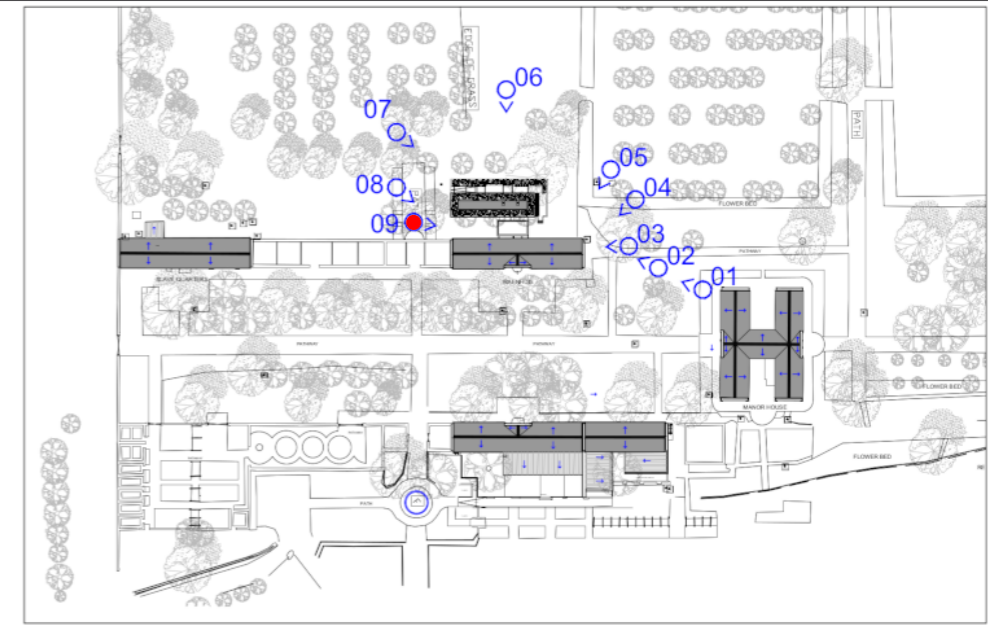
Proposed View



Existing View



Proposed View



Existing View



Proposed View



## 7.0 IMPACT OF PROPOSAL

The following impacts will occur as a result of the construction of the kitchen wing:

### 7.1 Physical addition of the new wing

| HERITAGE INDICATOR  | CONVERGENCE OF PROPOSAL & INDICATORS | DESIGN RESPONSE  |
|---|--------------------------------------|--|
| The new building must not obscure views of the historic building and werf | Positive                             | <ul style="list-style-type: none"> <li>The building has been designed to not be visible from key views from within historic werf.</li> <li>The form and design is conceived as a secondary and recessive element.</li> <li>The building itself is set within the notional 45 degree line from the corner of the Waenhuis building.</li> <li>The service wing has been positioned further away from the Waenhuis to allow views along the length of the old Waenhuis building.</li> <li>Comments from I&amp;AP's through the CMP process have been taken on board with regard to visual impact and the building positioned away from the Homestead end of the Waenhuis</li> </ul> |

### 7.2 Height of building relative to roof.

| HERITAGE INDICATOR   | CONVERGENCE OF PROPOSAL & INDICATORS | DESIGN RESPONSE   |
|--|--------------------------------------|---|
| Height of the building relative to the historic thatch roof must not intrude into the visible roof area of the Waenhuis. | Positive                             | <ul style="list-style-type: none"> <li>The height has been set so as not to obscure the visible thatch roof (in accordance with decisions made during the Cellar extension process).</li> <li>Building has been sunk into the ground by 700mm to further reduce visual impact.</li> <li>This excavation requires archaeological monitoring during construction</li> </ul> |

### 7.3 Services Location

| HERITAGE INDICATOR   | CONVERGENCE OF PROPOSAL & INDICATORS | DESIGN RESPONSE  |
|--|--------------------------------------|--|
| The incorporation of services within the existing building currently creates the need for various required services (extracts, gas bottles, aircon etc) on and around the historic building and which should be removed and mitigated. | Positive                             | <ul style="list-style-type: none"> <li>The flat roof also allows careful placing of service extracts etc with attendant screening measures.</li> <li>The service landscaped lane facilitates positioning of bins and compressor units.</li> <li>Ad hoc deliveries to the kitchen are to be discreetly located away from the public werf entry point for visual and safety reasons</li> <li>The new building allows for designing customised and improved facilities for staff members to significantly improve the current inadequate working conditions.</li> </ul> |

#### 7.4 Alterations to the existing building :

| HERITAGE INDICATOR   | CONVERGENCE OF PROPOSAL & INDICATORS | DESIGN RESPONSE  |
|--|--------------------------------------|--|
| The existing configuration currently utilises approximately 40% of the space for unsightly and invasive ad-hoc service areas and presents an opportunity for recovery of significance. | Positive                             | <ul style="list-style-type: none"> <li>• The removal of services allows for recovery of significance and visual expression of the historic building.</li> <li>• Removal of service layers allows for restoration of the historic fabric, plaster and overall structure.</li> <li>• The central access doors to the kitchen link and WC's positioned discreetly either side of the bar counter.</li> <li>• The existing third window on the long façade can be shifted along to the north and repurposed (position subject to site investigation and later reporting).</li> <li>• Planning of internal allows for careful opening up of cross walls leaving substantial nibs and expression of the internal volume of the space.</li> </ul> |

#### 7.5 Landscaping and Parking

| HERITAGE INDICATOR  | CONVERGENCE OF PROPOSAL & INDICATORS | DESIGN RESPONSE   |
|---|--------------------------------------|---|
| The building will necessitate alterations to the north west parking area and there is an opportunity for a more sympathetic and less car-oriented expression. | Positive                             | <ul style="list-style-type: none"> <li>• Removal of cars and rationalising of parking area seen as a positive from a heritage perspective. NM&amp;A's Land Use Application will need to show how the building impacts on the current parking area. At this stage we think there is still sufficient parking for the werf-related land uses.</li> <li>• Clear definition of secondary visitor access link into werf.</li> <li>• Softening and mitigation of interface by means of landscaping, pergolas, low walls etc to screen service entry and building</li> </ul> |

## 7.6 Comment by Sarah Winter, co-author of the CMP

### COMMENT ON DELI PROPOSALS

The CMP for the Boschendal Historic Core identified limited areas where possible new development could occur within the context of the Boschendal werf. One of the identified areas was to rear of the historical Waenhuis building currently used as the Deli Café.

As a co-author of the CMP, my comments on the Deli extension proposals are as follows:

- The proposal conforms to the CMP principles in terms of being recessive in scale, form, height, architectural approach and landscaping.
- The subsidiary contemporary nature of the extension enables a clear reading of the relationship with old and new and without competing with the ensemble of historical werf buildings.
- The height of the new extension holds the eaves line of the historical building thus ensuring that the thatched roof of the historical building remains legible within an ensemble of historical thatched buildings.
- The new extension is set back from the northern gable end of the historical building thus mitigating impacts on south facing views towards the building.
- The new extension holds the line of the southern gable end of the historical building thus respecting the figure ground relationships of the historical werf.
- The kitchen services currently located in the kraal space are to be relocated to the new extension thus restoring the quality of this space and improving its role as an entry point into the central werf space from the parking area.
- The intrusive service components currently located in the historical building are to be removed thus allowing the historical building to be expressed as a single entity.
- The proposal including landscaping makes provision for the current parking area to be set back from the historical building thus providing it with more breathing space rather than parking directly abutting the historical building

Sarah Winter (1 March 2023)



---

## 8.0 CONCLUSION

The adaptation and extension of the waenhuis building at the historic Boschendal werf has been carefully considered and designed and will allow a balance between sustainable development and activity and ongoing integrated conservation efforts at Boschendal.

The 3D views demonstrate that the design will not affect key views from and of the werf and allows significant positive gains to the building and to operations, as well as providing a better interface with the parking area.

## 9.0 RECOMMENDATIONS

1. Heritage Western Cape should endorse the conclusions and recommendations contained in this heritage report by RSA dated 1 March 2023 and issue a Permit in terms of S27 of the NHRA.
2. HWC should endorse and approve the drawings contained in the RSA package dated 01.03.2023, including the following drawings:
  - S-1001 Sketch Plans - Layout Plan
  - S-1002 Sketch Plans - South Elevation
  - S-1002 Sketch Plans - North Elevation
  - S-1003 Sketch Plans - West Elevation
  - S-1004 Sketch Plans - Section A
3. The local authority drawings are to be submitted to HWC for stamping in accordance with the drawings issued in this report prior to submission to the local authority.
4. The heritage consultants and heritage architect are to remain engaged with and as part of the team through the process to ensure adherence to the indicators and integrated detail design development.
5. Once construction begins on site in 2023, monthly progress reports are to be submitted to HWC for information.
6. A Close-Out Report is to be submitted to HWC within 60 days of Practical Completion.
7. The archaeologist is to be on site as and when required during the construction.
8. The use of lime mortars and renders on site is to be included in the detail documentation and site specifications and monitored by the heritage consultant/architect.

## LIST OF FIGURES

- Figure 1. Locality Map (RSA, 2020).  
Figure 2. The buildings comprising the Boschendal werf (RSA, 2020).  
Figure 5. Front facade of building, view to north west (Boschendal, 2022)  
Figure 6. Deli Café interior (RSA, 2022)  
Figure 3. Exterior of building in context, view to north west (RSA, 2020)  
Figure 4. Exterior of building in context, view to south west (RSA, 2020)  
Figure 7. Kitchen and Scullery (RSA, 2022)  
Figure 8. Kitchen and Scullery (RSA, 2022)  
Figure 9. Kitchen and Scullery (RSA, 2022)  
Figure 10. Kitchen and Scullery (RSA, 2022)  
Figure 11. Kitchen and Scullery (RSA, 2022)  
Figure 12. Kitchen and Scullery (RSA, 2022)  
Figure 13. Kitchen and Scullery (RSA, 2022)  
Figure 14. Kitchen and Scullery (RSA, 2022)  
Figure 15. Rear facade of building (Boschendal, 2022)  
Figure 16. Rear facade of building, view to north east (Boschendal, 2022)  
Figure 17. North gable end (l) and south (r) (Boschendal, 2022)  
Figure 18. Kraal walls beyond southern end of kitchen area (RSA, 2022)  
Figure 19. Historic and contemporary views of Boschendal werf from the R310 (Fagan Collectio; Boschendal Archive)  
Figure 20. Stellenbosch Municipal Heritage Survey Map showing landscape gradings and heritage resources identified in and around Boschendal. indicated in red (Todeschini and Jansen, 2018).  
Figure 21. Heritage Grading Sheet for Boschendal (Todeschini and Jansen, 2018).  
Figure 22. Boschendal Werf: opportunities and constraints (RSA and Winter, 2023: 78)  
Figure 23. Boschendal Core Werf opportunities and constraints map (RSA and Winter, 2023: 79)  
Figure 24. Possible scenarios explored in the CMP for the utilisation of, and extension to, the rear of the historical werf outbuildings, keeping the primary werf space open (RSA and Sarah Winter, 2023: 86; 89)  
Figure 25. Boschendal waenhuis (RSA 2023)  
Figure 26. Boschendal waenhuis (RSA 2023)  
Figure 27. Site Plan  
Figure 28. Layout Plan  
Figure 29. South Elevation  
Figure 31. West Elevation  
Figure 30. North Elevation  
Figure 32. Section A

## REFERENCES

- Fagan, G. 1979. Boschendal. *Restorica* 6:45-49.  
Fransen, H. 2004. *Old Buildings of the Cape*. Johannesburg: Jonathan Ball.  
RSA and Sarah Winter. 2023. Boschendal Historic Core Precinct Conservation Management Plan, January. Prepared for Boschendal (Pty) Ltd. Cape Town: RSA.  
Todeschini, F., Jansen, L. 2018. Draft Revised Heritage Inventory of the Tangible Heritage Resources in the Stellenbosch Municipality: Phase 3 Report, 8 May. [online] Available at: <http://stellenboschheritage.co.za/smhs/map/site-pdfs/346.pdf> [accessed 1 June 2022].

---

# ANNEXURES

**Annexure A: Existing Minor Works Permit (2021)**

**Our Ref:** HM/CAPE WINELANDS/STELLENBOSCH/FARM 10/1674  
**Case No.:** 20112618SB1127E  
**Enquiries:** Stephanie-Anne Barnardt  
**E-mail:** stephanie.barnardt@westerncape.gov.za  
**Tel:** 021 483 5959  
**Date:** 22 January 2021



Stephen Groenewald  
 Boschendal Farm, Pniel Main Road, Pniel, 7680  
 mike@archrsa.com

**PERMIT**  
**(Minor work)**  
**CASE NUMBER 20112618SB1127E**  
**Issued in terms of Section 27(18) of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)**  
*This permit is valid for three years from the date of issue*

**This permit is issued for:**

**Proposed Action:** Restoration to existing structure (repairs to Rhone stable building and adjacent wall)  
**Site:** Farm 10/1674, Boschendal Farm, R310, Dwars River Valley, Stellenbosch  
**Graded:** II

**Permit issued in accordance with report:**

**Title:** Boschendal Werf And Outbuilding Minor Works Application  
**Dated:** 27 November 2020  
**Report prepared by:** Report prepared by Rennie Scurr Adendorff with Sarah Winter  
**HWC Date Stamped:** 22 January 2021

**Conditions applicable to this Permit:**

1. Work to be done strictly in accordance with the HWC stamped plans.
2. The work be monitored by a suitably qualified architect with heritage experience; and
3. A close-out report be submitted within 30 days of practical completion.

**NOTE:**

- This decision is subject to an **appeal period of 14 working days**.
- The applicant is required to inform any party who has expressed a bona fide interest in any heritage-related aspect of this record of decision. The appeal period shall be taken from the date above. It should be noted that for an appeal to be deemed valid it must refer to the decision, it must be submitted by the due date and it must set out the grounds of the appeal. Appeals must be addressed to the official named above and it is the responsibility of the appellant to confirm that the appeal has been received within the appeal period.
- **Work may NOT be initiated during this 14 day appeal period.**
- If any archaeological material or evidence of burials is discovered during earth-moving activities all works must be stopped and Heritage Western Cape must be notified immediately.
- This approval does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.
- **An HWC STAMPED PLAN must be present on the site at all times and must be produced on demand by any heritage inspector, building control official, or any person duly authorized to do so.**
- **A copy of this permit must be displayed in a prominent place on the site until the permitted work is completed.**

Should you have any further queries, please contact the official above and quote the case number.

Colette M Scheermeyer  
 Acting Chief Executive Officer



[www.westerncape.gov.za/cas](http://www.westerncape.gov.za/cas)

**Street Address:** Protea Assurance Building, Green Market Square, Cape Town, 8000 • **Postal Address:** P.O. Box 1665, Cape Town, 8000  
 • **Tel:** +27 (0)21 483 5959 • **E-mail:** ceoheritage@westerncape.gov.za

**Straatadres:** Protea Assuransie-gebou, Groentemarkplein, Kaapstad, 8000 • **Posadres:** Postbus 1665, Kaapstad, 8000  
 • **Tel:** +27 (0)21 483 5959 • **E-pos:** ceoheritage@westerncape.gov.za

**Idilesi yendawo:** kumgangatho 3, kwisakhiwo iprotea Assurance, Greenmarket Square, eKapa, 8000 • **Idilesi yeposi:** Inombolo yebhokisi yeposi 1665, eKapa, 8000 • **Inombolo zomnxeba:** +27 (0)21 483 5959 • **Idilesi ye-imeyile:** ceoheritage@westerncape.gov.za

**Annexure B: Existing Minor Works Permit (2022)**

**Our Ref:** HM/CAPE WINELANDS/STELLENBOSCH/FARM 10/1674  
**Case No.:** 20112618SB1127E  
**Enquiries:** Stephanie Barnardt  
**E-mail:** Stephanie.Barnardt@westerncape.gov.za  
**Tel:** 021 483 5959



Stephen Groenewald  
 Boschendal Farm  
 mike@archrsa.com

**PERMIT**  
**CASE NUMBER: 20112618SB1127E**  
**Issued in terms of Section 27 of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)**  
*This permit is valid for three years from the date of issue*

**Proposed Action:** Restoration to existing structure (Deli Building)  
**Site:** Farm 10/1674, Boschendal Farm, R310, Dwars River Valley, Stellenbosch  
**Graded:** II

**Permit issued in accordance with Report:**

**Dated:** 1 June 2022  
**Report prepared by:** Rennie Scurr Adendorff  
**Conditions applicable to this Permit:**

1. Work to be done strictly in accordance with the HWC stamped plans.

**NOTE:**

- This decision is subject to an appeal period of 14 working days. Kindly note that the appeal period is calculated from the date indicated on the HWC date stamp, which is the date the appeal is sent, and not the date of signature
- Appeals are to be submitted to HWC.Appeals@westerncape.gov.za The applicant is required to inform any party who has expressed a bona fide interest in any heritage-related aspect of this record of decision. The appeal period shall be taken from the date above. It should be noted that for an appeal to be deemed valid it must refer to the decision, it must be submitted by the due date, and it must set out the grounds of the appeal. Appeals must be addressed to the official named above and it is the responsibility of the appellant to confirm that the appeal has been received within the appeal period.
- If any archaeological material or evidence of burials is discovered during earth-moving activities all works must be stopped and Heritage Western Cape must be notified immediately.
- This approval does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.
- **An HWC STAMPED PLAN must be always present on the site and must be produced on demand by any heritage inspector, building control official, or any person duly authorized to do so.**
- **A copy of this permit must be displayed in a prominent place on the site until the permitted work is completed.**

Should you have any further queries, please contact the official above and quote the case number.

Nuraan Vallie  
 Acting Deputy Director



[www.westerncape.gov.za/cas](http://www.westerncape.gov.za/cas)

**Street Address:** Protea Assurance Building, Green Market Square, Cape Town, 8000 • **Postal Address:** P.O. Box 1665, Cape Town, 8000  
 • **Tel:** +27 (0)21 483 5959 • **E-mail:** ceoheritage@westerncape.gov.za

**Straatadres:** Protea Assuransie-gebou, Groentemarkplein, Kaapstad, 8000 • **Posadres:** Postbus 1665, Kaapstad, 8000  
 • **Tel:** +27 (0)21 483 5959 • **E-pos:** ceoheritage@westerncape.gov.za

**Idilesi yendawo:** kumgangatho 3, kwisakhiwo iprotea Assurance, Greenmarket Square, eKapa, 8000 • **Idilesi yeposi:** Inombolo yebhokisi yeposi 1665, eKapa, 8000 • **Inombolo zomnxeba:** +27 (0)21 483 5959 • **Idilesi ye-imeyile:** ceoheritage@westerncape.gov.za

No. 516

3 June 2005

**SOUTH AFRICAN HERITAGE RESOURCES AGENCY**

**PROVISIONAL PROTECTION OF THE CAPE WINELANDS CULTURAL LANDSCAPE AS A HERITAGE RESOURCE**

By virtue of the powers vested in the South African Heritage Resources Agency in terms of section 29 (1) of the National Heritage Resources Act no 25 of 1999 ( the Act ), read with section 29 (1) (a) (iii) of the Act , the properties described in the schedule hereunder are hereby provisionally protected for a period of two years .

**SCHEDULE**

**1. Description**

A PORTION OF THE CAPE WINELANDS CULTURAL LANDSCAPE, COMPRISING IDAS VALLEY, STELLENBOSCH; THE DWARSRIVER VALLEY, STELLENBOSCH; SIMONSBERG NATURE RESERVE, STELLENBOSCH; AND A PORTION OF GROOT DRAKENSTEIN-SIMONDUM, DRAKENSTEIN VALLEY IN THE BOLAND REGION.

2. The following properties are hereby included in the protected area:

Description of properties + extent of sites

**IDAS VALLEY**

|    | FARM/ ERF NO. | FARM NAME                         | TITLE DEED   | EXTENT    |
|----|---------------|-----------------------------------|--------------|-----------|
| 1. | 50            | Klippias Rivieren                 | T4554/1967   | 51.9426H  |
| 2. | 50/1          | Klippias Rivieren                 | T4554/1967   | 51.9426H  |
| 3. | 53            | Rustenburg                        | T4554/1967   | 205m71r   |
| 4. | 55            | Rustenburg                        | T4553/1967   | 18.2659H  |
| 5. | 55/4          | Rustenburg                        | T4554/1967   | 6.2605H   |
| 6. | 56            | Schoongezicht                     | T4554/1967   | 216.7362H |
| 7. | 56/1          | Schoongezicht                     | T4554/1967   | 58.253311 |
| 8. | 105           | Rustenburg                        | T4554/1967   | 252.4870H |
| 9. | 106           | Heather Hill                      | T4554/1967   | 34.7620H  |
| 10 | 106/1         | Heather Hill                      | T35962/1998  | 1.1140H   |
| 11 | 106/2         | Heather Hill                      | T24288/1973  | 8949sqm   |
| 12 | 107           | Consolidated Farm High Rustenberg | T27503/1966  | 40.8827H  |
| 13 | 107/1         | Consolidated Farm High Rustenberg | T26458/1970  | 1.5243H   |
| 14 | 108           | Rustenburg                        | T4554/1967   | 2.6933H   |
| 15 | 109           | Rustenburg                        | T4554/1967   | 6.3769H   |
| 16 | 111           | Farm 111                          | T91909/1999  | 1.2215H   |
| 17 | 111/1         | Farm 111                          | T42187/2003  | 5253sqm   |
| 18 | 111/5         | Farm 111                          | T105723/2004 | 2.5H      |
| 19 | 111/7         | Farm 111                          | T28822/1994  | 1.6738H   |
| 20 | 111/8         | Farm 111                          | T3205/1965   | 6998sqm   |
| 21 | 111/9         | Farm 111                          | T80412/1996  | 1.0802H   |
| 22 | 111/10        | Rustenburg Road                   | T64912/1991  | 1706.SQM  |
| 23 | 112           | Farm 112                          | T40310/1990  | 4.9308H   |

22 No. 27614

GOVERNMENT GAZETTE, 3 JUNE 2005

|    |         |                        |             |            |
|----|---------|------------------------|-------------|------------|
| 24 | 123     | Idas Valley & Nazareth | T4554/1967  | 85m 49241f |
| 25 | 123/9   | Idas Valley & Nazareth | T46964/2004 | 2613sqm    |
| 26 | 157     | Farm 157               | T4554/1967  | 45m253r    |
| 27 | 159/1   | Glenelly               | T4554/1967  | 1m 282r30f |
| 28 | 164/1   | Idas Valley Proper     | T88170/2000 | 3.5179H    |
| 29 | 164/2   | Idas Valley Proper     | T4554/1967  | 9m254sqrd  |
| 30 | 164/3   | Idas Valley Proper     | T4554/1967  | 9m 192sqrd |
| 31 | 164/4   | Idas Valley Proper     | T23171/1989 | 1.2564H    |
| 32 | 164/5   | Idas Valley Proper     | T34349/1971 | 1927sqm    |
| 33 | 165/1   | Idas Valley Proper     | T8261/1950  | 170.4148m  |
| 34 | 167     | Lindani                | T8261/1950  | 16.6696m   |
| 35 | 1067    | Farm 1067              | T39253/1975 | 43.1598H   |
| 36 | 1075/3  | Undosa                 | T28886/1975 | 6.10H      |
| 37 | 1075/6  | Ida's Valley           | T28890/1975 | 6.8947H    |
| 38 | 1092    | Farm 1092              | T28891/1975 | 14.79H     |
| 39 | 1274    | Heather Cottage        | T35138/1988 | 1.3224H    |
| 40 | 1408/1  | Rust en Vrede Trust    | T77197/2001 |            |
| 41 | 1408/9  | Kelsey Farm (Pty) Ltd  | T65565/2004 | 17.7857H   |
| 42 | 1408/10 | Kelsey Farm (Pty) Ltd  | T65566/2004 | 12.2331H   |
| 43 | 167,4   | Lindani                | T15756/1968 | 4,0.001M   |
| 44 | 167,6   | Lindani                | T8642/1968  | 3,4217H    |

**DWARS RIVER VALLEY**

Including the certain portions (as identified below) of the historical settlements of Pniel, Lanquedoc Johannesdal and Kylemore

| 1) | FARM ERF NO | FARM NAME                | TITLE DEED NO | EXTENT     |
|----|-------------|--------------------------|---------------|------------|
| 1  | 153         | Old Bethlehem            | T17499/2004   | 78.2330h   |
| 2  | 153,7       | Old Bethlehem            | T17499/2004   | 11.7002h   |
| 3  | 153,1       | Old Bethlehem            | T17499/2004   | 13.1701h   |
| 4  | 153,4       | Old Bethlehem            | T17499/2004   | 27.6944h   |
| 5  | 153,5       | Old Bethlehem            | T17499/2004   | 28.5183h   |
| 6  | 153,6       | Old Bethlehem            | T17499/2004   | 91.5997h   |
| 7  | 153,2       | Old Bethlehem            | T17499/2004   | 20.2962h   |
| 8  | 153,9       | Old Bethlehem            | T17499/2004   | 17.8637H   |
| 9  | 153,10      | Old Bethlehem            | T17499/2004   | 21.2846H   |
| 10 | 153,11      | Old Bethlehem            | T17499/2004   | 19.1588H   |
| 11 | 153,12      | Old Bethlehem            | T17499/2004   | 69.6436H   |
| 12 | 153,13      | Old Bethlehem            | T17499/2004   | 29.8347H   |
| 13 | 1674        | Boschendam               | T17496/2004   | 2.5903H    |
| 14 | 1173*       | Boschendam               | T81716/1993   | 25.6688H   |
| 15 | 1173/6      | Rhonen+Lanquedoc         | T41201/1989   | 4640.00sm  |
| 16 | 1171        | Farm 1171                | T86619/2002   | 10.2925H   |
| 17 | 1172        | Farm 1647                | T2464/2002    | 568.7646   |
| 18 | 1170/7      | Normandy                 | T93366/1995   | 134.5194ha |
| 19 | 1170/4      | Now erf 9262, Kuilsriver | T2464/2002    | 568.7646ha |
| 20 | 1170/8      | Normandy                 | T100180/2000  |            |
| 21 | 1170        | Normandy                 | T56463/2004   | 27.79H     |
| 22 | 1202/1      | Farm 1202                | T50583/1995   | 2.89H      |
| 23 | 1219        | Kyk in de pot            | T3571/1981    | 9100.sqm   |
| 24 | 1218        | Kyk in de pot            | T3571/1981    | 6.6H       |
| 25 | 1218/1      | Kyk in de pot            | T5540/1998    | 1429.sqm   |



|    |        |                |             |          |
|----|--------|----------------|-------------|----------|
| 26 | 140    | Kylemore       | T17238/1962 | 8.5161H  |
| 27 | 140/2  | Kylemore       | T67628/2004 | 2019.sqm |
| 28 | 151    | Kylemore       | T56137/1983 | 1.75H    |
| 29 | 150    | France         | T67628/2004 | 9.1286H  |
| 30 | 149    | Murray         | T67628/2004 | 3.9291H  |
| 31 | 146/1  | Parsley        | T19119/1978 | 1.58.8H  |
| 32 | 147/8  | Roode Hek      | T12893/1978 | 3541.sqm |
| 33 | 147/5  | Roode Hek      | T78442/1993 | 7435.sqm |
| 34 | 1345   | Rust en Vrede  | T28468/2001 | 1.3778H  |
| 35 | 124/62 | Rust en Vrede  | T26531/1974 | 1.7676H  |
| 36 | 124/37 | Rust en Vrede  | T6574/1965  | 3128.sqm |
| 37 | 124/64 | Rust en Vrede  | T36469/1979 | 1.71.92H |
| 38 | 1206   | Farm 1206      | T72735/1992 | 1.73H    |
| 39 | 1206/3 | Farm 1206      | T15407/2002 | 2.41H    |
| 40 | 1207/1 | Farm 1207      | T2237/1998  | 1.11.35H |
| 41 | 1207   | Farm 1207      | T301/1999   | R1.99H   |
| 42 | 1208   | Farm 1208      | T44656/1992 | 3.27H    |
| 43 | 1209   | Johannesdal    | T15122/1979 | 5.74H    |
| 44 | 1209/1 | Johannesdal    | T30834/1976 | 1.92H    |
| 45 | 1204   | Farm 1204      | T12487/1960 | 5F69sqm  |
| 46 | 1210   | Farm 1210      | T3808.1996  | 3.42H    |
| 47 | 1211   | Farm 1211      | T41518/1975 | R1.29H   |
| 48 | 1211/1 | Farm 1211      | T650/1990   | 1.54H    |
| 49 | 1331   | Zeven Rivieren | T27699/1994 | 213.15H  |
| 50 | 1202   | Farm 1202      | T12487/1969 | 54.83H   |
| 51 | 1173   | Boschendal     | T17496/2004 | 2.5H     |
| 52 | 1281/1 | Farm 1281      | T64312/2004 | 85.066H  |
| 53 | 1281   | Farm 1281      | T30826/1998 | 84.5H    |
| 54 | 1674/1 | Boschendal     | T17501/2004 | 200H     |
| 55 | 1201/5 | Farm 1201      | T26206/2001 | 5.2H     |
| 56 | 1201/8 | Farm 1201      | T67304/1995 | 7.56H    |
| 57 | 1193/4 | Boschendal     | T17496/2004 | 2.5H     |
| 58 | 1193/5 | Boschendal     | T17496/2004 | 2.5H     |
| 59 | 1194/8 | De Goede Hoop  | T4964/1895  | 4262sqm  |
| 60 | 961/1  | Farm 961       | T80436/1999 | 2.456H   |
| 61 | 969    | Rachelsfontein | T7263/1904  | 84M      |
| 62 | 966/5  | Wolwekloof     | T2158/1965  | 145.8H   |
| 63 | 1647   | Boschendal     | T17496      | 2.5903H  |
| 64 | 1647/2 | Farm 1647      | T17500/2004 | 69.2H    |
| 65 | 1647/1 | Farm 1647      | T17499/2004 | 49.537H  |
| 66 | 1647/3 | Farm 1647      | T17495/2004 | 8.7H     |
| 67 | 1674/8 | Boschendal     | T17501/2004 | 50.H     |
| 68 | 1674/9 | Boschendal     | T17501/2004 | 80.1969H |
| 69 | 1674/6 | Boschendal     | T17499/2004 | 42H      |
| 70 | 974    | Farm 974       | T61045/1991 | 9.9234H  |
| 71 | 1674   | Boschendal     | T17496/2004 | 2.5H     |
| 72 | 1674/9 | Boschendal     |             | 80.1969H |
| 73 | 975    | Farm 975       | T61045/1991 |          |
| 74 | 976    | Farm 976       | T61045/1991 | 1.1594h  |
| 75 | 977    | Rachelsfontein | T17289/1987 | 6997.sqm |
| 76 | 1674/5 | Boschendal     | T1750/2004  | 123.2H   |
| 77 | 1674/2 | Boschendal     | T1750/2004  | 166.H    |
| 78 | 1674/4 | Boschendal     | T17499/2004 | 165.2H   |
| 79 | 1674/7 | Boschendal     | T17499/2004 | 106.H    |

|     |         |                    |             |          |
|-----|---------|--------------------|-------------|----------|
| 80  | 1674/10 | Boschendal         | T17501/2004 | 106H     |
| 81  | 1674/11 | Boschendal         | T17499/2004 | 76.H     |
| 82  | 1674/1  | Boschendal         | T17501/2004 | 200.042H |
| 83  | 1674/6  | Boschendal         | T17499/2004 | 42.4H    |
| 84  | 1674/8  | Boschendal         | T17501/2004 | 50.2H    |
| 85  | 116/1   | Farm 116           | T82569/2002 | 10.9H    |
| 86  | 1674/3  | Boschendal         | T17499/2004 | 115.912H |
| 87  | 1674/12 | Boschendal         | T17501/2004 | 188.3H   |
| 88  | 1674/14 | Boschendal         | T17502/2004 | 9.9H     |
| 89  | 1674/13 | Boschendal         |             | 341.94H  |
| 90  | 1173/2  | Rhonen & Lanquedoc | T9361/1906  | 143sqrd  |
| 91  | 1007/2  | Weltevreden        | T9364/1906  | 594Sgrd  |
| 92  | 1169    | Farm 1169          | T21721/1991 | 79.3368H |
| 93  | 1165    | Farm 1165          | T28080/1984 | 21.58    |
| 94  | 1162/9  | Farm 1162          | T41009/1987 | 27H      |
| 95  | 1162/10 | Farm 1162          | T4315/1988  | 16.39H   |
| 96  | 1162/8  | Farm 1162          | T19292/1999 | 4.3298H  |
| 97  | 116     | Farm 116           | T74091/2000 | 35.H     |
| 98  | 1509    | Farm 1509          | T86155/1993 | 54.H     |
| 99  | 1510    | Farm 1510          | T86154/1993 | 92.42H   |
| 100 | 978/3   | Tonis Fontyn       | T32944/1991 | 1.17H    |
| 101 | 978/5   | Tonis Fontein      | T48094/1994 | 3.42H    |
| 102 | 982/2   | Werda              | T89555/1997 | 4.28H    |

SIMONSBERG FOREST RESERVE

|    | FARM/ERF NO | FARM NAME  | TITLE DEED NO | EXTENT  |
|----|-------------|------------|---------------|---------|
| 1. | 967         | Farm 967   | T15758/1903   | 200sqrd |
| 2. | 46          | Wegda      | T55462        | 106.56H |
| 3. | 1201        | Boschendal | T17496/2004   | 2.5903H |
| 4. | 1217        | Farm 1217  | T71275/1997   | 25H     |
| 5. | 1217/1      | Farm 1217  | T22352/1999   | 17.57H  |
| 6. | 1217/2      | Farm 1217  | T77685/1991   | 3..91H  |

GROOT DRAKENSTEIN-SIMONDIUM

|   | FARM/ERF NO | FARM NAME        | TITLE DEED NO   | EXTENT  |
|---|-------------|------------------|-----------------|---------|
| 1 | 968         | Le Plaisir Merle | T2158/1965/1904 | 593M    |
| 2 | 1264        | Antonisfontein   | T36385/1988     | 37.7H   |
| 3 | 1264/1      | Antonisfontein   | T18276/1980     | 12.1/H  |
| 4 | 945         | Farm 945         | T8366/1977      | 5.6272H |
| 5 | 1477        | Farm 1477        | T104005/2002    | 18.9H   |
| 6 | 1221        | Watervliet       | T96982/1997     | 41.09H  |
| 7 | 941         | Nieuwe Hoop      | T29425/2000     | 21.64H  |
| 8 | 1223        | Nieuwe Hoop      | T29425/2000     | 26.207H |
| 9 | 1223/1      | Nieuwe Hoop      | T65512/2000     | 20.414H |

## DEPARTMENT OF NATIONAL EDUCATION

No. 2044

5 November 1976

### DECLARATION OF A NATIONAL MONUMENT

By virtue of the powers vested in me by section 10 (1) of the National Monuments Act, 1969 (Act 28 of 1969), I, Pieter Gerhardus Jacobus Koornhof, Minister of National Education, hereby declare the historic Boschendal homestead at Groot-Drakenstein, bounded by the ring-wall on the southern, western and northern sides and by the historic water furrow on the eastern side, including the manor-house and ring-wall, as well as all the other outbuildings and structures thereon, to be a national monument.

#### *Description*

The historic Boschendal homestead at Groot-Drakenstein, bounded by the ring-wall on the southern, western and northern sides and by the historic water furrow on the eastern side, including the manor-house and ring-wall, as well as all the other outbuildings and structures thereon, situate on a certain piece of freehold land in the Division of Paarl, being the remaining extent of the farm Champagne and measuring as such fifty-five (55) morgen and four hundred and fifty (450) square roods.

Deed of Transfer 2582/1902 (paragraph 38), dated 21.3.1902.

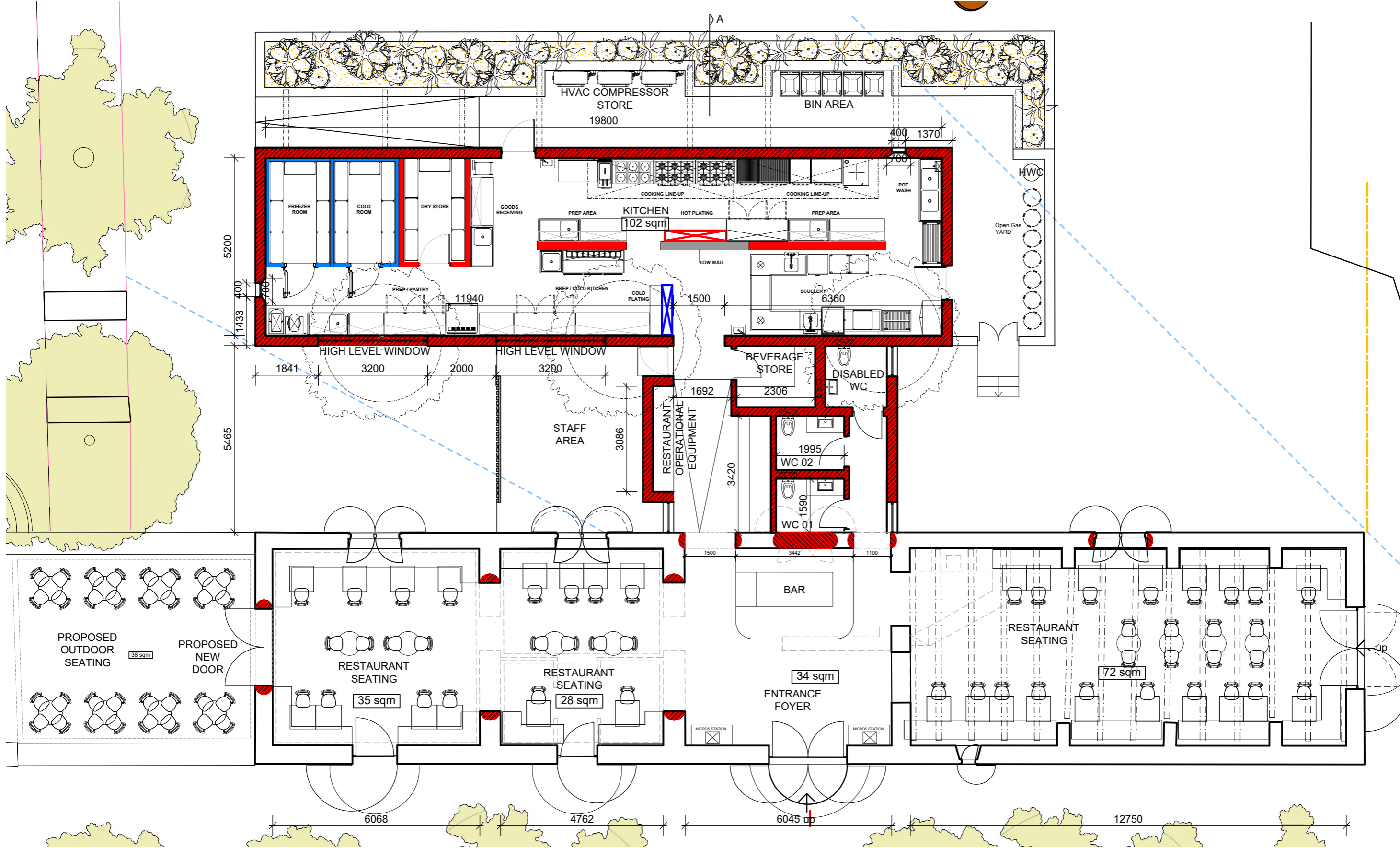
#### *Historical and architectural importance*

This farm was originally granted to the Huguenot Jean le Long in 1685. Afterwards the property became the home of Jacques de Villiers and his wife Marguerite Gardiol. Their grandson, Paul, built the historic manor-house in 1812. The farm remained in the possession of the De Villiers family until 1879.

The H-shaped manor-house, together with the outbuildings and ring-wall, form a unique and important Cape Dutch architectural group. (10/2/467.)

P. G. J. KOORNHOF, Minister of National Education.





75 Morningside Road  
Ndabeni 7405  
+27 (0) 21 423 0328  
+27 (0) 21 424 9396  
cape@archrsa.com  
Copyright © (2007) All rights reserved

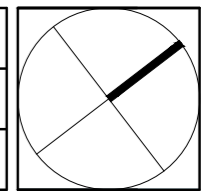
**ARCHITECTURE**  
RENNIE | SCURR | ADENDORFF

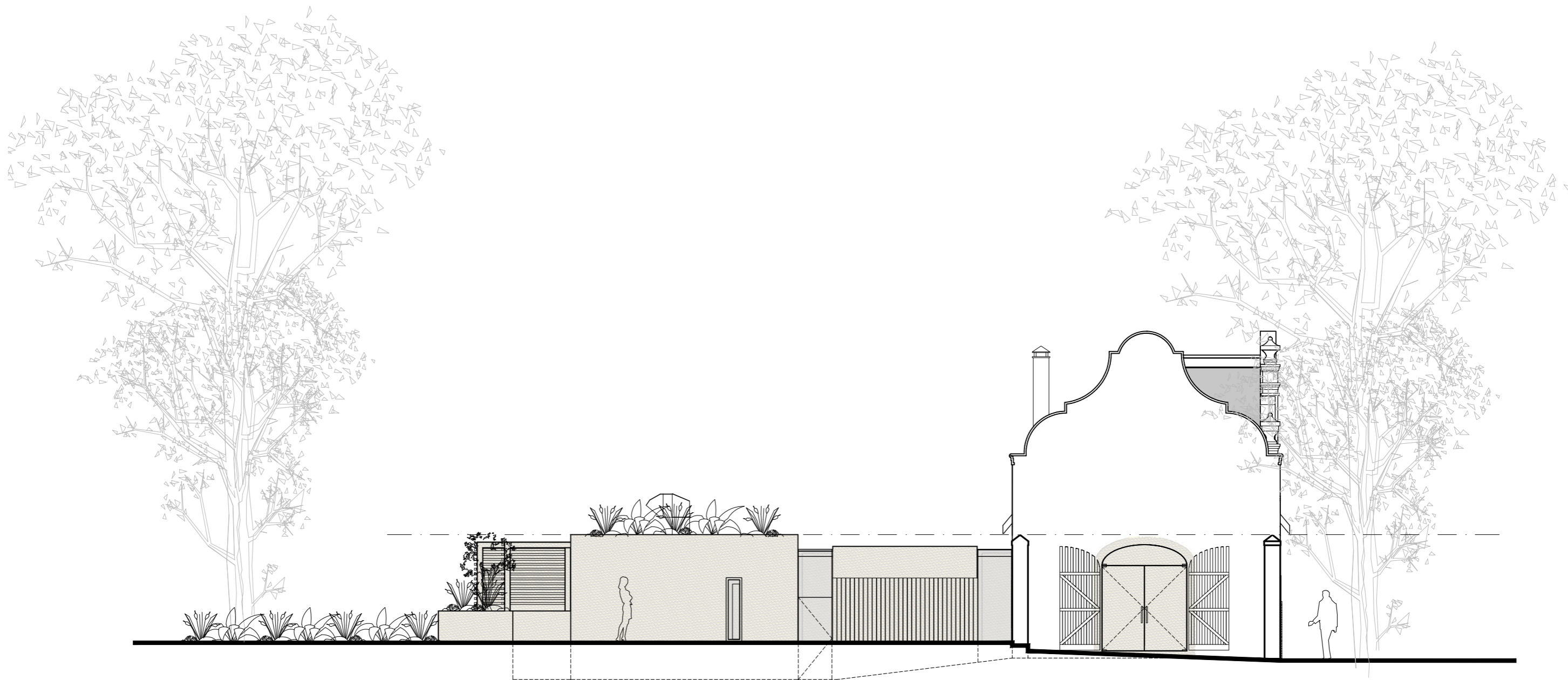
Client: **BOSCHENDAL PTY LTD**  
Project: **ALTERATIONS TO THE DELI CAFE**  
Drawing type: **SKETCH PLAN - LAYOUT PLAN**


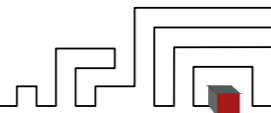
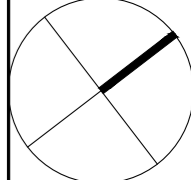
Designed: **MS/SA**  
Drawn: **AL**  
Checked: **XX**

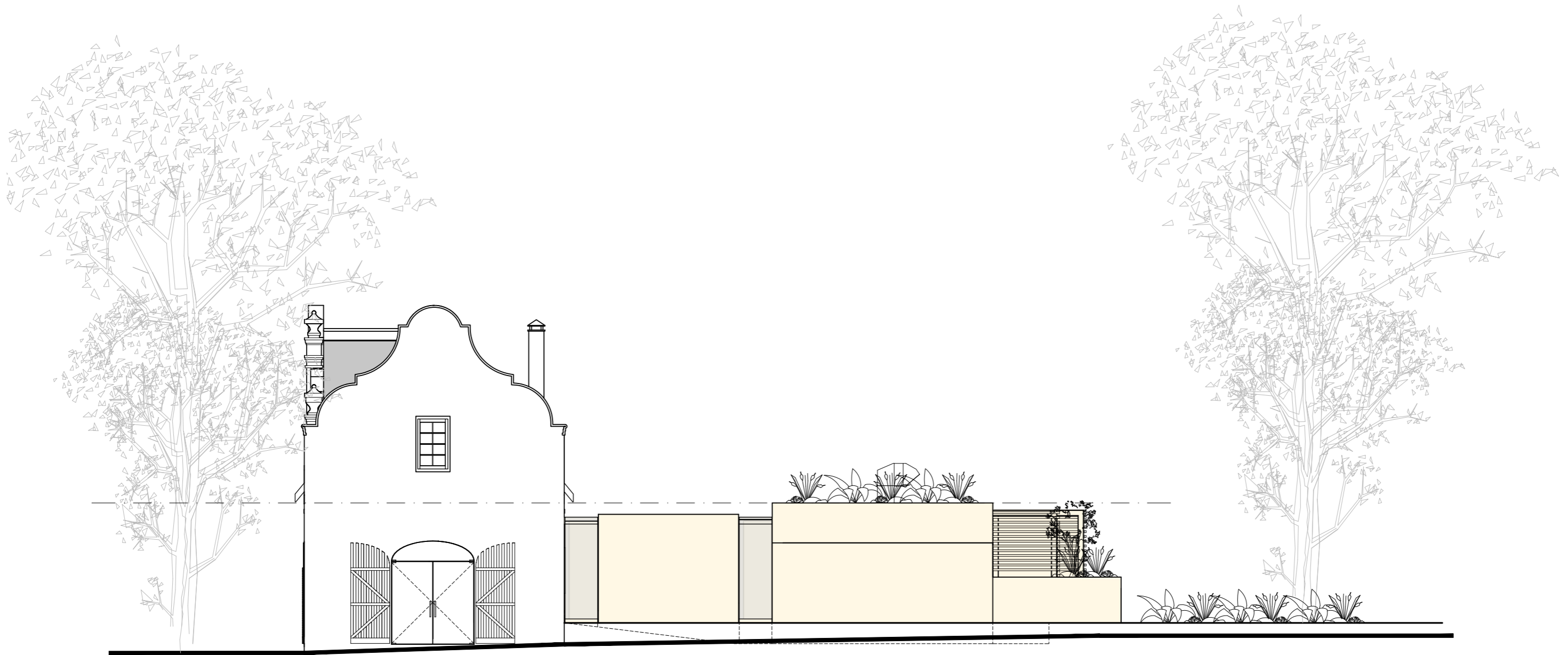
Date: **2023-03-01**  
Scale: **1:100 @ A3**  
Ref: 3/Boschendal/12302\_Deli\_Extension/Drawings and Specifications/02 (S) Sketch plans/0000 Master issue

Project Number: **12302**  
Drawing Number: **S-1001**  
Revision: **XX**





|   |  |   |   |                           |  |                                 |   |
|---|--|---|---|---------------------------|--|---------------------------------|---|
| <br><b>ARCHITECTURE</b><br><small>CC BY-NC 1990/087 1123</small> | <br><b>RENNIE   SCURR   ADENDORFF</b> | 75 Morningside Road<br>Ndabeni 7405   | Client:<br><b>BOSCHENDAL PTY LTD</b>                  | Designed:<br><b>MS/SA</b> | Date:<br><b>2023-03-01</b>   | Project Number<br><b>12302</b>  |  |
|   |  | ☎ +27 (0) 21 423 0328<br>📠 +27 (0) 21 424 9396<br>📧 cape@archrsa.com<br><small>Copyright © (2007) All rights reserved</small> | Project:<br><b>ALTERATIONS TO THE DELI CAFE</b>       | Drawn:<br><b>AL</b>       | Scale:<br><b>1:100 @ A3</b>  | Drawing Number<br><b>S-1002</b> |   |
|   |  |   | Drawing type:<br><b>SKETCH PLAN - SOUTH ELEVATION</b> | Checked:<br><b>XX</b>     | Ref:<br><small>S:\ARCHRSA\Current Jobs\Boschendal\12302 Deli Extension\Drawings and Specifications\02 (S) Sketch plans\0000 Master Issue</small> | Revision<br><b>XX</b>           |   |



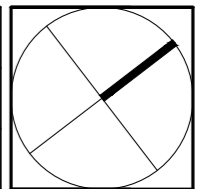

 75 Morningside Road  
 Ndabeni 7405  
 +27 (0) 21 423 0328  
 +27 (0) 21 424 9396  
 cape@archrsa.com  
 Copyright © (2007) All rights reserved

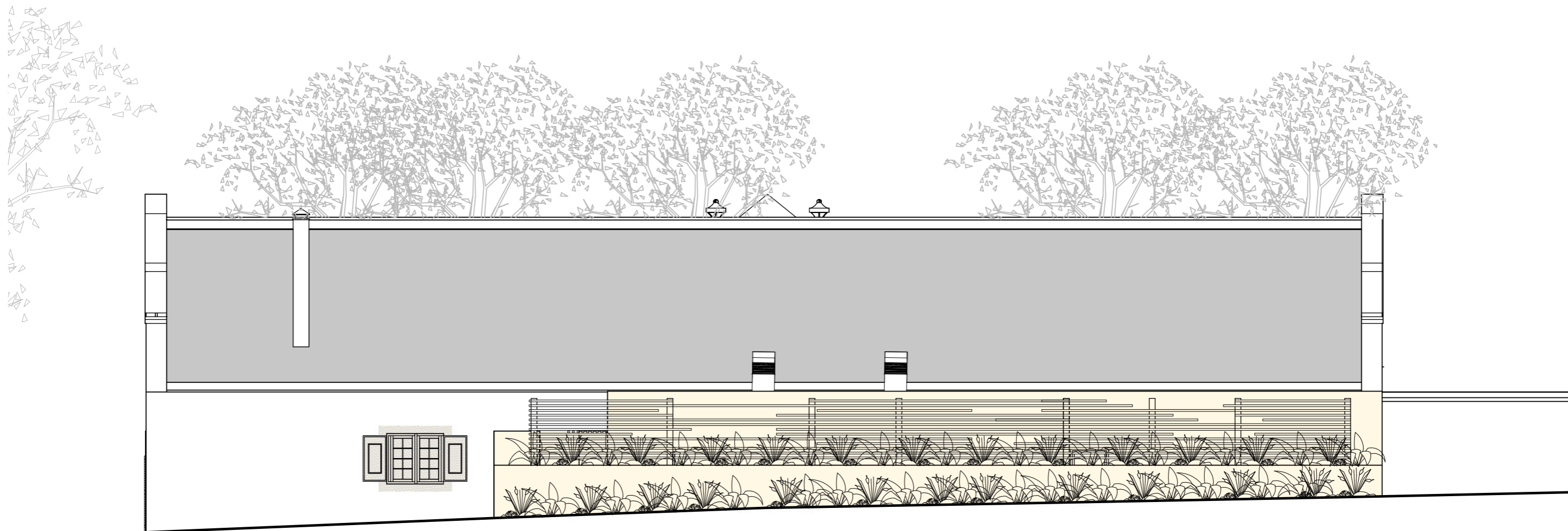
Client:  
**BOSCHENDAL PTY LTD**  
 Project:  
**ALTERATIONS TO THE DELI CAFE**  
 Drawing type:  
**SKETCH PLAN - NORTH ELEVATION**

Designed:  
**MS/SA**  
 Drawn:  
**AL**  
 Checked:  
**XX**

Date:  
**2023-03-01**  
 Scale:  
**1:100 @ A3**  
 Ref:  
S:\ARCHRSA\Current Jobs\Boschendal\12302 Deli Extension\Drawings and Specifications\02 (S) Sketch plans\0000 Master issue

Project Number  
**12302**  
 Drawing Number  
**S-1003**  
 Revision  
**XX**






 ARCHITECTURE CC OK 19960871123  
**RENNIE | SCURR | ADENDORFF**  
Copyright © (2007) All rights reserved

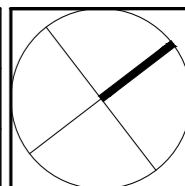
75 Morningside Road  
 Ndabeni 7405  
 T +27 (0) 21 423 0328  
 F +27 (0) 21 424 9396  
 E [cape@archrsa.com](mailto:cape@archrsa.com)

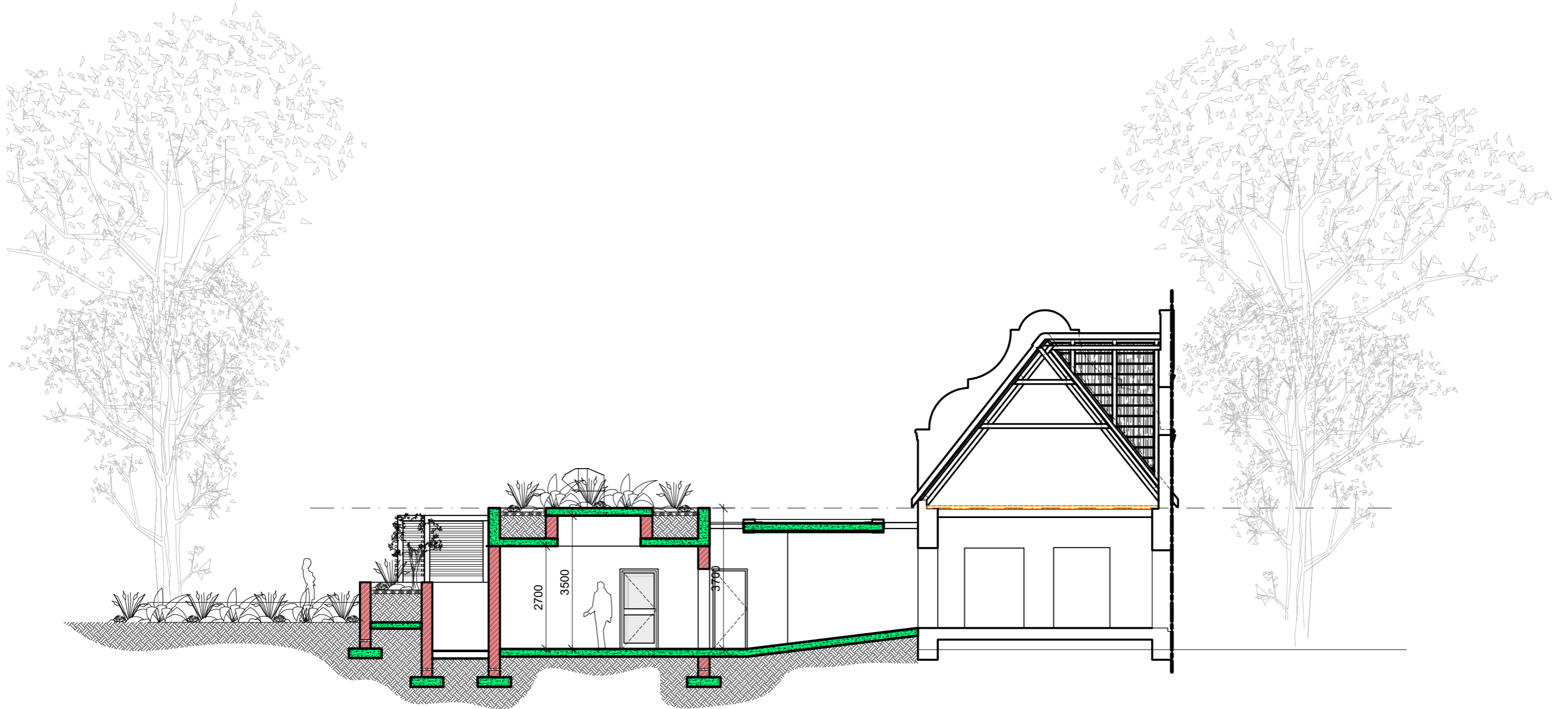
|  |
|--|
| Client:<br><b>BOSCHENDAL PTY LTD</b>                 |
| Project:<br><b>ALTERATIONS TO THE DELI CAFE</b>      |
| Drawing type:<br><b>SKETCH PLAN - WEST ELEVATION</b> |

|                           |
|---------------------------|
| Designed:<br><b>MS/SA</b> |
| Drawn:<br><b>AL</b>       |
| Checked:<br><b>XX</b>     |

|   |
|---|
| Date:<br><b>2023-03-01</b>  |
| Scale:<br><b>1:100 @ A3</b>   |
| Ref:<br><small>S:\ARCH\RSA\Current Jobs\Boschendal\12302_Deli Extension\Drawings and Specifications\02 (S) Sketch plans\0000 Master issue</small> |

|                                 |
|---------------------------------|
| Project Number<br><b>12302</b>  |
| Drawing Number<br><b>S-1004</b> |
| Revision<br><b>XX</b>           |





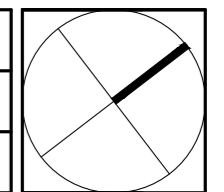

 ARCHITECTURE  
 CC BY 1990/08/11/23  
**RENNIE | SCURR | ADENDORFF**  
 75 Morningside Road  
 Ndabeni 7405  
 +27 (0) 21 423 0328  
 +27 (0) 21 424 9396  
 cape@archrsa.com  
 Copyright © (2007) All rights reserved

Client:  
**BOSCHENDAL**  
 Project:  
**ALTERATIONS TO THE DELI CAFE**  
 Drawing type:  
**SKETCH PLAN - SECTION A**

Designed:  
**MS/SA**  
 Drawn:  
**AL**  
 Checked:  
**XX**

Date:  
**2023-03-01**  
 Scale:  
**1:100 @ A3**  
 Ref:  
 S:\ARCHRSA\Current Jobs\Boschendal\12302 Deli  
 Extension\Drawings and Specifications\02 (S) Sketch plans\0000  
 Master issue

Project Number  
**12302**  
 Drawing Number  
**S-1005**  
 Revision  
**XX**





## Annexure G: Title Deed

11/30/2020 <https://search.windeed.co.za/DeedsOffice/HtmlPrintout/279218097?printerFriendly=true&isVersioned=True&showSearchInsureSta...>

WinDeed Database Deeds Office Property

**windeed**  
A LexisNexis® Product

### BOSCHENDAL, 1674, 10 (CAPE TOWN)

#### GENERAL INFORMATION

|                    |                  |
|--------------------|------------------|
| Deeds Office       | CAPE TOWN        |
| Date Requested     | 2020/11/30 06:40 |
| Information Source | WINDEED DATABASE |
| Reference          | -                |



#### PROPERTY INFORMATION

|                       |                       |                      |              |
|-----------------------|-----------------------|----------------------|--------------|
| Property Type         | FARM                  | Diagram Deed         | T17497/2004  |
| Farm Name             | BOSCHENDAL            | Extent               | 106.6539H    |
| Farm Number           | 1674                  | Local Authority      | WINELANDS DC |
| Portion Number        | 10                    | Province             | WESTERN CAPE |
| Registration Division | PAARL RD              | Previous Description | -            |
| LPI Code              | C05500000000167400010 |                      |              |

#### OWNER INFORMATION

##### OWNER 1 OF 1

|                     |                    |                    |                |
|---------------------|--------------------|--------------------|----------------|
| Type                | COMPANY            | Title Deed         | T17501/2004    |
| Name                | BOSCHENDAL PTY LTD | Microfilm          | 2009 0010 0371 |
| ID / Reg. Number    | 200202353407       | Purchase Price (R) | 92,175,226     |
| Multiple Owners     | NO                 | Purchase Date      | 2003/10/31     |
| Multiple Properties | NO                 | Registration Date  | 2004/03/02     |
| Share               | 0.00               |                    |                |

#### ENDORSEMENTS (4)

| # | Document   | Institution | Amount (R) | Microfilm      |
|---|------------|-------------|------------|----------------|
| 1 | K786/2005S | -           | UNKNOWN    | 2005 2050 2136 |
| 2 | K210/2004S | -           | UNKNOWN    | 2005 2050 1917 |
| 3 | K787/2005S | -           | UNKNOWN    | 2005 2050 2175 |
| 4 | K788/2005S | -           | UNKNOWN    | 2005 2050 2194 |

#### HISTORIC DOCUMENTS (6)

| # | Document    | Owner                     | Amount (R)  | Microfilm          |
|---|-------------|---------------------------|-------------|--------------------|
| 1 | B26779/2016 | INVESTEC BANK LTD         | 160,000,000 | -                  |
| 2 | T17501/2004 | PHINDANA PROP 160 PTY LTD | 92,175,226  | 2009 0010 0371     |
| 3 | T17501/2004 | BOSCHENDAL LTD            | 92,175,226  | 2009 0010 0371     |
| 4 | B14344/2004 | -                         | 209,000,000 | 2009 0010 0467     |
| 5 | T17497/2004 | ANGLO AMERICAN FARMS LTD  |             | CRT 2004 0285 1777 |
| 6 | B82081/2007 | -                         | 500,000,000 | 2009 0007 5388     |

DISCLAIMER: This report contains information gathered from the WinDeed database and we do not make any representations about the accuracy of the data displayed nor do we accept responsibility for inaccurate data. LexisNexis will not be liable for any damage caused by reliance on this report and for legal purposes encourage validation on ownership details with the Deeds Office. This report is subject to the terms and conditions of the [WinDeed End User Licence Agreement \(EULA\)](#).

<https://search.windeed.co.za/DeedsOffice/HtmlPrintout/279218097?printerFriendly=true&isVersioned=True&showSearchInsureStamp=True&sho...> 1/1