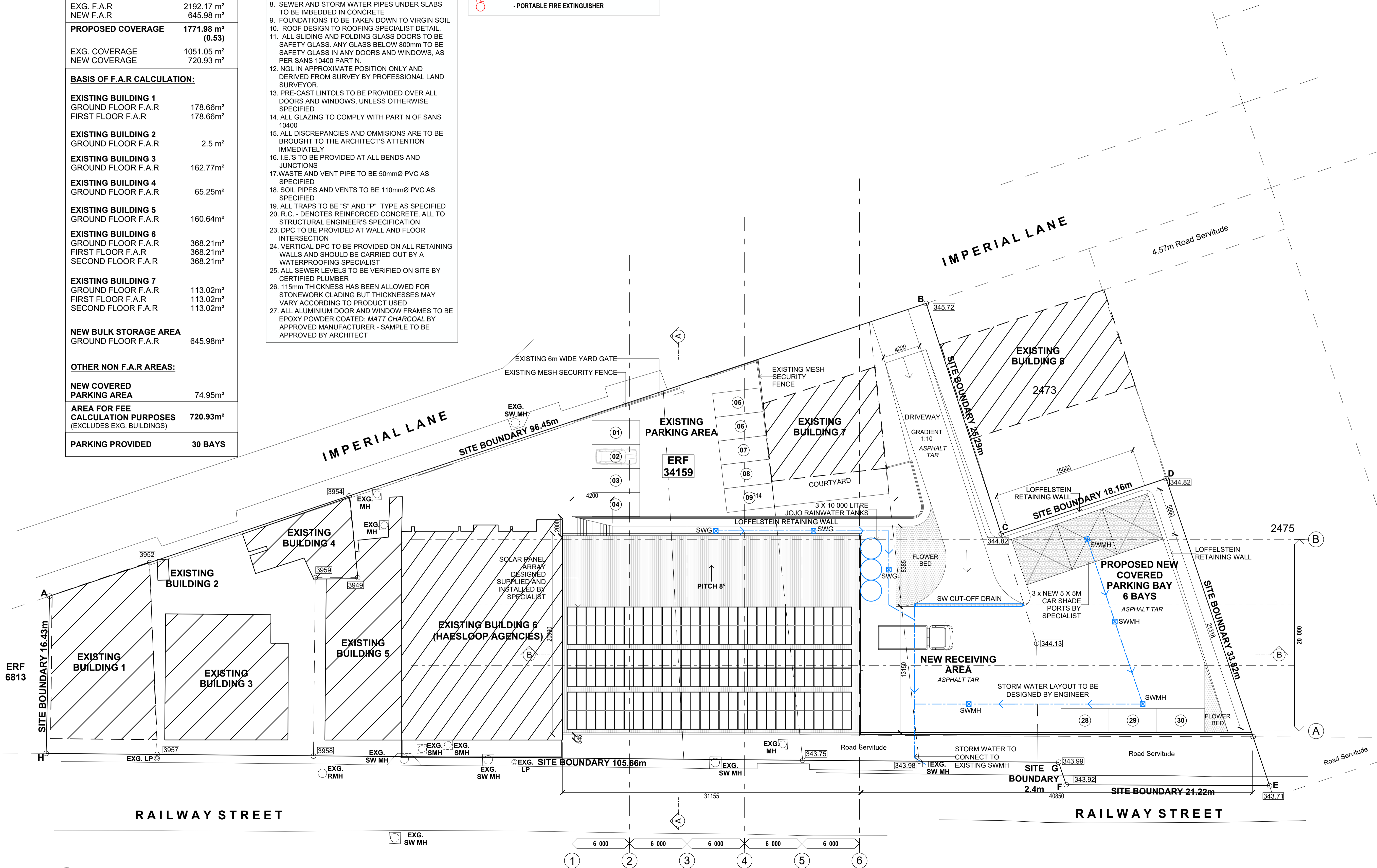


SCHEDULE OF AREAS	
<b>ERF 34159 PINETOWN</b>	
BUILDING CLASSIFICATION	J3
ZONING	TRANSPORT ORIENTATED DEVELOPMENT
<b>SITE AREA</b>	<b>3290m<sup>2</sup></b>
<b>PERMITTED COV @ 90%</b>	<b>2961m<sup>2</sup></b>
<b>PERMITTED FAR @ 2.5</b>	<b>8225m<sup>2</sup></b>
<b>PROPOSED FAR</b>	<b>2838.15 m<sup>2</sup></b>
EXG. F.A.R	2192.17 m <sup>2</sup>
NEW F.A.R	645.98 m <sup>2</sup>
<b>PROPOSED COVERAGE</b>	<b>1771.98 m<sup>2</sup></b>
	<b>(0.53)</b>
EXG. COVERAGE	1051.05 m <sup>2</sup>
NEW COVERAGE	720.93 m <sup>2</sup>
<b>BASIS OF F.A.R CALCULATION:</b>	
<b>EXISTING BUILDING 1</b>	
GROUND FLOOR F.A.R	178.66m <sup>2</sup>
FIRST FLOOR F.A.R	178.66m <sup>2</sup>
<b>EXISTING BUILDING 2</b>	
GROUND FLOOR F.A.R	2.5 m <sup>2</sup>
<b>EXISTING BUILDING 3</b>	
GROUND FLOOR F.A.R	162.77m <sup>2</sup>
<b>EXISTING BUILDING 4</b>	
GROUND FLOOR F.A.R	65.25m <sup>2</sup>
<b>EXISTING BUILDING 5</b>	
GROUND FLOOR F.A.R	160.64m <sup>2</sup>
<b>EXISTING BUILDING 6</b>	
GROUND FLOOR F.A.R	368.21m <sup>2</sup>
FIRST FLOOR F.A.R	368.21m <sup>2</sup>
SECOND FLOOR F.A.R	368.21m <sup>2</sup>
<b>EXISTING BUILDING 7</b>	
GROUND FLOOR F.A.R	113.02m <sup>2</sup>
FIRST FLOOR F.A.R	113.02m <sup>2</sup>
SECOND FLOOR F.A.R	113.02m <sup>2</sup>
<b>NEW BULK STORAGE AREA</b>	
GROUND FLOOR F.A.R	645.98m <sup>2</sup>
<b>OTHER NON F.A.R AREAS:</b>	
<b>NEW COVERED PARKING AREA</b>	74.95m <sup>2</sup>
<b>AREA FOR FEE CALCULATION PURPOSES</b>	720.93m <sup>2</sup>
(EXCLUDES EXG. BUILDINGS)	
<b>PARKING PROVIDED</b>	<b>30 BAYS</b>

- GENERAL NOTES
- ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO ANY CONSTRUCTION WORK BEING DONE
  - ALL WORK TO BE IN ACCORDANCE WITH SANS 10400-2010 AND ALL MATERIALS USED TO BE OF SABS APPROVED STANDARDS
  - ALL STRUCTURAL WORK TO BE TO ENGINEERS DETAIL AND SPECIFICATION, AND UNDER HIS SUPERVISION
  - ANT GUARD ABOVE DPC TO NBR REQUIREMENTS WITH SOIL POISONING BELOW SURFACE BED
  - WALLS TO BE REINFORCED WITH BRICK FORCE
  - LIGHTING AND VENTILATION TO COMPLY WITH PART O OF SANS 10400
  - ALL DRAINAGE TO BE LAID BY A PROFESSIONAL PLUMBING CONTRACTOR AND TO COMPLY WITH SANS 10400
  - SEWER AND STORM WATER PIPES UNDER SLABS TO BE IMBEDDED IN CONCRETE
  - FOUNDATIONS TO BE TAKEN DOWN TO VIRGIN SOIL
  - ROOF DESIGN TO ROOFING SPECIALIST DETAIL
  - ALL SLIDING AND FOLDING GLASS DOORS TO BE SAFETY GLASS. ANY GLASS BELOW 800mm TO BE SAFETY GLASS IN ANY DOORS AND WINDOWS, AS PER SANS 10400 PART N.
  - NGL IN APPROXIMATE POSITION ONLY AND DERIVED FROM SURVEY BY PROFESSIONAL LAND SURVEYOR.
  - PRE-CAST LINTOLS TO BE PROVIDED OVER ALL DOORS AND WINDOWS, UNLESS OTHERWISE SPECIFIED
  - ALL GLAZING TO COMPLY WITH PART N OF SANS 10400
  - ALL DISCREPANCIES AND OMISSIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY
  - I.E.'S TO BE PROVIDED AT ALL BENDS AND JUNCTIONS
  - WASTE AND VENT PIPE TO BE 50mmØ PVC AS SPECIFIED
  - SOIL PIPES AND VENTS TO BE 110mmØ PVC AS SPECIFIED
  - ALL TRAPS TO BE "S" AND "P" TYPE AS SPECIFIED
  - R.C. - DENOTES REINFORCED CONCRETE, ALL TO STRUCTURAL ENGINEER'S SPECIFICATION
  - DPC TO BE PROVIDED AT WALL AND FLOOR INTERSECTION
  - VERTICAL DPC TO BE PROVIDED ON ALL RETAINING WALLS AND SHOULD BE CARRIED OUT BY A WATERPROOFING SPECIALIST
  - ALL SEWER LEVELS TO BE VERIFIED ON SITE BY CERTIFIED PLUMBER
  - 115mm THICKNESS HAS BEEN ALLOWED FOR STONWORK CLADDING BUT THICKNESSES MAY VARY ACCORDING TO PRODUCT USED
  - ALL ALUMINIUM DOOR AND WINDOW FRAMES TO BE EPOXY POWDER COATED: MATT CHARCOAL BY APPROVED MANUFACTURER - SAMPLE TO BE APPROVED BY ARCHITECT

GENERAL LEGEND

SVP	- Ø110mm PVC SOIL VENT PIPE
SP	- Ø110mm PVC SOIL PIPE
WP	- Ø50mm PVC WASTE PIPE
SS+V	- Ø110mm PVC STUB STACK AND ANTI-SYPHON VENT VALVE
WV	- Ø50mm WASTE ANTI-SYPHON VENT VALVE
RE	- RODDING EYE
IE	- INSPECTION EYE
RWG	- RAINWATER GARGOYLE
RWDP	- Ø110mm PVC RAINWATER DOWNPIPE
SWP	- Ø160mm PVC STORMWATER PIPE
SWG	- STORMWATER GRATE
FBO	- FULLBORE OUTLET
SWMH	- STORMWATER MAN HOLE
ESWD	- EXG. ESTATE STORMWATER DRAIN
SWRE	- STORMWATER RODDING EYE
oea	- OR EQUAL APPROVED
SOP	- SETTING OUT POINT
FE	- PORTABLE FIRE EXTINGUISHER



SANS 10400 OCCUPANCY / BUILDING CLASSIFICATION: J3

PROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES
	: ERF 34159 PINETOWN
DRAWING TITLE	: SUBMISSION DRAWINGS
	: SITE ROOF PLAN
CLIENT INFO	: RABBIT WARREN PROPERTY CC
OWNER'S SIGNATURE	
AUTHOR'S SIGNATURE	
SACAP : PR ARCH 7391	
DATE	: JUNE 2023
SCALE	: 1:200
DESIGNED BY	: TR
DRAWN BY	: SS
DRAWING NO.	: 2023 / 06 / 26 / 001

**SCHEDULE OF AREAS**

**ERF 34159 PINETOWN**

BUILDING CLASSIFICATION	J3
ZONING	TRANSPORT ORIENTATED DEVELOPMENT

SITE AREA	3290m <sup>2</sup>
PERMITTED COV @ 90%	2961m <sup>2</sup>
PERMITTED FAR @ 2.5	8225m <sup>2</sup>

**PROPOSED FAR**

EXG. F.A.R	2192.17 m <sup>2</sup>
NEW F.A.R	645.98 m <sup>2</sup>

**PROPOSED COVERAGE**

EXG. COVERAGE	1051.05 m <sup>2</sup>
NEW COVERAGE	720.93 m <sup>2</sup>

**BASIS OF F.A.R CALCULATION:**

<b>EXISTING BUILDING 1</b>	
GROUND FLOOR F.A.R	178.66m <sup>2</sup>
FIRST FLOOR F.A.R	178.66m <sup>2</sup>

<b>EXISTING BUILDING 2</b>	
GROUND FLOOR F.A.R	2.5 m <sup>2</sup>

<b>EXISTING BUILDING 3</b>	
GROUND FLOOR F.A.R	162.77m <sup>2</sup>

<b>EXISTING BUILDING 4</b>	
GROUND FLOOR F.A.R	65.25m <sup>2</sup>

<b>EXISTING BUILDING 5</b>	
GROUND FLOOR F.A.R	160.64m <sup>2</sup>

<b>EXISTING BUILDING 6</b>	
GROUND FLOOR F.A.R	368.21m <sup>2</sup>
FIRST FLOOR F.A.R	368.21m <sup>2</sup>
SECOND FLOOR F.A.R	368.21m <sup>2</sup>

<b>EXISTING BUILDING 7</b>	
GROUND FLOOR F.A.R	113.02m <sup>2</sup>
FIRST FLOOR F.A.R	113.02m <sup>2</sup>
SECOND FLOOR F.A.R	113.02m <sup>2</sup>

<b>NEW BULK STORAGE AREA</b>	
GROUND FLOOR F.A.R	645.98m <sup>2</sup>

**OTHER NON F.A.R AREAS:**

<b>NEW COVERED PARKING AREA</b>	74.95m <sup>2</sup>
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<b>AREA FOR FEE CALCULATION PURPOSES</b>	720.93m <sup>2</sup>
(EXCLUDES EXG. BUILDINGS)	

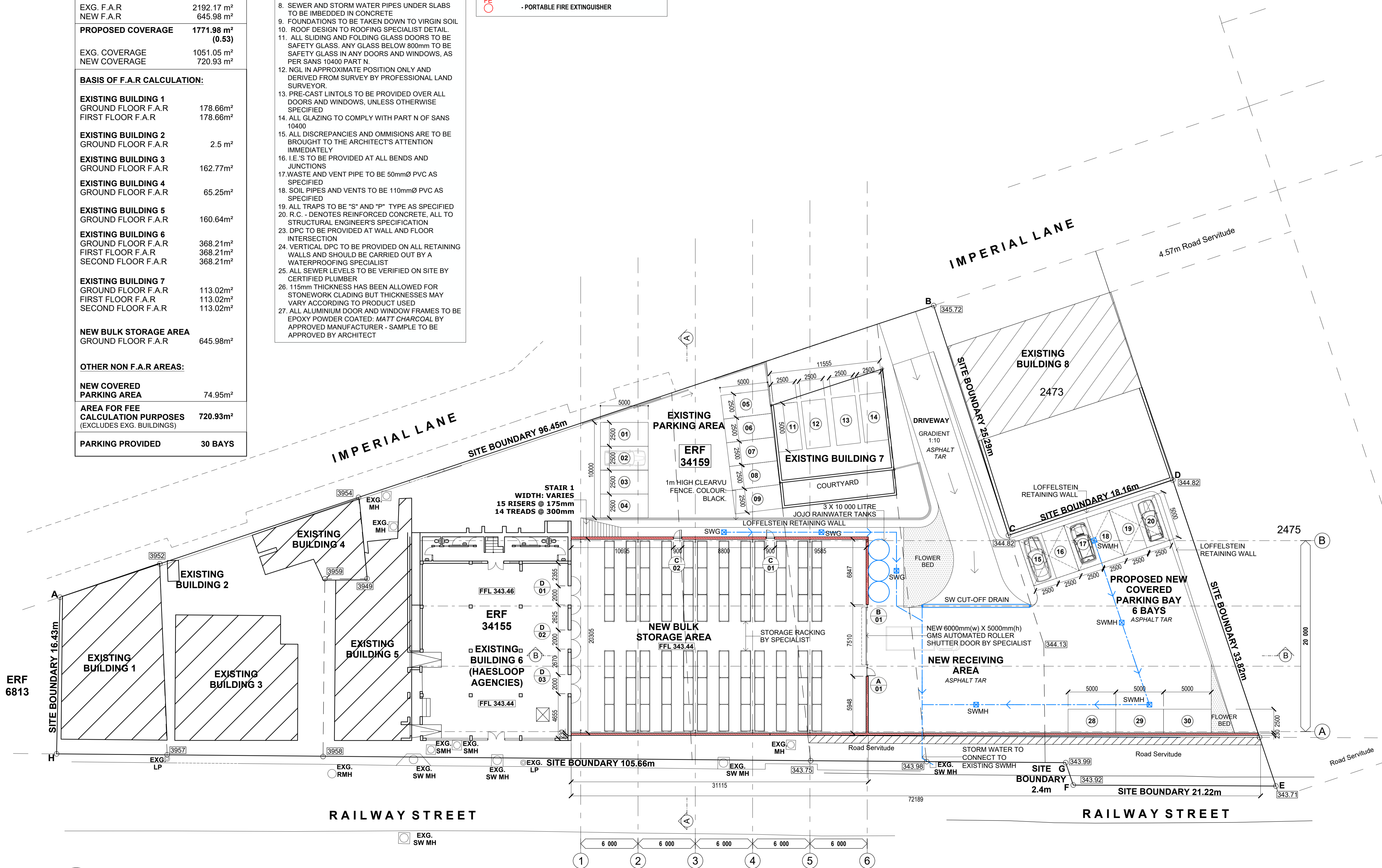
<b>PARKING PROVIDED</b>	30 BAYS
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**GENERAL LEGEND**

- SVP - Ø110mm PVC SOIL VENT PIPE
- SP - Ø110mm PVC SOIL PIPE
- WP - Ø50mm PVC WASTE PIPE
- SS-V - Ø110mm PVC STUB STACK AND ANTI-SYPHON VENT VALVE
- WV - Ø50mm WASTE ANTI-SYPHON VENT VALVE
- RE - RODDING EYE
- IE - INSPECTION EYE
- RWG - RAINWATER GARGOYLE
- RWDP - Ø110mm PVC RAINWATER DOWNPIPE
- SWP - Ø160mm PVC STORMWATER PIPE
- SWG - STORMWATER GRATE
- FBO - FULLBORE OUTLET
- SWMH - STORMWATER MAN HOLE
- ESWD - EXG. ESTATE STORMWATER DRAIN
- SWRE - STORMWATER RODDING EYE
- oea - OR EQUAL APPROVED
- SOP - SETTING OUT POINT
- FE - PORTABLE FIRE EXTINGUISHER



SANS 10400 OCCUPANCY / BUILDING CLASSIFICATION: J3

PROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES
	: ERF 34159 PINETOWN
DRAWING TITLE	: SUBMISSION DRAWINGS
	: GROUND FLOOR PLAN
CLIENT INFO	: RABBIT WARREN PROPERTY CC
OWNER'S SIGNATURE	
AUTHOR'S SIGNATURE	
SACAP - PR ARCH 7391	
DATE	: JUNE 2023
SCALE	: 1:200
DESIGNED BY	: TR
DRAWN BY	: SS
DRAWING NO.	: 2023 / 06 / 26 / 002

**GROUND FLOOR PLAN**  
SCALE 1:200 @ A1

**SCHEDULE OF AREAS**

**ERF 34159 PINETOWN**

BUILDING CLASSIFICATION J3  
 ZONING TRANSPORT ORIENTATED DEVELOPMENT

SITE AREA 3290m<sup>2</sup>  
 PERMITTED COV @ 90% 2961m<sup>2</sup>  
 PERMITTED FAR @ 2.5 8225m<sup>2</sup>

PROPOSED FAR 2838.15 m<sup>2</sup>

EXG. F.A.R 2192.17 m<sup>2</sup>  
 NEW F.A.R 645.98 m<sup>2</sup>

PROPOSED COVERAGE 1771.98 m<sup>2</sup>  
 (0.53)

EXG. COVERAGE 1051.05 m<sup>2</sup>  
 NEW COVERAGE 720.93 m<sup>2</sup>

**BASIS OF F.A.R CALCULATION:**

EXISTING BUILDING 1  
 GROUND FLOOR F.A.R 178.66m<sup>2</sup>  
 FIRST FLOOR F.A.R 178.66m<sup>2</sup>

EXISTING BUILDING 2  
 GROUND FLOOR F.A.R 2.5 m<sup>2</sup>

EXISTING BUILDING 3  
 GROUND FLOOR F.A.R 162.77m<sup>2</sup>

EXISTING BUILDING 4  
 GROUND FLOOR F.A.R 65.25m<sup>2</sup>

EXISTING BUILDING 5  
 GROUND FLOOR F.A.R 160.64m<sup>2</sup>

EXISTING BUILDING 6  
 GROUND FLOOR F.A.R 368.21m<sup>2</sup>  
 FIRST FLOOR F.A.R 368.21m<sup>2</sup>  
 SECOND FLOOR F.A.R 368.21m<sup>2</sup>

EXISTING BUILDING 7  
 GROUND FLOOR F.A.R 113.02m<sup>2</sup>  
 FIRST FLOOR F.A.R 113.02m<sup>2</sup>  
 SECOND FLOOR F.A.R 113.02m<sup>2</sup>

NEW BULK STORAGE AREA  
 GROUND FLOOR F.A.R 645.98m<sup>2</sup>

**OTHER NON F.A.R AREAS:**

NEW COVERED PARKING AREA 74.95m<sup>2</sup>

AREA FOR FEE CALCULATION PURPOSES (EXCLUDES EXG. BUILDINGS) 720.93m<sup>2</sup>

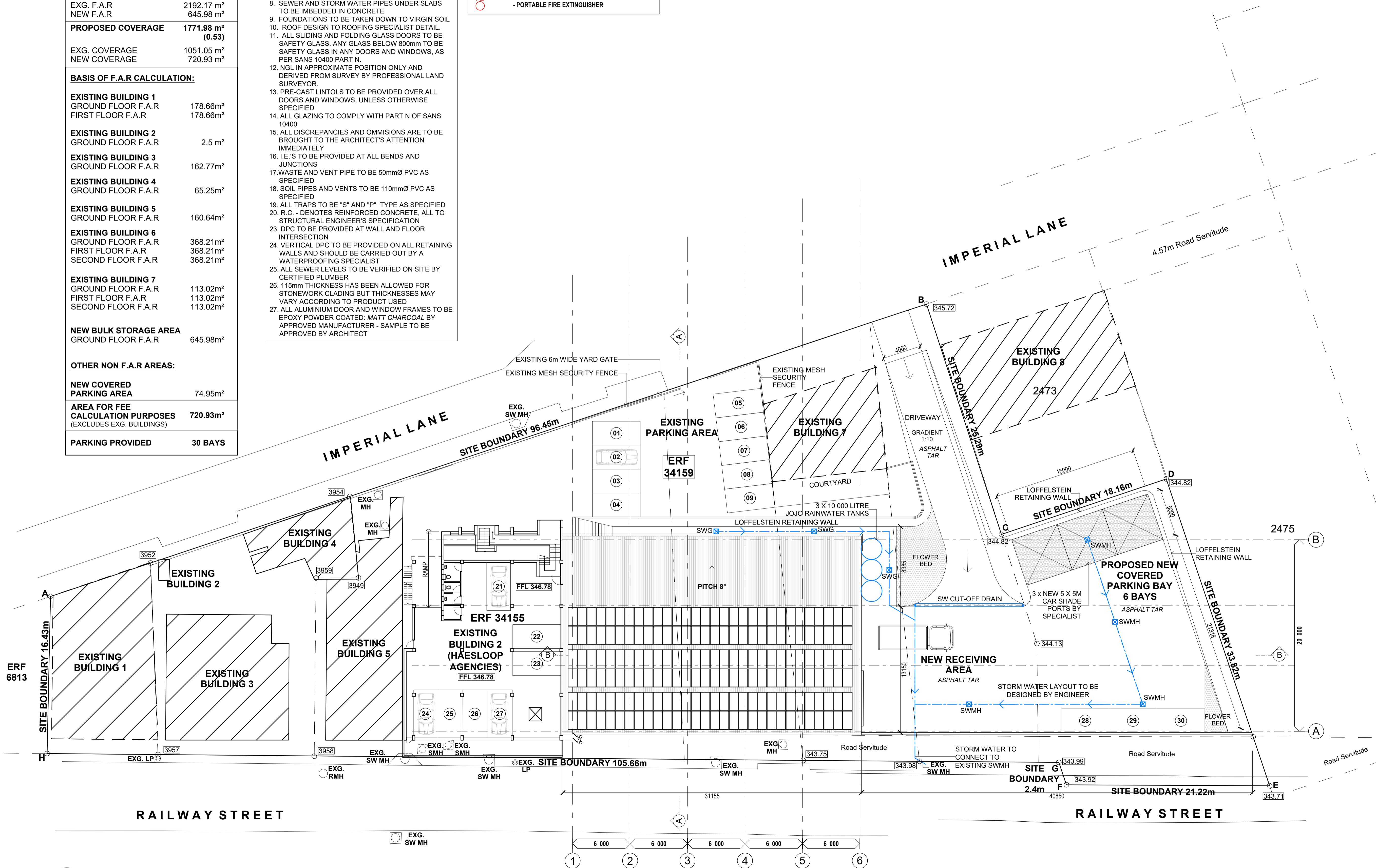
PARKING PROVIDED 30 BAYS

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- SEWER AND STORM WATER PIPES UNDER SLABS TO BE IMBEDDED IN CONCRETE
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**GENERAL LEGEND**

- SVP - Ø110mm PVC SOIL VENT PIPE
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- SOP - SETTING OUT POINT
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SANS 10400 OCCUPANCY / BUILDING CLASSIFICATION: J3

PROJECT : PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES  
 : ERF 34159 PINETOWN

DRAWING TITLE : SUBMISSION DRAWINGS  
 : FIRST FLOOR PLAN

CLIENT INFO : RABBIT WARREN PROPERTY CC

OWNER'S SIGNATURE

AUTHOR'S SIGNATURE

SACAP : PR ARCH 7391

DATE : JUNE 2023

SCALE : 1:200

DESIGNED BY : TR

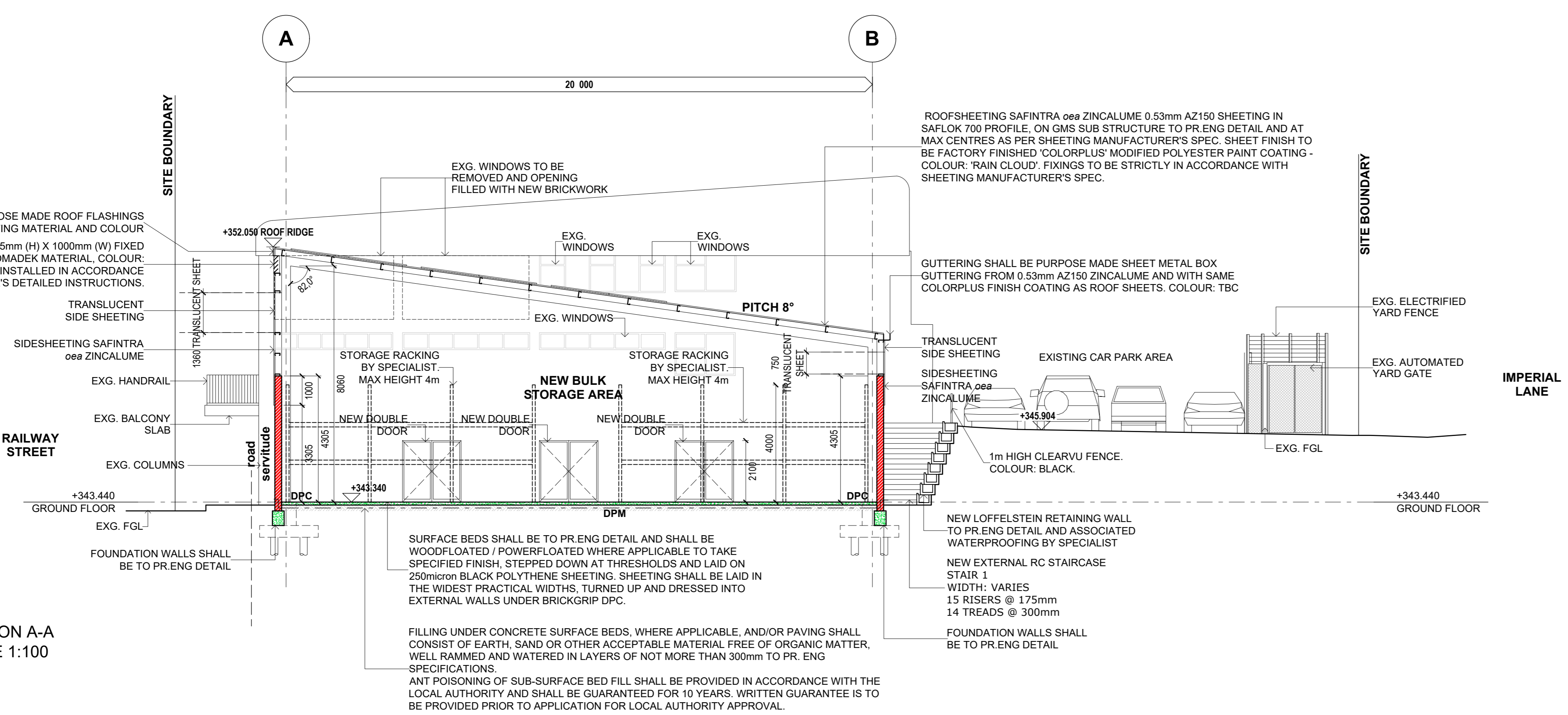
DRAWN BY : SS

DRAWING NO. : 2023 / 06 / 26 / 003

FIRST FLOOR PLAN  
 SCALE 1:200 @ A1



SECTION A-A  
SCALE 1:100 @ A0

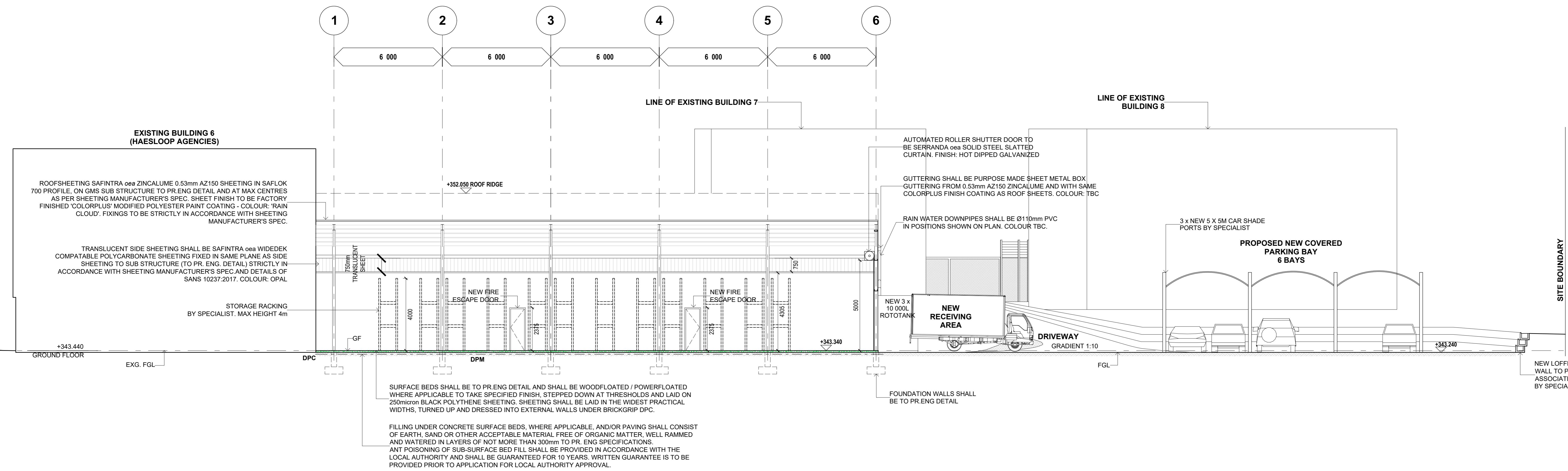


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**GENERAL LEGEND**

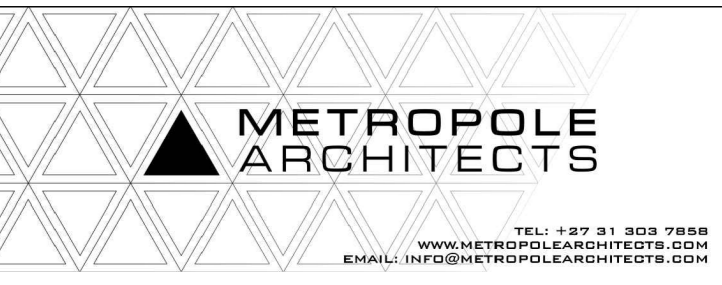
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ESWD	EXG. ESTATE STORMWATER DRAIN
SWRE	STORMWATER RODDING EYE
ØØØ	OR EQUAL APPROVED
SOP	SETTING OUT POINT
PE	PORTABLE FIRE EXTINGUISHER

SECTION B - B  
SCALE 1:100 @ A0



**SANS 10400 OCCUPANCY / BUILDING CLASSIFICATION: J3**

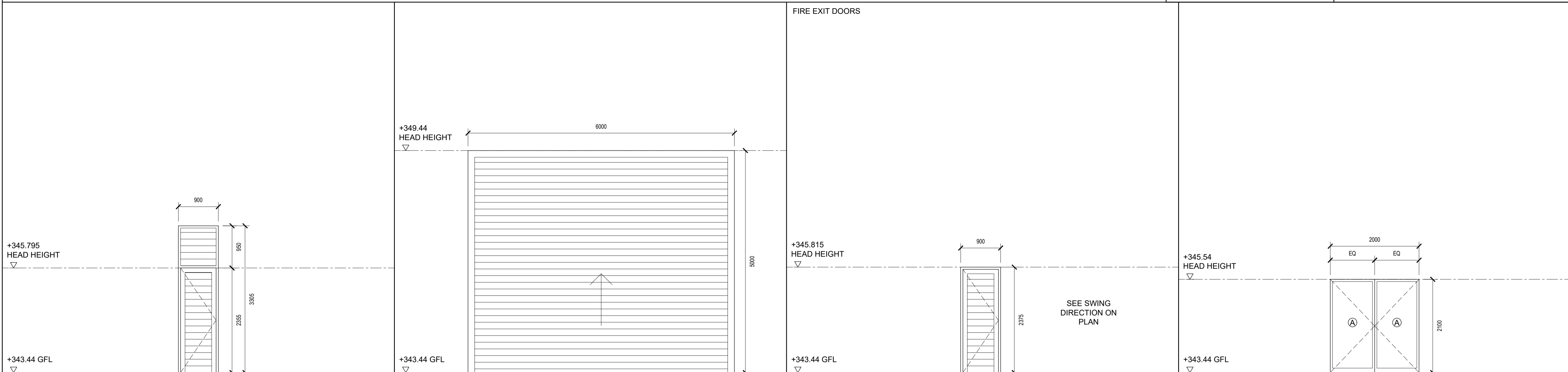
PROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES
	: ERF 34159 PINETOWN
DRAWING TITLE	: SUBMISSION DRAWINGS
	: SECTIONS
CLIENT INFO	: RABBIT WARREN PROPERTY CC
OWNER'S SIGNATURE	<i>[Signature]</i>
AUTHOR'S SIGNATURE	<i>[Signature]</i>
SACAP: PR ARCH 7391	
DATE	: JUNE 2023
SCALE	: 1:200
DESIGNED BY	: TR
DRAWN BY	: SS
DRAWING NO.	: 2023 / 06 / 005



# INTERNAL & EXTERNAL DOOR SCHEDULE

## GLAZING LEGEND

M.A.G = MONOLITHIC ANNEALED GLASS	S-CLR-LOWE = SINGLE CLEAR LOW E GLASS
L.S.G = LAMINATED SAFETY GLASS	D-CLR-LOWE = DOUBLE TINTED LOW E GLASS
T.S.G = TOUGHENED SAFETY GLASS	D-TNT-LOWE = DOUBLE TINTED LOW E GLASS



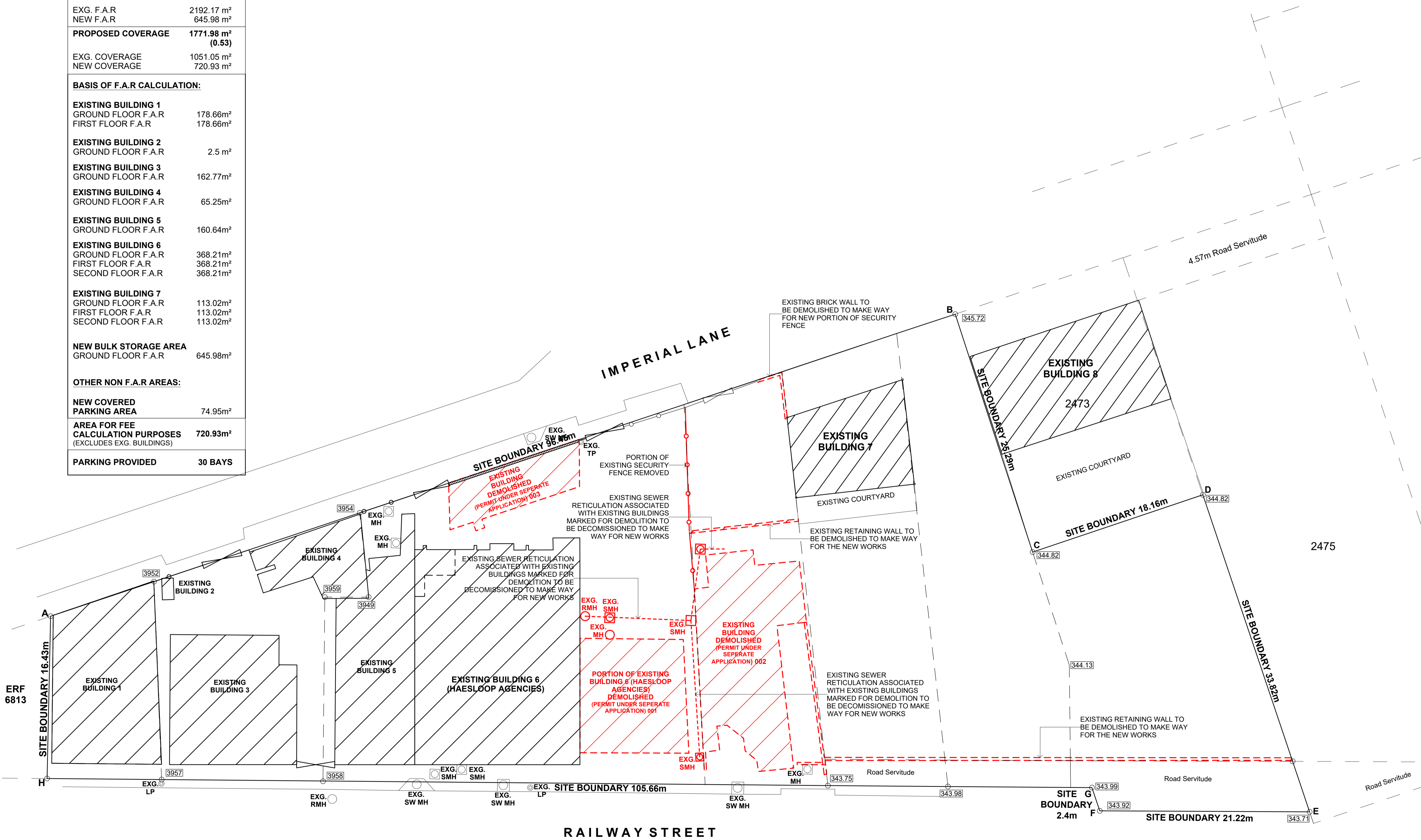
TYPE A DOOR		TYPE B ROLLER DOOR		TYPE C DOOR		TYPE D DOOR	
QUANTITY	1	QUANTITY	1	QUANTITY	2	QUANTITY	3
LOCATION	NEW BULK STORAGE AREA	LOCATION	NEW BULK STORAGE AREA	LOCATION	NEW BULK STORAGE AREA	LOCATION	NEW BULK STORAGE AREA
DOOR	PURPOSE MADE SOLID ALUMINIUM SIDE HUNG DOOR WITH FIXED TOP SECTION WITH SLATTED DETAIL PANEL AS SHOWN DESIGNED, SUPPLIED AND FITTED BY SPECIALIST TO ARCHITECTS APPROVAL.	DOOR	AUTOMATED ROLLER SHUTTER DOOR TO BE SERRANDA oea SOLID STEEL SLATTED CURTAIN. FINISH: HOT DIPPED GALVANIZED	DOOR	PURPOSE MADE SOLID ALUMINIUM SIDE HUNG DOOR WITH SLATTED DETAIL PANEL AS SHOWN DESIGNED, SUPPLIED AND FITTED BY SPECIALIST TO ARCHITECTS APPROVAL.	DOOR	STANDARD SECTION ALUMINIUM SIDE HUNG DOORS WITH WITH FIXED GLAZED PANEL AS SHOWN TO BE DESIGNED AS SHOWN TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALIST TO ARCHITECTS APPROVAL AS PER XA REGULATIONS, WINDOW TO BE LOW E, CLEAR, SINGLE GLAZING
FRAME	STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALIST	FRAME	STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALIST	FRAME	STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALIST	FRAME	STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALIST
DOOR FINISH		DOOR FINISH		DOOR FINISH		DOOR FINISH	
FRAME FINISH	EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL, CODE: ANP3055	FRAME FINISH	EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL, CODE: ANP3055	FRAME FINISH	EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL, CODE: ANP3055	FRAME FINISH	EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL, CODE: ANP3055
FURNITURE	FRICITION STAYS, HANDLES ETC AS SUPPLIED BY MANUFACTURER. SAMPLE TO BE SUBMITTED FOR ARCHITECTS APPROVAL.	FURNITURE	FRICITION STAYS, HANDLES ETC AS SUPPLIED BY MANUFACTURER. SAMPLE TO BE SUBMITTED FOR ARCHITECTS APPROVAL.	FURNITURE	FRICITION STAYS, HANDLES ETC AS SUPPLIED BY MANUFACTURER. SAMPLE TO BE SUBMITTED FOR ARCHITECTS APPROVAL.	FURNITURE	FRICITION STAYS, HANDLES ETC AS SUPPLIED BY MANUFACTURER. SAMPLE TO BE SUBMITTED FOR ARCHITECTS APPROVAL.

GLAZING - TO BE AS PER SANS 10400 PART N & PART XA			TOTAL GLAZED AREA
QUANTITY	A x 2		
AREA	1.75m <sup>2</sup>		3.5 m <sup>2</sup>
THICKNESS	6 mm		
GLAZING	L.S.G		

SANS 10400 OCCUPANCY / BUILDING CLASSIFICATION: J3

PROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES : ERF 34159 PINETOWN
DRAWING TITLE	: SUBMISSION DRAWINGS : DOOR SCHEDULE
CLIENT INFO	: RABBIT WARREN PROPERTY CC
OWNER'S SIGNATURE	
AUTHOR'S SIGNATURE	
SACAP : PR ARCH 7391	
DATE	: JUNE 2023
SCALE	: 1:50
DESIGNED BY	: TR
DRAWN BY	: SS
DRAWING NO.	: 2023 / 06 / 26 / 006

SCHEDULE OF AREAS	
<b>ERF 34159 PINETOWN</b>	
BUILDING CLASSIFICATION	J3
ZONING	TRANSPORT ORIENTATED DEVELOPMENT
<b>SITE AREA</b>	<b>3290m<sup>2</sup></b>
<b>PERMITTED COV @ 90%</b>	<b>2961m<sup>2</sup></b>
<b>PERMITTED FAR @ 2.5</b>	<b>8225m<sup>2</sup></b>
<b>PROPOSED FAR</b>	<b>2838.15 m<sup>2</sup></b>
EXG. F.A.R	2192.17 m <sup>2</sup>
NEW F.A.R	645.98 m <sup>2</sup>
<b>PROPOSED COVERAGE</b>	<b>1771.98 m<sup>2</sup></b>
	<b>(0.53)</b>
EXG. COVERAGE	1051.05 m <sup>2</sup>
NEW COVERAGE	720.93 m <sup>2</sup>
<b>BASIS OF F.A.R CALCULATION:</b>	
<b>EXISTING BUILDING 1</b>	
GROUND FLOOR F.A.R	178.66m <sup>2</sup>
FIRST FLOOR F.A.R	178.66m <sup>2</sup>
<b>EXISTING BUILDING 2</b>	
GROUND FLOOR F.A.R	2.5 m <sup>2</sup>
<b>EXISTING BUILDING 3</b>	
GROUND FLOOR F.A.R	162.77m <sup>2</sup>
<b>EXISTING BUILDING 4</b>	
GROUND FLOOR F.A.R	65.25m <sup>2</sup>
<b>EXISTING BUILDING 5</b>	
GROUND FLOOR F.A.R	160.64m <sup>2</sup>
<b>EXISTING BUILDING 6</b>	
GROUND FLOOR F.A.R	368.21m <sup>2</sup>
FIRST FLOOR F.A.R	368.21m <sup>2</sup>
SECOND FLOOR F.A.R	368.21m <sup>2</sup>
<b>EXISTING BUILDING 7</b>	
GROUND FLOOR F.A.R	113.02m <sup>2</sup>
FIRST FLOOR F.A.R	113.02m <sup>2</sup>
SECOND FLOOR F.A.R	113.02m <sup>2</sup>
<b>NEW BULK STORAGE AREA</b>	
GROUND FLOOR F.A.R	645.98m <sup>2</sup>
<b>OTHER NON F.A.R AREAS:</b>	
<b>NEW COVERED PARKING AREA</b>	74.95m <sup>2</sup>
<b>AREA FOR FEE CALCULATION PURPOSES</b>	<b>720.93m<sup>2</sup></b>
(EXCLUDES EXG. BUILDINGS)	
<b>PARKING PROVIDED</b>	<b>30 BAYS</b>



ERF 6813

EXG. SW MH

DEMOLITION PLAN  
SCALE 1:200 @ A1

SANS 10400 OCCUPANCY / BUILDING CLASSIFICATION: J3

PROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES : ERF 34159 PINETOWN
DRAWING TITLE	: SUBMISSION DRAWINGS : DEMOLITION PLAN
CLIENT INFO	: RABBIT WARREN PROPERTY CC
OWNER'S SIGNATURE	
AUTHOR'S SIGNATURE	
SACAP : PR ARCH 7391	
DATE	: JUNE 2023
SCALE	: 1:200
DESIGNED BY	: TR
DRAWN BY	: SS
DRAWING NO.	: 2023 / 06 / 26 / 007

**SANS 10400 - PART T - FIRE PROTECTION NOTES**

- SAFETY DISTANCES TO COMPLY WITH PART T - 4.2 AND PART T - TABLE 2.
- ALL BUILDING ELEMENTS, COMPONENTS AND MATERIALS TO COMPLY WITH PART T - 4.5.
- THE FIRE RESISTANCE OF OCCUPANCY SEPARATING ELEMENTS TO COMPLY WITH PART T - 4.6 AND PART T - TABLE 4.
- THE FIRE STABILITY OF ALL STRUCTURAL ELEMENTS & COMPONENTS TO COMPLY PART T - 4.7 AND PART T - TABLE 6.
- ALL OPENINGS IN EXTERNAL AND/OR DIVISION WALLS TO BE PROTECTED IN COMPLIANCE PART T - 4.10
- ALL CEILINGS TO COMPLY WITH PART T - 4.13.
- ALL FLOOR COVERINGS TO COMPLY WITH PART T - 4.14 AND PART T - TABLE 8.
- ALL INTERNAL FINISHES TO COMPLY WITH PART T - 4.15 AND PART T - TABLE 9.
- THE PROVISION OF ESCAPE ROUTES TO BE IN ACCORDANCE WITH PART T - 4.16
- EXIT DOORS TO COMPLY WITH PART T - 4.17.
- THE WIDTH OF ESCAPE ROUTES TO BE IN ACCORDANCE WITH PART T - 4.21 AND PART T - TABLE 10.
- STAIRWAYS AND CHANGES IN FLOOR LEVEL ALONG ESCAPE ROUTES TO BE IN ACCORDANCE WITH PART T - 4.23.
- ALL OPENINGS IN FLOORS TO COMPLY WITH PART T - 4.26.
- FIRE EQUIPMENT AND ESCAPE ROUTE SIGNAGE TO BE PROVIDED IN ACCORDANCE PART T - 4.29.
- EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH PART T - 4.30.
- ALLOWANCES FOR MAINTENANCE OF FIRE FIGHTING EQUIPMENT SHOULD BE IN ACCORDANCE WITH PART T - 4.32
- WATER RETICULATION FOR FIRE FIGHTING EQUIPMENT / PURPOSES TO COMPLY PART T - 4.33.
- THE PROVISION OF FIRE HOSE REELS TO BE IN ACCORDANCE AND COMPLY WITH PART T - 4.34 OTHERWISE AS PER CALCULATION.
- THE PROVISION OF FIRE HYDRANTS TO BE IN ACCORDANCE AND COMPLY WITH PART T - 4.35 OTHERWISE AS PER CALCULATION.
- THE PROVISION OF PORTABLE FIRE EXTINGUISHERS TO BE IN ACCORDANCE AND COMPLY WITH PART T - 4.37 AND PART T - TABLE 11 AND OTHERWISE AS PER CALCULATION.
- SERVICES LOCATED IN, OR PENETRATING THROUGH STRUCTURAL OR SEPARATING ELEMENTS TO COMPLY PART T - 4.41.
- SMOKE CONTROL TO BE IN ACCORDANCE AND COMPLY WITH PART T - 4.42 AND OTHERWISE AS PER CALCULATION.
- AIR CONDITIONING AND ARTIFICIAL VENTILATION SYSTEMS TO COMPLY WITH PART T - 4.43.
- BUILDING ACCESS FOR FIRE FIGHTING AND RESCUE PURPOSES TO BE IN ACCORDANCE WITH PART T - 4.54.

**FIRE EQUIPMENT QUANTITY CALCULATIONS**

**EXISTING AREAS**

EXISTING BUILDING 1 - G1 - OVER TWO LEVELS @ 178.66m <sup>2</sup> PER FLOOR	= 357.32m <sup>2</sup>
EXISTING BUILDING 2 - G1 - @ 2.5m <sup>2</sup>	= 2.5m <sup>2</sup>
EXISTING BUILDING 3 - G1 - @ 162.77m <sup>2</sup>	= 162.77m <sup>2</sup>
EXISTING BUILDING 4 - G1 - @ 65.25m <sup>2</sup>	= 65.25m <sup>2</sup>
EXISTING BUILDING 5 - G1 - @ 160.64m <sup>2</sup>	= 160.64m <sup>2</sup>
EXISTING BUILDING 6 - G1 - OVER THREE LEVELS @ 368.21m <sup>2</sup> PER FLOOR	= 1104.63m <sup>2</sup>
EXISTING BUILDING 7 - G1 - OVER THREE LEVELS @ 113.02m <sup>2</sup> PER FLOOR	= 339.06m <sup>2</sup>
	= 2192.17m <sup>2</sup>

**NEW J3 BULK STORAGE ONE FLOOR LEVEL @ 645.98m<sup>2</sup>**

TYPE	REQUIRED	PROVIDED
FH @1/1000m <sup>2</sup>	3	3
HR @1/500m <sup>2</sup> PER STOREY	2	2
FE @1/400m <sup>2</sup>	2	3

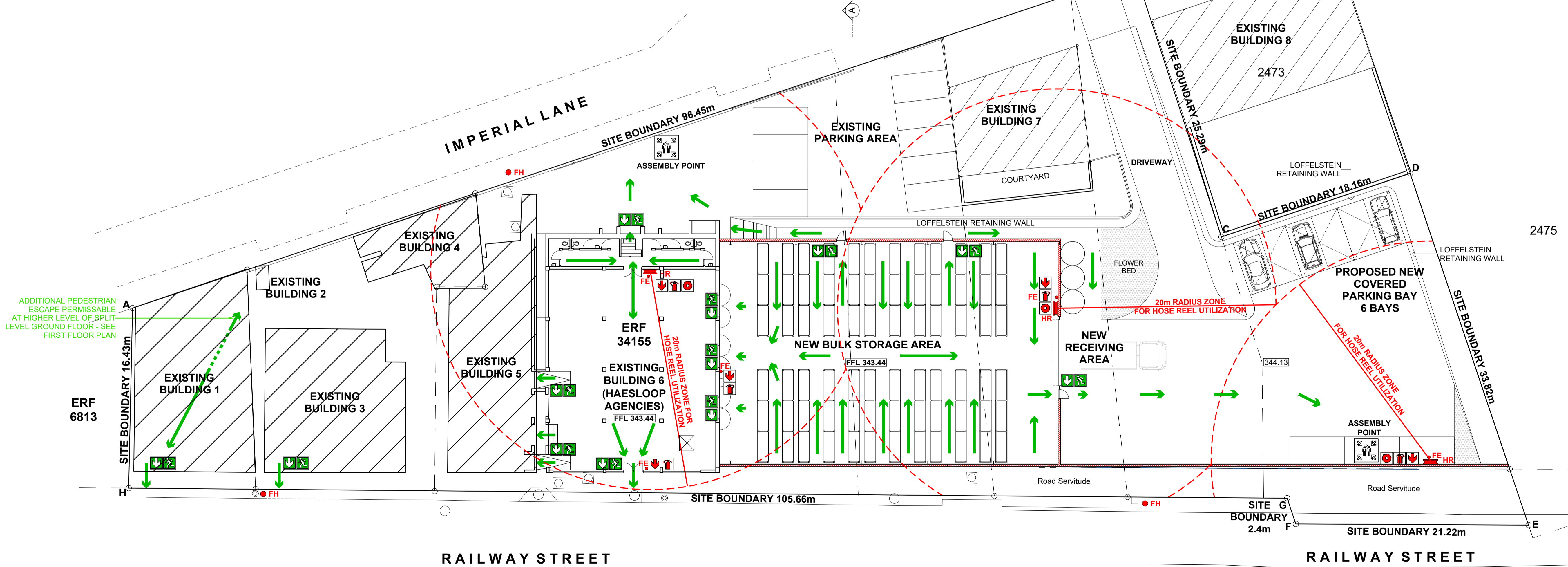
**SMOKE CONTROL CALCULATIONS**

**REQUIRED:**

AGGREGATE AREA OF 3% OF TOTAL FLOOR AREA AS PER SANS 10400 PART T - 4.42  
 = 645.98m<sup>2</sup> x 0.03 = 19.38m<sup>2</sup>

**PROVIDED:**

31 x CURVENT SUPERFLOW SFF-6 @ 0.78m<sup>2</sup> EACH  
 TOTAL AGGREGATE THROAT AREA = 24.18m<sup>2</sup>



**SANS 10400 OCCUPANCY / BUILDING CLASSIFICATION: J3**

PROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES : ERF 34159 PINETOWN
DRAWING TITLE	: SUBMISSION DRAWINGS : FIRE ESCAPE PLAN
CLIENT INFO	: RABBIT WARREN PROPERTY CC
OWNER'S SIGNATURE	<i>[Signature]</i>
AUTHOR'S SIGNATURE	<i>[Signature]</i>
SACAP	: PR ARCH 7391
DATE	: JUNE 2023
SCALE	: 1:200
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**FIRE PLAN - GROUND FLOOR LEVEL**  
SCALE 1:200 @ A1