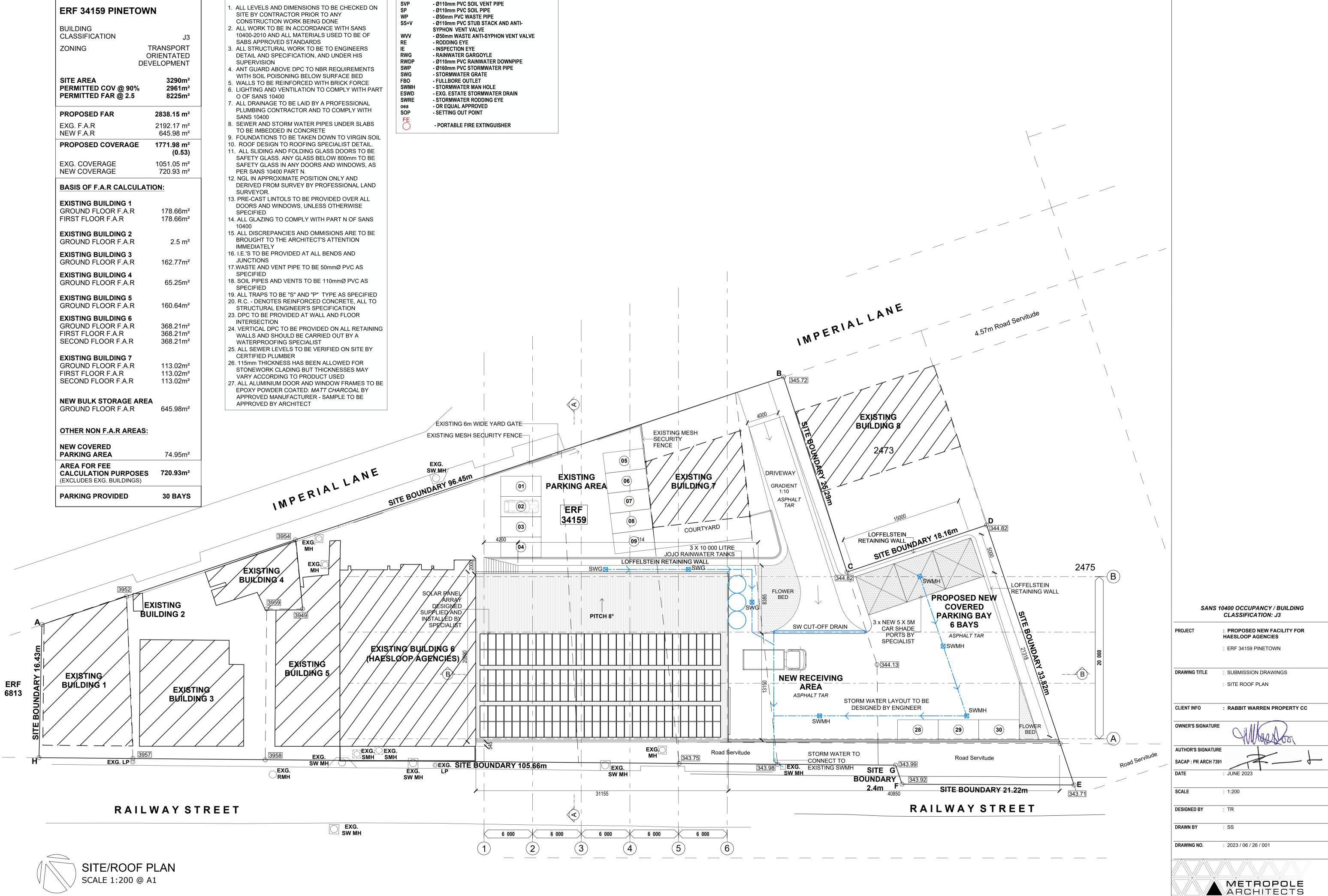


SCHEDULE OF AREAS

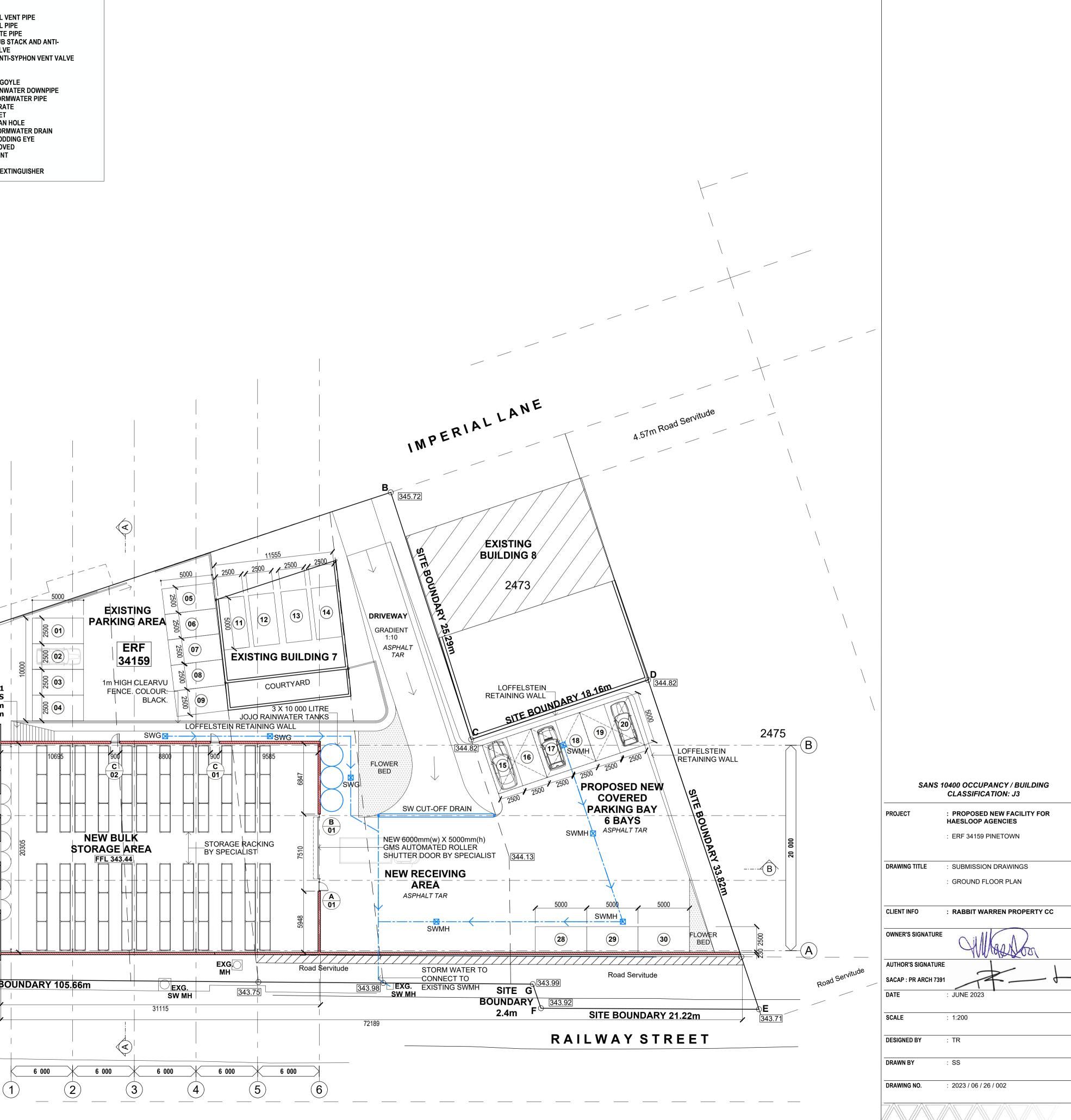


GENERAL NOTES

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SCHEDULE OF AREAS	GENERAL NOTES	GENERAL LEGEND
ERF 34159 PINETOWN	1. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO ANY CONSTRUCTION WORK BEING DONE	SVP - Ø110mm PVC SOIL VENT SP - Ø110mm PVC SOIL PIPE WP - Ø50mm PVC WASTE PIPI SS+V Ø110mm PVC STUP STA
BUILDING CLASSIFICATION J3	2. ALL WORK TO BE IN ACCORDANCE WITH SANS 10400-2010 AND ALL MATERIALS USED TO BE OF	SS+V - Ø110mm PVC STUB STA SYPHON VENT VALVE WVV - Ø50mm WASTE ANTI-SY
ZONING TRANSPORT ORIENTATED DEVELOPMENT	SABS APPROVED STANDARDS 3. ALL STRUCTURAL WORK TO BE TO ENGINEERS DETAIL AND SPECIFICATION, AND UNDER HIS SUPERVISION	RE- RODDING EYEIE- INSPECTION EYERWG- RAINWATER GARGOYLERWDP- Ø110mm PVC RAINWATE
SITE AREA 3290m <sup>2</sup> PERMITTED COV @ 90% 2961m <sup>2</sup> PERMITTED FAR @ 2.5 8225m <sup>2</sup>	<ul> <li>4. ANT GUARD ABOVE DPC TO NBR REQUIREMENTS WITH SOIL POISONING BELOW SURFACE BED</li> <li>5. WALLS TO BE REINFORCED WITH BRICK FORCE</li> <li>6. LIGHTING AND VENTILATION TO COMPLY WITH PART O OF SANS 10400</li> </ul>	SWP- Ø160mm PVC STORMWASWG- STORMWATER GRATEFBO- FULLBORE OUTLETSWMH- STORMWATER MAN HOLESWD- EXG. ESTATE STORMWA
PROPOSED FAR         2838.15 m²	7. ALL DRAINAGE TO BE LAID BY A PROFESSIONAL PLUMBING CONTRACTOR AND TO COMPLY WITH SANS 10400	SWRE - STORMWATER RODDING oea - OR EQUAL APPROVED SOP - SETTING OUT POINT
EXG. F.A.R         2192.17 m²           NEW F.A.R         645.98 m²	8. SEWER AND STORM WATER PIPES UNDER SLABS TO BE IMBEDDED IN CONCRETE	- PORTABLE FIRE EXTING
PROPOSED COVERAGE 1771.98 m <sup>2</sup> (0.53)	<ul> <li>9. FOUNDATIONS TO BE TAKEN DOWN TO VIRGIN SOIL</li> <li>10. ROOF DESIGN TO ROOFING SPECIALIST DETAIL.</li> <li>11. ALL SLIDING AND FOLDING GLASS DOORS TO BE SAFETY GLASS. ANY GLASS BELOW 800mm TO BE</li> </ul>	
EXG. COVERAGE1051.05 m²NEW COVERAGE720.93 m²	SAFETY GLASS IN ANY DOORS AND WINDOWS, AS PER SANS 10400 PART N. 12. NGL IN APPROXIMATE POSITION ONLY AND	
BASIS OF F.A.R CALCULATION:	DERIVED FROM SURVEY BY PROFESSIONAL LAND SURVEYOR.	
EXISTING BUILDING 1GROUND FLOOR F.A.R178.66m²FIRST FLOOR F.A.R178.66m²	13. PRE-CAST LINTOLS TO BE PROVIDED OVER ALL DOORS AND WINDOWS, UNLESS OTHERWISE SPECIFIED 14. ALL GLAZING TO COMPLY WITH PART N OF SANS 10400	
EXISTING BUILDING 2GROUND FLOOR F.A.R2.5 m²	15. ALL DISCREPANCIES AND OMMISIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY	
EXISTING BUILDING 3GROUND FLOOR F.A.R162.77m²	16. I.E.'S TO BE PROVIDED AT ALL BENDS AND JUNCTIONS 17.WASTE AND VENT PIPE TO BE 50mmØ PVC AS	
EXISTING BUILDING 4GROUND FLOOR F.A.R65.25m²	SPECIFIED 18. SOIL PIPES AND VENTS TO BE 110mmØ PVC AS SPECIFIED	
EXISTING BUILDING 5 GROUND FLOOR F.A.R 160.64m <sup>2</sup>	19. ALL TRAPS TO BE "S" AND "P" TYPE AS SPECIFIED 20. R.C DENOTES REINFORCED CONCRETE, ALL TO STRUCTURAL ENGINEER'S SPECIFICATION	
EXISTING BUILDING 6GROUND FLOOR F.A.R368.21m²FIRST FLOOR F.A.R368.21m²SECOND FLOOR F.A.R368.21m²	<ul> <li>23. DPC TO BE PROVIDED AT WALL AND FLOOR INTERSECTION</li> <li>24. VERTICAL DPC TO BE PROVIDED ON ALL RETAINING WALLS AND SHOULD BE CARRIED OUT BY A WATERPROOFING SPECIALIST</li> </ul>	
EXISTING BUILDING 7GROUND FLOOR F.A.R113.02m²FIRST FLOOR F.A.R113.02m²SECOND FLOOR F.A.R113.02m²	25. ALL SEWER LEVELS TO BE VERIFIED ON SITE BY CERTIFIED PLUMBER 26. 115mm THICKNESS HAS BEEN ALLOWED FOR STONEWORK CLADING BUT THICKNESSES MAY VARY ACCORDING TO PRODUCT USED 27. ALL ALUMINIUM DOOR AND WINDOW FRAMES TO BE	
<b>NEW BULK STORAGE AREA</b> GROUND FLOOR F.A.R 645.98m <sup>2</sup>	EPOXY POWDER COATED: MATT CHARCOAL BY APPROVED MANUFACTURER - SAMPLE TO BE APPROVED BY ARCHITECT	
OTHER NON F.A.R AREAS:		
NEW COVERED PARKING AREA74.95m²AREA FOR FEE		
(EXCLUDES EXG. BUILDINGS)	LANE	av 96.45m
PARKING PROVIDED 30 BAYS	IMPERIALLANE	SITE BOUNDARY 96.45m
	3954 EXG.O MH	STAIR 1 WIDTH: VARIES 15 RISERS @ 175mm
	EXG.	14 TREADS @ 300mm
	EXISTING BUILDING 4	
3952 EXISTING	3959	
A BUILDING 2	3949	FFL 343.46
ERF 6813 ERF	EXISTING	
EXISTING BUILDING 1		BUILDING 6
ERF ON BUILDING T	VG 3	
		FFL 343.44
SITE		
H <u>EXG</u>		O OEXG. SITE BOU
LP	EXG. EXG. RMH SW MH	EXG. LP SW MH
	RAILWAY STREE	<b>⊢</b>
	EXG.	•
	SW MH	K





PIPE

-SYPHON VENT VALVE

HOLE MWATER DRAIN DING EYE

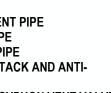
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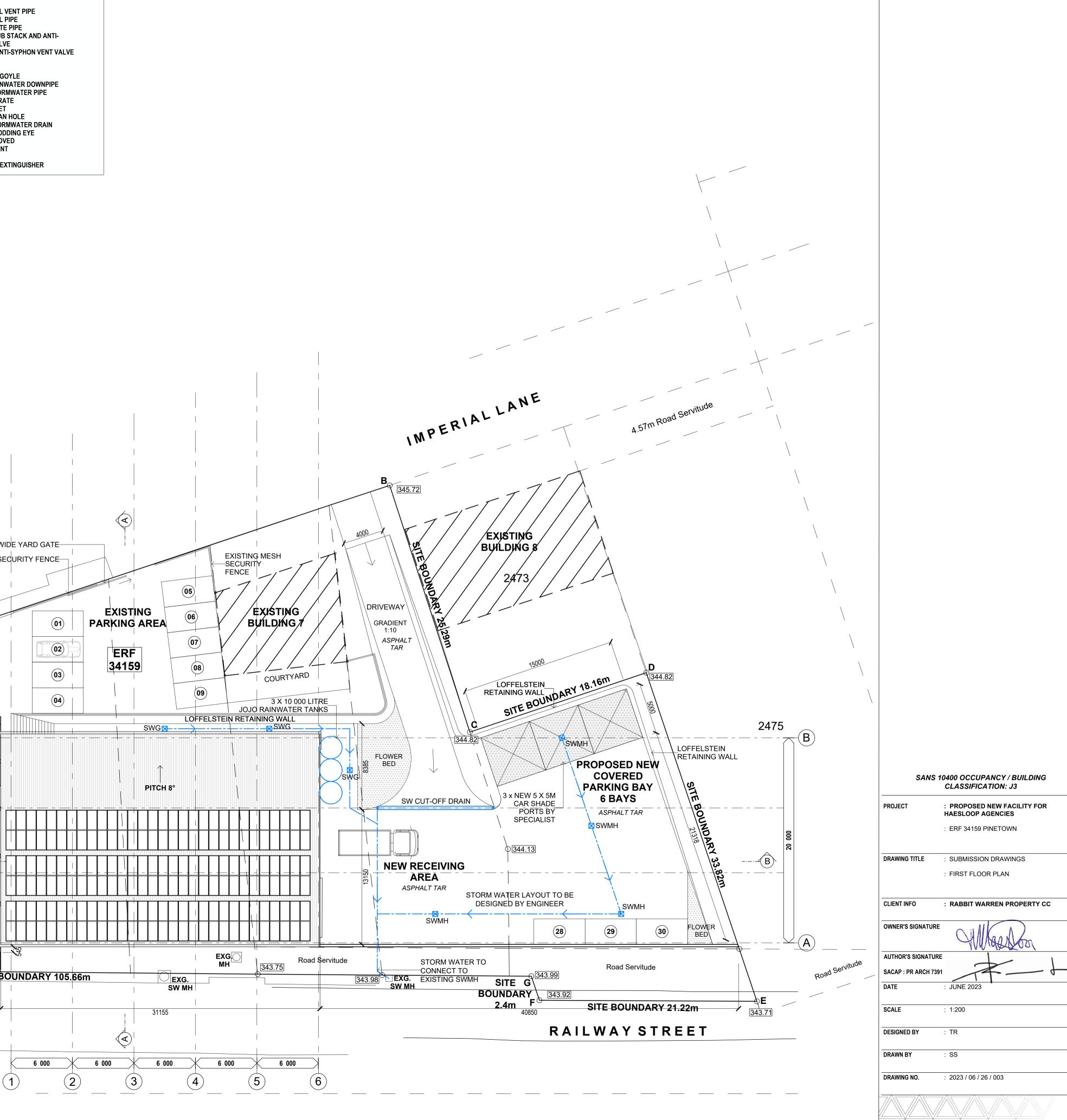
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	SCHEDULE OF AREAS	GENERAL NOTES	GENERAL LEGEND
	SCHEDULE OF AREASERF 34159 PINETOWNBUILDING CLASSIFICATIONZONINGTRANSPORT ORIENTATED DEVELOPMENTSITE AREA PERMITTED COV @ 90% PERMITTED FAR @ 2.5SITE AREA PERMITTED FAR @ 2.5PROPOSED FAR EXG. F.A.R20002 2001PROPOSED FAR 200120002 2001PROPOSED FAR 200120002 2001PROPOSED FAR 200120012 2001PROPOSED COVERAGE 20011771.98 m² 2003COVERAGE 20031051.05 m² 2003EXG. COVERAGE 20011051.05 m² 2003EXG. COVERAGE 20031051.05 m² 2003EXG. COVERAGE 20031051.05 m² 2003EXG. COVERAGE 20031051.05 m² 2003EXISTING BUILDING 1 GROUND FLOOR F.A.R FIRST FLOOR F.A.R178.66m² 178.66m²	<ul> <li>GENERAL NOTES</li> <li>1. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO ANY CONSTRUCTION WORK BEING DONE</li> <li>2. ALL WORK TO BE IN ACCORDANCE WITH SANS 10400-2010 AND ALL MATERIALS USED TO BE OF SABS APPROVED STANDARDS</li> <li>3. ALL STRUCTURAL WORK TO BE TO ENGINEERS DETAIL AND SPECIFICATION, AND UNDER HIS SUPERVISION</li> <li>4. ANT GUARD ABOVE DPC TO NBR REQUIREMENTS WITH SOIL POISONING BELOW SURFACE BED</li> <li>5. WALLS TO BE REINFORCED WITH BRICK FORCE</li> <li>6. LIGHTING AND VENTILATION TO COMPLY WITH PART O OF SANS 10400</li> <li>7. ALL DRAINAGE TO BE LAID BY A PROFESSIONAL PLUMBING CONTRACTOR AND TO COMPLY WITH SANS 10400</li> <li>8. SEWER AND STORM WATER PIPES UNDER SLABS TO BE IMBEDDED IN CONCRETE</li> <li>9. FOUNDATIONS TO BE TAKEN DOWN TO VIRGIN SOIL</li> <li>10. ROOF DESIGN TO ROOFING SPECIALIST DETAIL.</li> <li>11. ALL SLIDING AND FOLDING GLASS DOORS TO BE SAFETY GLASS. ANY GLASS BELOW 800mm TO BE SAFETY GLASS. IN ANY DOORS AND WINDOWS, AS PER SANS 10400 PART N.</li> <li>12. NGL IN APPROXIMATE POSITION ONLY AND DERIVED FROM SURVEY BY PROFESSIONAL LAND SURVEYOR.</li> <li>13. PRE-CAST LINTOLS TO BE PROVIDED OVER ALL DOORS AND WINDOWS, UNLESS OTHERWISE SPECIFIED</li> <li>14. ALL GLAZING TO COMPLY WITH PART N OF SANS 10400</li> </ul>	GENERAL LEGENDSVPØ110mm PVC SOIL VENTSPØ110mm PVC SOIL PIPEWPØ50mm PVC WASTE PIPESS+VØ110mm PVC STUB STACSYPHON VENT VALVEWVVØ50mm WASTE ANTI-SYPRERODDING EYEIEINSPECTION EYERWGRAINWATER GARGOYLERWDPØ110mm PVC RAINWATESWPØ160mm PVC STORMWATESWGSTORMWATER GRATEFBOFULLBORE OUTLETSWMHSTORMWATER MAN HOLLESWDEXG. ESTATE STORMWATESWRESTORMWATER RODDINGoeaOR EQUAL APPROVEDSOPSETTING OUT POINTFEPORTABLE FIRE EXTING
	EXISTING BUILDING 2 GROUND FLOOR F.A.R2.5 m²EXISTING BUILDING 3 GROUND FLOOR F.A.R162.77m²EXISTING BUILDING 4	15. ALL DISCREPANCIES AND OMMISIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY 16. I.E.'S TO BE PROVIDED AT ALL BENDS AND JUNCTIONS 17.WASTE AND VENT PIPE TO BE 50mmØ PVC AS SPECIFIED	
	EXISTING BUILDING 5 GROUND FLOOR F.A.R65.25m²EXISTING BUILDING 5 GROUND FLOOR F.A.R160.64m²EXISTING BUILDING 6 GROUND FLOOR F.A.R368.21m²FIRST FLOOR F.A.R368.21m²	<ul> <li>18. SOIL PIPES AND VENTS TO BE 110mmØ PVC AS SPECIFIED</li> <li>19. ALL TRAPS TO BE "S" AND "P" TYPE AS SPECIFIED</li> <li>20. R.C DENOTES REINFORCED CONCRETE, ALL TO STRUCTURAL ENGINEER'S SPECIFICATION</li> <li>23. DPC TO BE PROVIDED AT WALL AND FLOOR INTERSECTION</li> <li>24. VERTICAL DPC TO BE PROVIDED ON ALL RETAINING WALLS AND SHOULD BE CARRIED OUT BY A</li> </ul>	
	SECOND FLOOR F.A.R368.21m²EXISTING BUILDING 77GROUND FLOOR F.A.R113.02m²FIRST FLOOR F.A.R113.02m²SECOND FLOOR F.A.R113.02m²	<ul> <li>WALLS AND STICCLE DE CANNED COT DTA WATERPROOFING SPECIALIST</li> <li>25. ALL SEWER LEVELS TO BE VERIFIED ON SITE BY CERTIFIED PLUMBER</li> <li>26. 115mm THICKNESS HAS BEEN ALLOWED FOR STONEWORK CLADING BUT THICKNESSES MAY VARY ACCORDING TO PRODUCT USED</li> <li>27. ALL ALUMINIUM DOOR AND WINDOW FRAMES TO BE EPOXY POWDER COATED: MATT CHARCOAL BY APPROVED MANUFACTURER - SAMPLE TO BE</li> </ul>	
	NEW BULK STORAGE AREA GROUND FLOOR F.A.R645.98m²OTHER NON F.A.R AREAS:645.98m²NEW COVERED PARKING AREA74.95m²	APPROVED BY ARCHITECT	EXISTING 6m WIDE Y EXISTING MESH SECUR
	AREA FOR FEE CALCULATION PURPOSES (EXCLUDES EXG. BUILDINGS) 720.93m <sup>2</sup>	IMPERIALLANE	EXG. SW MH SITE BOUNDARY 96.45m
	PARKING PROVIDED 30 BAYS	IMPERIA	SITE BOUNDA
ERF 6813 H	3952 EXISTING BUILDING 1 EXIST BUILDING 1 EXIST BUILDING 1 EXIST BUILDING 1 EXIST BUILDING 1 EXIST BUILDING 1 EXIST BUILDING 1	EXISTING BUILDING 5 ING 3 ING 3	ERF 34155 XISTING ILDING 2 AESLOOP ENCIES) FL 346.78 26 27 ENCIES) FL 346.78 26 20 ENCIES) FL 346.78
	<b>—</b> • • • • • • • • • • • • •		
-	RAILWAYS		
		EXG. SW MH	

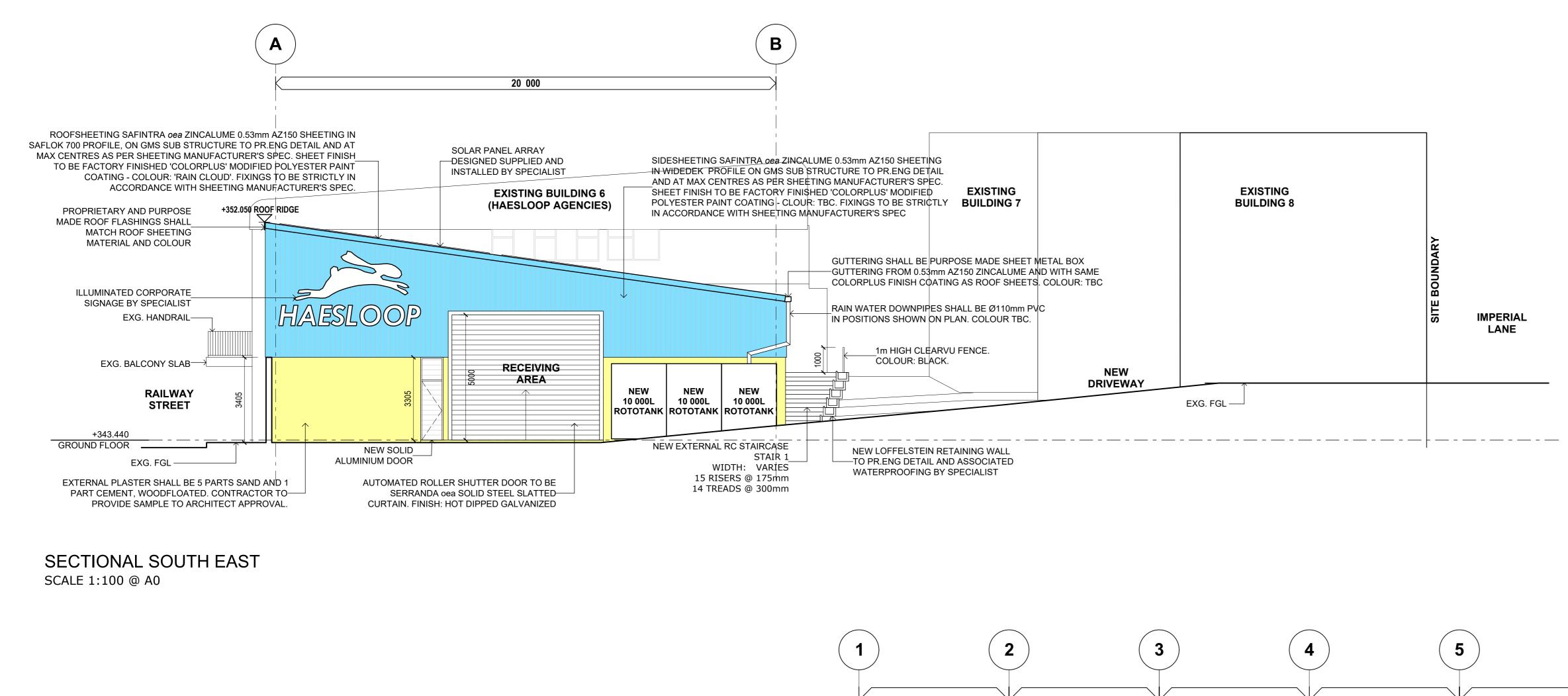
FIRST FLOOR PLAN SCALE 1:200 @ A1

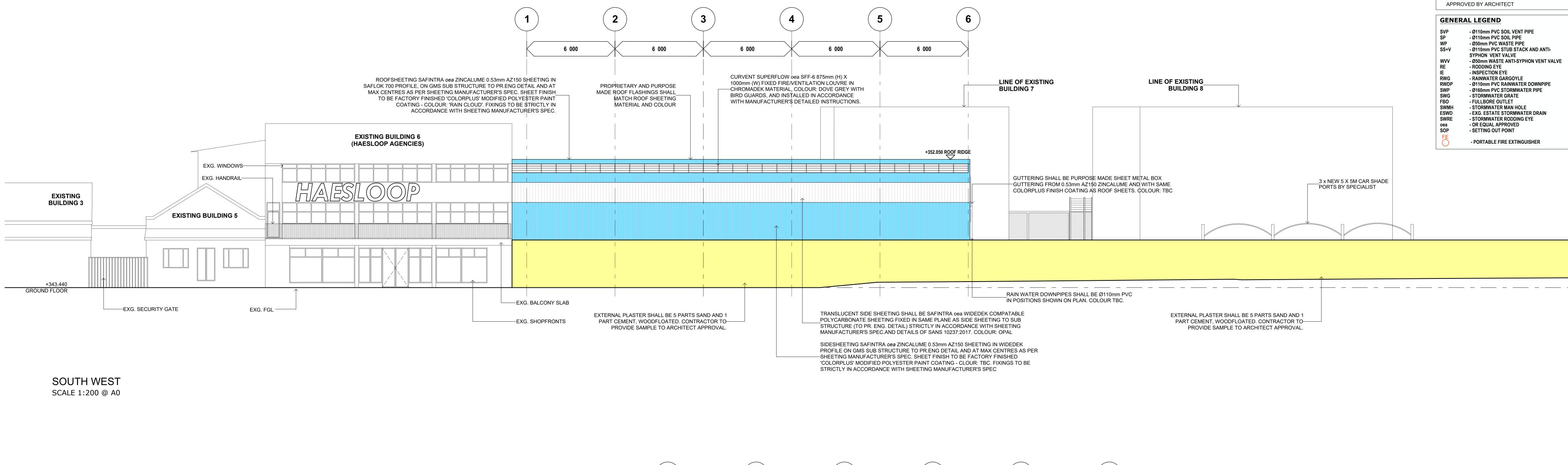
EXG. SW MH

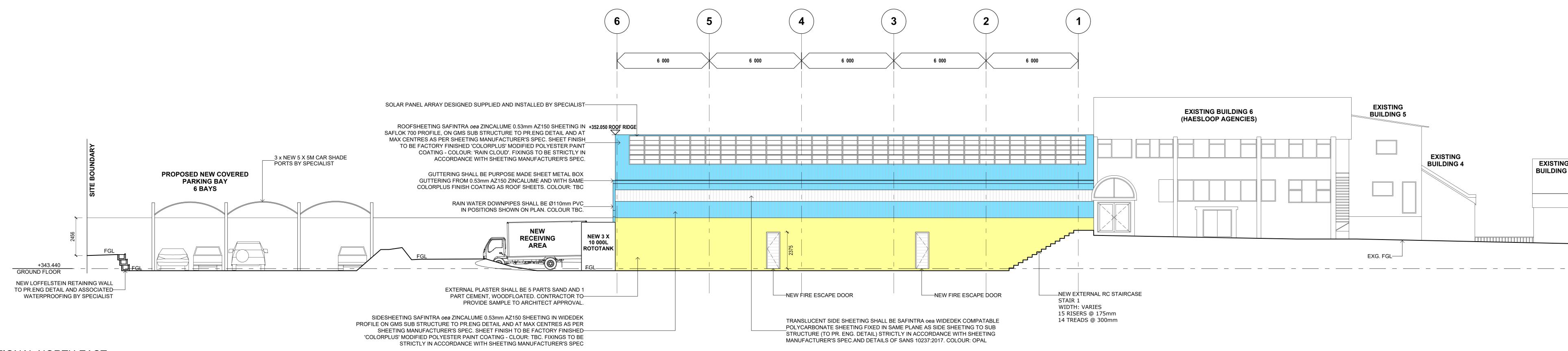


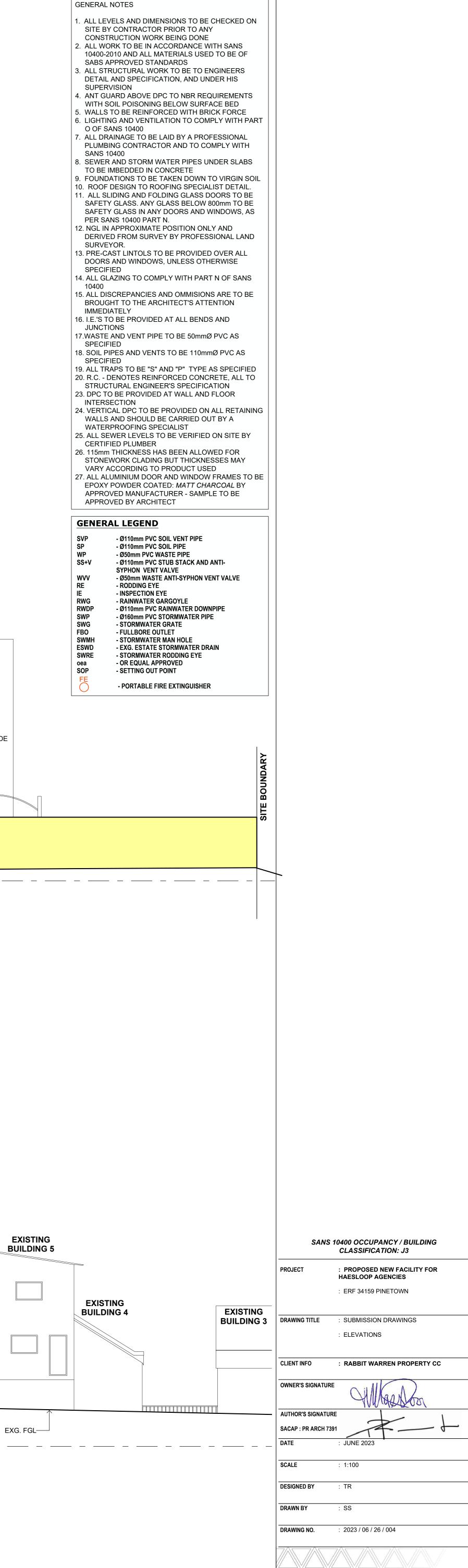


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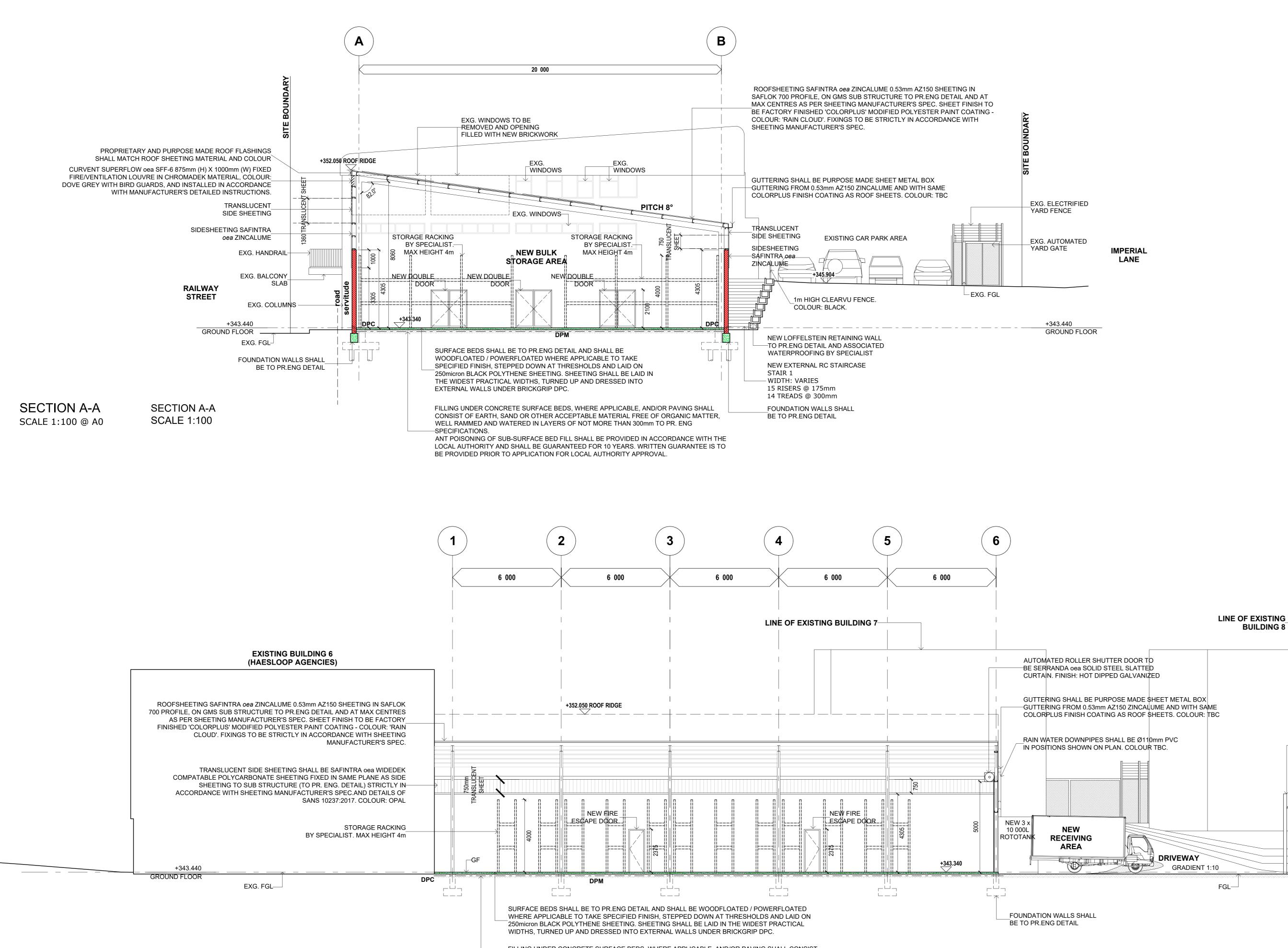






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SECTION B - B SCALE 1:100 @ A0

FILLING UNDER CONCRETE SURFACE BEDS, WHERE APPLICABLE, AND/OR PAVING SHALL CONSIST OF EARTH, SAND OR OTHER ACCEPTABLE MATERIAL FREE OF ORGANIC MATTER, WELL RAMMED AND WATERED IN LAYERS OF NOT MORE THAN 300mm TO PR. ENG SPECIFICATIONS.

ANT POISONING OF SUB-SURFACE BED FILL SHALL BE PROVIDED IN ACCORDANCE WITH THE LOCAL AUTHORITY AND SHALL BE GUARANTEED FOR 10 YEARS. WRITTEN GUARANTEE IS TO BE PROVIDED PRIOR TO APPLICATION FOR LOCAL AUTHORITY APPROVAL.



3 x NEW 5 X 5M CAR SHADE PORTS BY SPECIALIST

+343.240

GENERAL NOTES		
1. ALL LEVELS AND DIMENS SITE BY CONTRACTOR P		
CONSTRUCTION WORK E		
2. ALL WORK TO BE IN ACC		
10400-2010 AND ALL MAT SABS APPROVED STAND		
3. ALL STRUCTURAL WORK		
DETAIL AND SPECIFICAT	ION, AND UNDER HIS	
SUPERVISION 4. ANT GUARD ABOVE DPC		
WITH SOIL POISONING B	-	
5. WALLS TO BE REINFORC		
6. LIGHTING AND VENTILAT O OF SANS 10400	ION TO COMPLY WITH PART	
7. ALL DRAINAGE TO BE LA	ID BY A PROFESSIONAL	
PLUMBING CONTRACTOR	R AND TO COMPLY WITH	
SANS 10400 8. SEWER AND STORM WAT		
TO BE IMBEDDED IN CON		
9. FOUNDATIONS TO BE TA	KEN DOWN TO VIRGIN SOIL	
10. ROOF DESIGN TO ROOF 11. ALL SLIDING AND FOLDI		
	ASS BELOW 800mm TO BE	
SAFETY GLASS IN ANY D	OORS AND WINDOWS, AS	
PER SANS 10400 PART N 12. NGL IN APPROXIMATE P	-	
	BY PROFESSIONAL LAND	
SURVEYOR.		
13. PRE-CAST LINTOLS TO E		
DOORS AND WINDOWS, U SPECIFIED	UNLESS OTHERWISE	
14. ALL GLAZING TO COMPL	Y WITH PART N OF SANS	
10400 15. ALL DISCREPANCIES AN		
BROUGHT TO THE ARCH		
IMMEDIATELY		
16. I.E.'S TO BE PROVIDED A JUNCTIONS	AT ALL BENDS AND	
17.WASTE AND VENT PIPE T	O BE 50mmØ PVC AS	
SPECIFIED 18. SOIL PIPES AND VENTS	TO BE 110mm @ DVC AS	
SPECIFIED		
19. ALL TRAPS TO BE "S" AN		
20. R.C DENOTES REINFO STRUCTURAL ENGINEER		
23. DPC TO BE PROVIDED A		
WALLS AND SHOULD BE	ROVIDED ON ALL RETAINING	
WATERPROOFING SPEC		
25. ALL SEWER LEVELS TO	BE VERIFIED ON SITE BY	
CERTIFIED PLUMBER 26. 115mm THICKNESS HAS	BEEN ALLOWED FOR	
STONEWORK CLADING B	BUT THICKNESSES MAY	
EPOXY POWDER COATE	ND WINDOW FRAMES TO BE D: MATT CHARCOAL BY	
APPROVED MANUFACTU	RER - SAMPLE TO BE	
APPROVED BY ARCHITE	CI	
GENERAL LEGEND		
SVP - Ø110mm PVC SOI	L VENT PIPE	
SP - Ø110mm PVC SOI	L PIPE	
WP - Ø50mm PVC WAS SS+V - Ø110mm PVC STL	ITE PIPE JB STACK AND ANTI-	
SYPHON VENT VA		
WVV - Ø50mm WASTE A RE - RODDING EYE	NTI-SYPHON VENT VALVE	
IE - INSPECTION EYE		
RWG - RAINWATER GAR		
RWDP - Ø110mm PVC RAI SWP - Ø160mm PVC STC	NWATER DOWNPIPE DRMWATER PIPE	
SWG - STORMWATER GI	RATE	
FBO - FULLBORE OUTL SWMH - STORMWATER M		

NEW LOFFELSTEIN RETAINING WALL TO PR.ENG DETAIL AND ASSOCIATED WATERPROOFING BY SPECIALIST

\_\_\_\_\_

ESWD

SWRE

oea SOP

- SETTING OUT POINT

- EXG. ESTATE STORMWATER DRAIN

- PORTABLE FIRE EXTINGUISHER

- STORMWATER RODDING EYE - OR EQUAL APPROVED

SANS	10400 OCCUPANCY / BUILDING CLASSIFICATION: J3
PROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES
	: ERF 34159 PINETOWN
DRAWING TITLE	: SUBMISSION DRAWINGS
	: SECTIONS
CLIENT INFO	: RABBIT WARREN PROPERTY CC
OWNER'S SIGNATURE	Masson
AUTHOR'S SIGNATUR	
SACAP : PR ARCH 739	
DATE	: JUNE 2023
SCALE	: 1:200
DESIGNED BY	: TR
DRAWN BY	: SS
DRAWING NO.	: 2023 / 06 / 26 / 005

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# **INTERNAL & EXTERNAL DOOR SCHEDULE**

QUANTITY1QUANTITY1LOCATIONNEW BULK STORAGE AREALOCATIONNEW BULK STORAGE AREADOORPURPOSE MADE SOLID ALUMINUM SIDE HUNG DOOR WITH FIXED TOP SECTION WITH SLATTED DETAIL PANEL AS SHOWN DESIGNED, SUPPLIED AND FITTED BY SPECIALIST TO ARCHITECTS APPROVAL.DOORAUTOMATED ROLLER SHUTTER DOOR TO E SOLID STEEL SLATTED CURTAIN. FINISH: H GALVANIZEDFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALISTFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALISTFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALISTFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALISTFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALISTFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALISTFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALISTFRAMESTANDARD SECTION ALUMINIUM FRAME TO BE DOOR FINISHDOOR FINISHEPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL, CODE: ANP3055FRAME FINISHEPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL, CODE: ANP3055FURNITUREFRICTION STAYS, HANDLES ETC AS SUPPLIED BY MANUFACTURER.FURNITUREFRICTION STAYS, HANDLES ETC AS SUPPLIED BY MANUFACTURER.				
HEAD HEIGHT +345.795 HEAD HEIGHT -345.795 HEAD HEIGHT -343.44 GFL -343.44 GFL				
+345.785 HEAD HEIGHT - 343.44 GFL - 343.44				6000
+345.785       +345.785         H=AD HEIGHT				
+345.785       +345.785         H=AD HEIGHT				
HEAD HEIGHT       Image: Standard Section Aluminum Frame to Be Designed, supplied and Fitted By Specialist       Standard Section Aluminum Frame to Be Designed, supplied and Fitted By Specialist         Y       Image: Standard Section Aluminum Frame to Be Designed, supplied and Fitted By Specialist       DOOR       DOOR         RAME       Standard Section Aluminum Frame to Be Designed, supplied and Fitted By Specialist       DOOR FinisH       Frame       Standard Section Aluminum Frame to Be Designed, supplied and Fitted By Specialist       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL       Frame FinisH		900		
+343.44 GFL         +343.44 GFL         TYPE A         TYPE A         TYPE B         COLSPAN=	HEAD HEIGHT		-	
TYPE A       TYPE B         TOOR       TYPE B         QUANTITY       1       COLLER DOOR         QUANTITY       1       OCATION         QUANTITY       1       COLLER DOOR         QUANTITY       1       COLLER DOOR         QUANTITY       1       COLLER DOOR         QUANTITY       1       COLLER DOOR         DOOR       NEW BULK STORAGE AREA       LOCATION       NEW BULK STORAGE AREA         DOOR       SECTION WITH SLATTED DETAIL PANEL AS SHOWN DESIGNED, SUPPLIED AND FITTED BY SPECIALIST TO ARCHITECTS APPROVAL.       DOOR       AUTOMATED CURTAIN. FINISH: H GALVANIZED         FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECT				
TYPE A       TYPE B         DOOR       QUANTITY       1       ROLLER DOOR         QUANTITY       1       QUANTITY       1         LOCATION       NEW BULK STORAGE AREA       LOCATION       NEW BULK STORAGE AREA         DOOR       PURPOSE MADE SOLID ALUMINUM SIDE HUNG DOOR WITH FIXED TOP SECTION WITH SLATTED DETAIL PANEL AS SHOWN DESIGNED, SUPPLIED AND FITTED BY SPECIALIST TO ARCHITECTS APPROVAL.       DOOR       AUTOMATED ROLLER SHUTTER DOOR TO E SOLID STEEL SLATTED CURTAIN. FINISH: H GALVANIZED         FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALIST       FRAME TO BE DESIGNED, SUPPLIED AND FITTED BY SPECIALIST       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       STANDARD SECTION ALUMINIUM FRAME TO BE DESIGNED, SUPPLIED AND FITTED       FRAME       BY SPECIALIST         DOOR FINISH       EPOXY POWDER COATING WITH 15 YEAR GUARANTEE COLOUR: MATT CHARCOAL CODE: ANP3055       FRAME FINISH       EPOXY POWDER COATING WITH 15 YEA	+343.44 GFL		+343.44 GFL	
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	FRAME FINISH		FRAME FINISH	
	FURNITURE		FURNITURE	FRICTION STAYS, HANDLES ETC AS SUPPLIED BY MAN SAMPLE TO BE SUBMITTED FOR ARCHITECTS APPROV

			GLAZING LE M.A.G = MONOLITH	<b>IC</b> ANNEALED GLASS	S-CLR-LOW
			L.S.G = LAMINATED		D-CLR-LOW
	FIRE EXIT DOOF		T.S.G = TOUGHENE	D SAFETY GLASS	D-TNT-LOW
	+345.815 HEAD HEIGHT 	900 SEE SWING DIRECTION ON PLAN	+345.54 		EQ (A)
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			GLA QUANTITY AREA THICKNESS GLAZING	ZING - TO BE AS PER S A x 2 1.75m <sup>2</sup> 6 mm L.S.G	SANS 10400

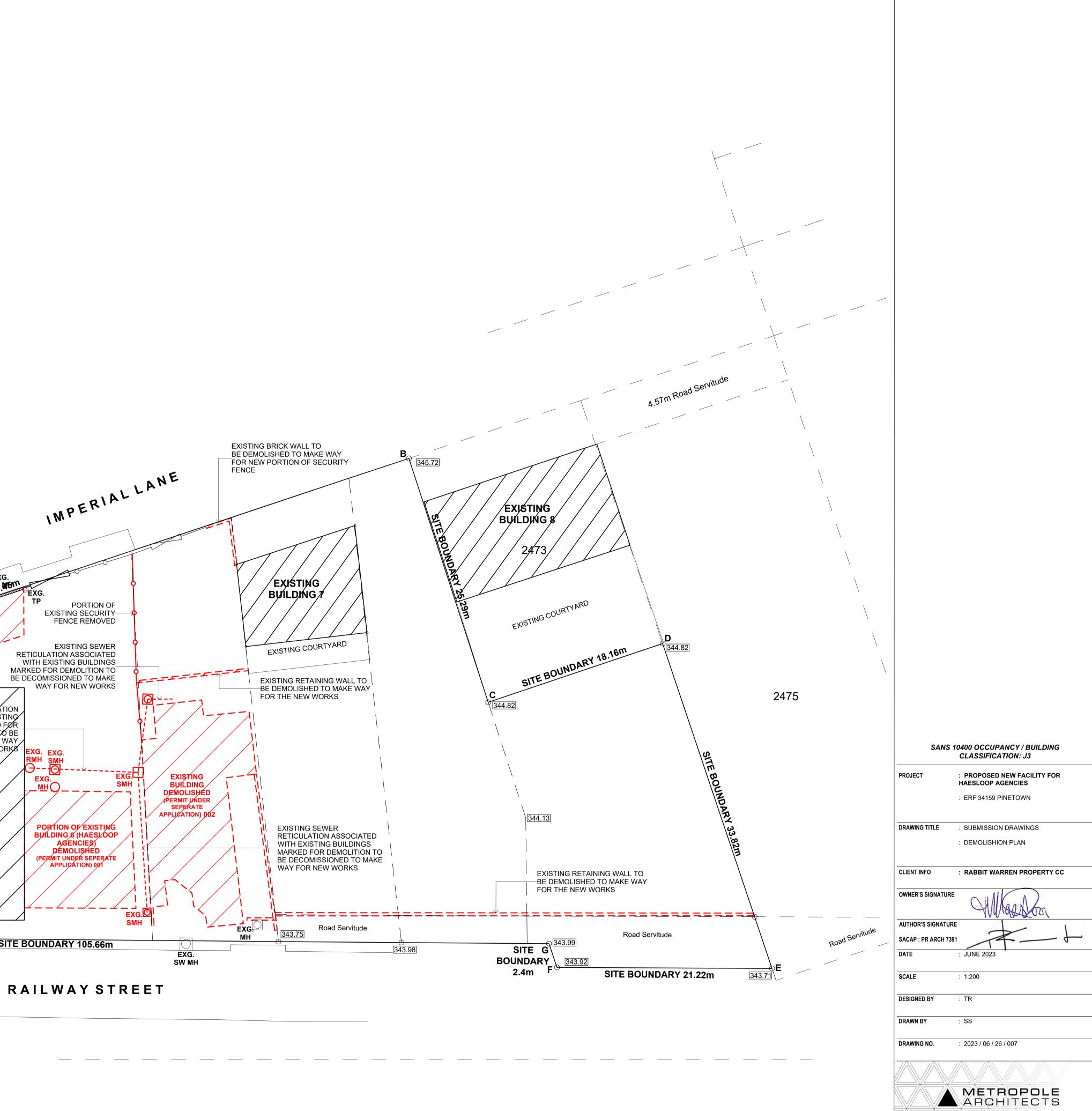
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SANS	10400 OCCUPANCY / BUILDING CLASSIFICATION: J3
ROJECT	: PROPOSED NEW FACILITY FOR HAESLOOP AGENCIES
	:ERF 34159 PINETOWN
RAWING TITLE	: SUBMISSION DRAWINGS
	: DOOR SCHEDULE
LIENT INFO	: RABBIT WARREN PROPERTY CC
WNER'S SIGNATUR	Mappon
UTHOR'S SIGNATUF	
ACAP : PR ARCH 73	
ATE	: JUNE 2023
CALE	: 1:50
ESIGNED BY	: TR
RAWN BY	: SS
RAWING NO.	: 2023 / 06 / 26 / 006
	ARCHITECTS
	TEL: +27 31 303 7858 www.metropolearchiteots.com email:/info@metropolearchiteots.com

OF AREAS				
NETOWN				
J3				
TRANSPORT ORIENTATED DEVELOPMENT				
3290m² @ 90% 2961m² @ 2.5 8225m²				
2838.15 m <sup>2</sup>				
645.98 m²	-			
(0.53)				
1051.05 m² 720.93 m²				
ALCULATION:				
<b>NG 1</b> F.A.R 178.66m <sup>2</sup> .R 178.66m <sup>2</sup>				
<b>NG 2</b> F.A.R 2.5 m <sup>2</sup>				
NG 3				
<b>NG 4</b> F.A.R 65.25m <sup>2</sup>				
<b>NG 5</b> F.A.R 160.64m²				
<b>NG 6</b> F.A.R 368.21m <sup>2</sup> .R 368.21m <sup>2</sup> F.A.R 368.21m <sup>2</sup>				
<b>NG 7</b> F.A.R 113.02m <sup>2</sup> .R 113.02m <sup>2</sup> F.A.R 113.02m <sup>2</sup>				
<b>AGE AREA</b> F.A.R 645.98m²				/
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74.95m²				
JRPOSES 720.93m <sup>2</sup> ILDINGS)			DARY	EXG. SW W6M 96. EXG.
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$\frown$	3958 EXG. RMH	EXG. SW MH		SITE BOUN
	J3         TRANSPORT ORIENTATED DEVELOPMENT         @ 90%       2961m²         @ 2.5       8225m²         2838.15 m²         2192.17 m²         645.98 m²         3RAGE       1771.98 m²         (0.53)         1051.05 m²         720.93 m²         ALCULATION:         NG 1         F.A.R       178.66m²         R       162.77m²         NG 2       5         F.A.R       160.64m²         NG 5       160.64m²         R       368.21m²         A.R       368.21m²         NG 7       113.02m²         F.A.R       113.02m²         R       113.02m²         A.R       113.02m²         A.R       645.98m²         A.R       30 BAYS	J3         J3         TRANSPORT ORIENTATED DEVELOPMENT         © 90%       2961m²         © 2.5       8225m²         2192.17 m²         645.98 m²         IRAGE       1771.98 m²         (0.53)       1051.05 m²         720.93 m²         ALCULATION:         KG 1         FAR       178.66m²         R       178.66m²         R       178.66m²         R       162.77m²         KG 2       -         FAR       162.77m²         KG 3       -         FAR       162.77m²         KG 5       -         FAR       368.21m²         KG 6       -         FAR       368.21m²         KG 6       -         FAR       368.21m²         AGE AREA       645.98m²         AREAS:       -         T4.95m²       -         IDINGS)       720.93m²         ED       30 BAYS	J3         TRANSPORT         OPENENTATED         DEVELOPMENT         290%       2261m²         215       5225m²         2152.17 m²         645.98 m²         2152.17 m²         645.98 m²         70.93 m²         ALCULATION:         61         62.7         63         FAR       178.66m²         70.93 m²         ALCULATION:         63         64.88         64.88         64.88         63         FAR       178.66m²         R       178.66m²         R       178.66m²         R       162.77m²         IG4       65.25m²         R       64.98m²         AR       368.21m²         AR       368.21m²         AR       368.21m²         AR       645.98m²         AREAS:       74.95m²         TRABES       74.95m²         PLIDNOS2       720.93m²         ED       30 BAYS         BULLDING 2       B558         BULLDING 2       B558         BULLD	NETOWN J3 TRANSPORT ORIENTATED DEVELOPMENT 2293.15 2295.07 2295.07 2295.07 2295.07 2295.07 2295.07 2295.07 2295.07 2295.07 2295.07 2295.07 2203.07 2203.07 2005.07 4.COLLATION: 461 4.COLLATION: 461 4.COLLATION: 462 4.R. 172.6607 4.C. 4.C



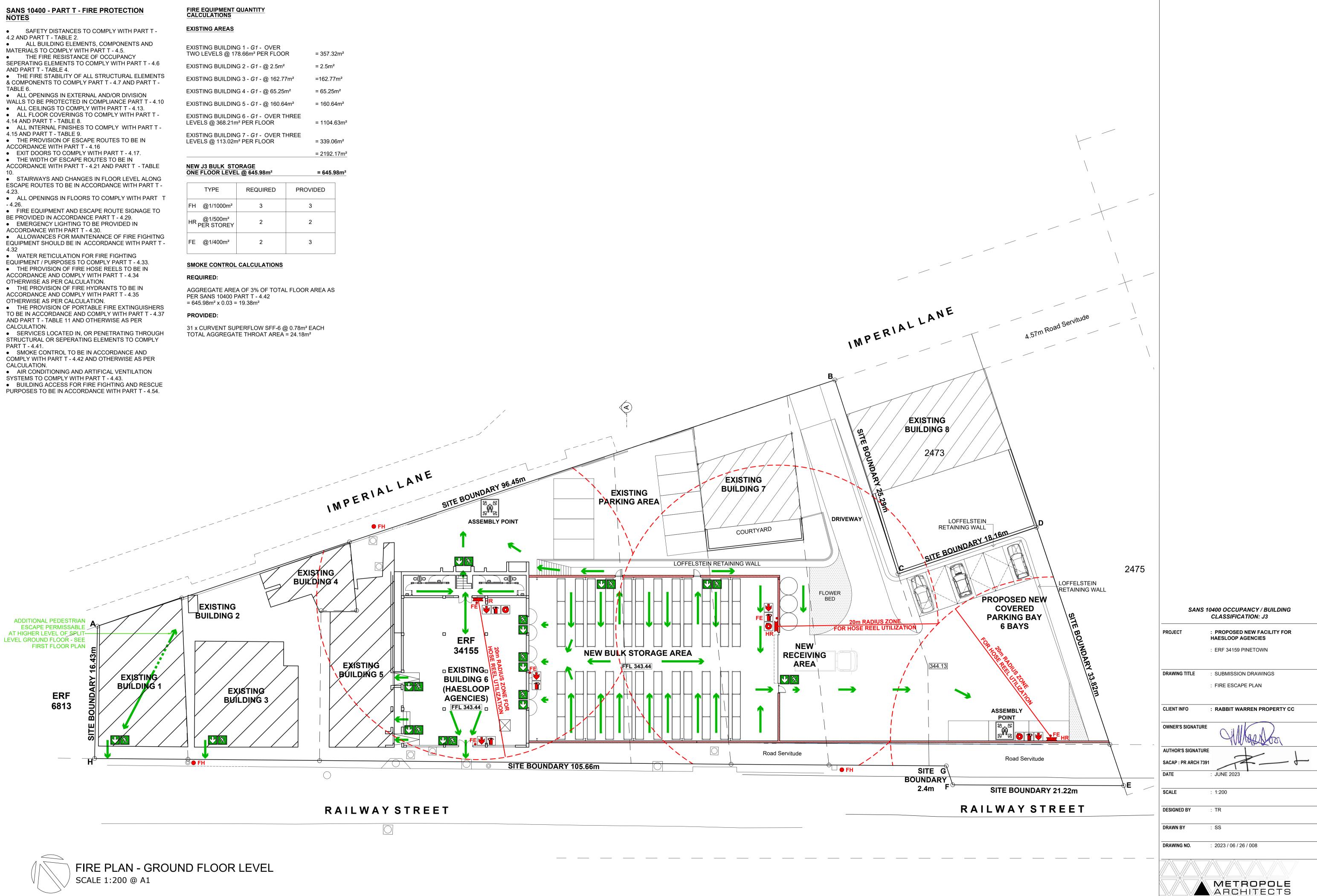
EXG. SW MH



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EXISTING BUILDING 2 - G1 - @ 2.5m <sup>2</sup>	= 2.5m²
EXISTING BUILDING 3 - G1 - @ 162.77m <sup>2</sup>	=162.77
EXISTING BUILDING 4 - G1 - @ 65.25m <sup>2</sup>	= 65.25r
EXISTING BUILDING 5 - G1 - @ 160.64m <sup>2</sup>	= 160.64
EXISTING BUILDING 6 - <i>G1</i> - OVER THREE LEVELS @ 368.21m <sup>2</sup> PER FLOOR	= 1104.6
EXISTING BUILDING 7 - G1 - OVER THREE	

TYPE	REQUIRED	PROVIDED
FH @1/1000m <sup>2</sup>	3	3
HR @1/500m <sup>2</sup> PER STOREY	2	2
FE @1/400m <sup>2</sup>	2	3



SCALE 1:200 @ A1

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