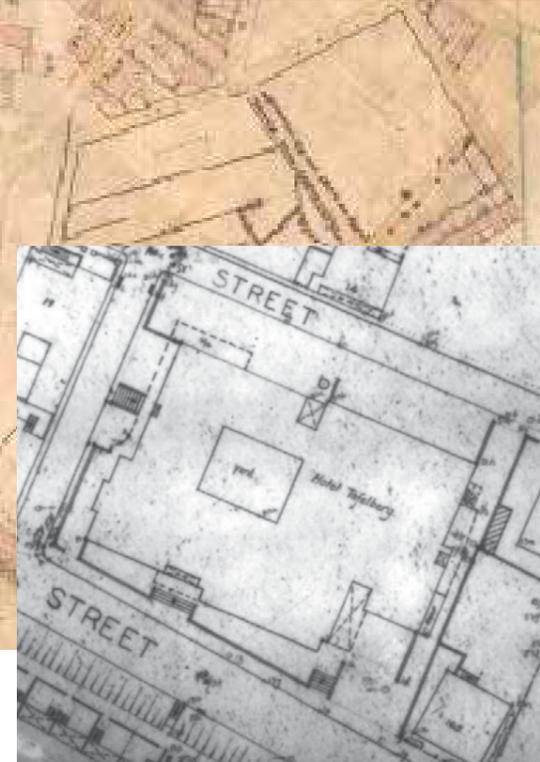
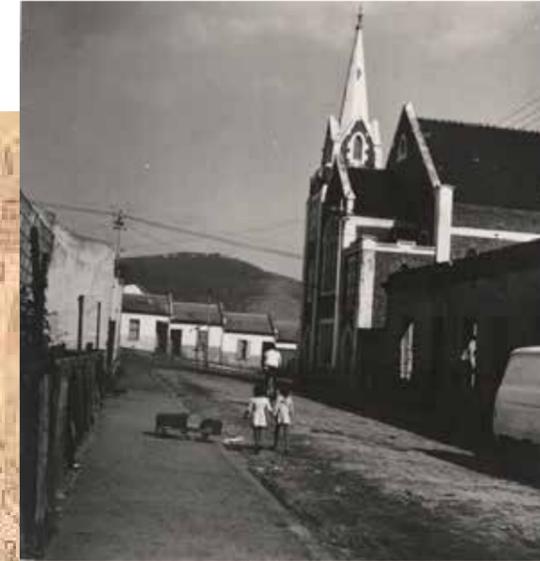
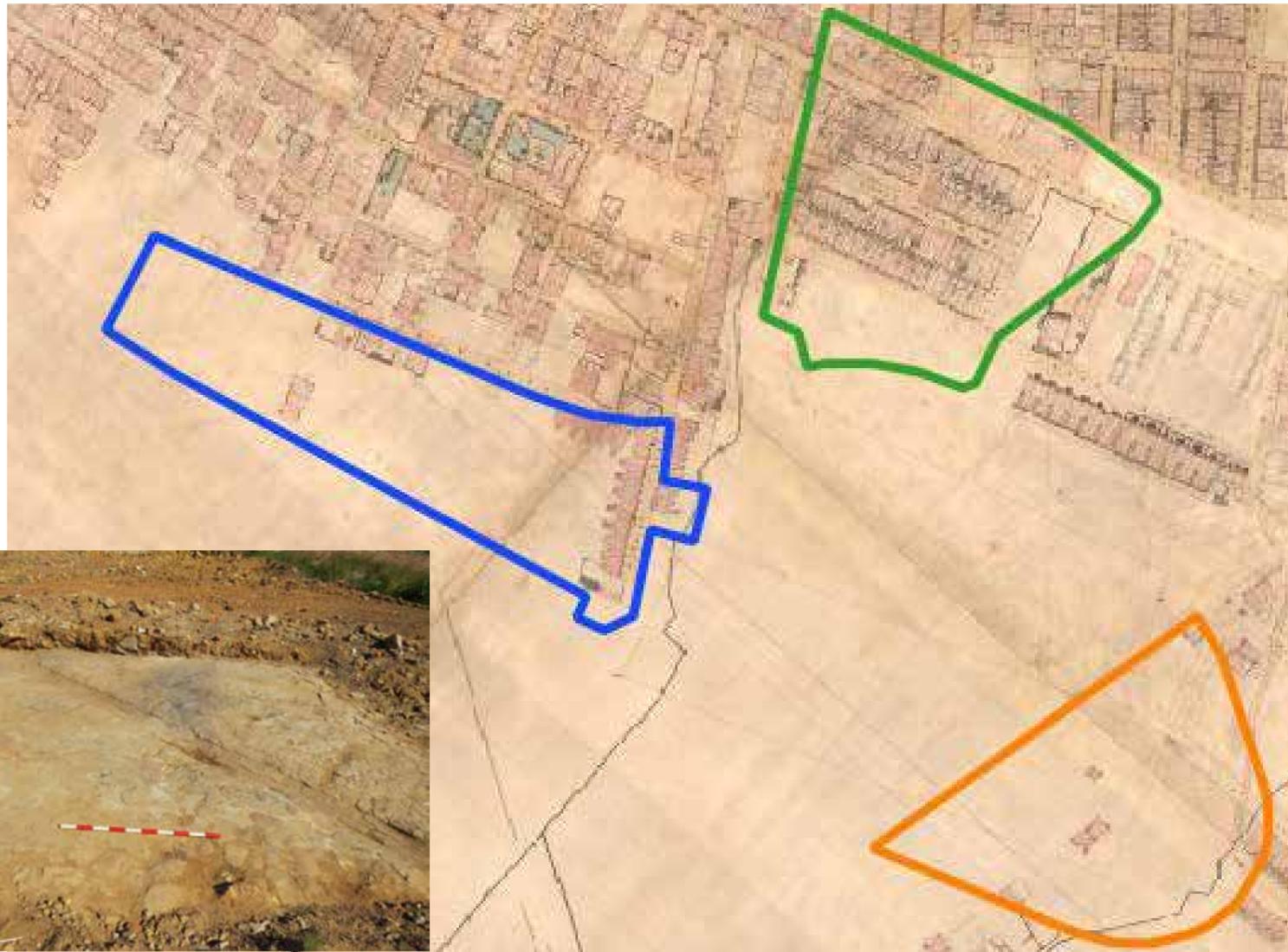


ARCHAEOLOGICAL PERMIT APPLICATION FOR SITE LEVELLING

HWC REF:

submitted in support of a permit application in terms of Section 35 of the NHRA (1999) for
SITE LEVELLING ON SEVERAL PARCELS AND VARIOUS ERVEN AHEAD OF REDEVELOPMENT,
DISTRICT SIX, CAPE TOWN



S35 Permit Application

March 2022

Prepared by Rennie Scurr Adendorff for Delta BEC on behalf of
Department of Land Reform and Rural Development

EXECUTIVE SUMMARY

Description of Project

Works proposed in terms of this application pertain to the levelling of several erven in District Six to facilitate construction. This application pertains to all three sites earmarked for redevelopment in this phase, namely Erf 177646 (Phase 4, formerly Parcel P); Erven 10010 and 117891-117898 (Phase 5, formerly Parcel N) and Erven 115705-RE, 115706, 115707, 115708 (Phase 6, formerly Parcel K2).

At this early stage, particularly as the geotechnical testing has yet to be undertaken, the exact extent of the proposed works is not known. Further, the developers have opted for a staggered approach to the wider redevelopment project and are focusing on preparations for Phase 4 at this point, although surveys have been undertaken of the current ground surface across all parcels. The work also includes the creation of detention ponds for each parcel.

For Phase 4, the initial quantity of earthworks to be moved is in the region of 28 000m³ of which approximately 17 000m³ will be disposed off site; this material is presumed to be rubble and/or unsuitable material. These figures are subject to change, particularly pending the outcomes of the geotechnical survey.

Summary of Results

Several sites and features of significance have been recognised in previous work (Le Grange, 2003; Halkett, 2013, 2015). These elements include tangible heritage resources of significance, and sites of intangible significance, that warrant consideration in terms of redevelopment proposals.

These significant elements include (Halkett, 2015:4-5):

- The identification and celebration of Public Places (of sites and buildings) that could be used to serve the memory of District Six. Such sites and buildings should be considered as a continuous and coherent system, and should include:
 - Existing places of worship/ religious institutions (Churches, and Mosques);
 - Existing schools;
 - Sites of previous (but now destroyed) places and buildings of cultural significance (churches, community halls, cinemas, markets, etc..) where the memory of their prior existence can be celebrated;
 - New public spaces;
 - The selection and preservation of sites of archaeological significance -

sites which where possible could be incorporated into the overall public space system so that they may serve as a reminder of the layered history of District Six;

- The remaining historic street grid and the reinstatement of historic street names;
- The acknowledgment of Hanover Street as a historic mixed-use 'activity corridor' and public place, and,
- The establishment of a Memorial Park.

Potentially archaeologically sensitive resources include:

Phase 4

- High Significance
 - Area of 21-23 Blythe Street - could contain possible old fabric and material related to market gardening in the mid to late C19th
 - 273-248 Hanover Street - could contain possible old fabric and material related to the early densification of District Six in the mid to late C19th
 - AME Church - site of very high social significance; potential to yield artefactual material related to religious activities
- Moderate Significance
 - Avalon Cinema Block - site of moderate social significance;
- Low Significance
 - EOAN Group - social significance

Phase 5

- High Significance
 - Erf 7490 - intact cobbled courtyard uncovered in 2020 possibly related to earliest structure in this area;
 - Hotel Tafelberg - social and associational significance; in situ copper boiler
 - Palm Tree on Milton - social, spiritual and age significance
- Low Significance
 - Belhambra on Albert - some social significance

Phase 6

- High Significance
 - 43-45 Chatham Road - related to market gardening in the mid to late C19th
 - Chatham Road Outbuilding site - related to market gardening in the mid to late C19th
 - 25-31 Chatham Road - related to market gardening in the mid to late C19th
 - House Annette - related to the early densification of District Six in the mid to late C19th

These sites have been identified through overlays of historic maps, and relate to areas where either old fabric, or sites of intangible heritage could persist. In some instances, intact fabric is known to survive at these sites, such as at Erf 7490 and Tafelberg Hotel, while elsewhere the existence of remnant features or fabric is yet to be established, and will have bearing on the significance of the sites and, it follows, the mitigatory process to follow.

Conclusions

With a relative wealth of work done preceding this application, we can confidently predict much of what is to be found within the rubble and overburden layers across these parcels, where this remains. While the possibility of making significant chance finds cannot be overlooked, it is nonetheless, reasonable to make assumptions about the material to be found, its distribution, context and degree of preservation, as well as the significance of various objects, items and features. In addition to these sources of information, the surveyed plans of pre-existing street grids also allow us to plot the location, extent and alignments of the old street systems. and building footprints.

However, particularly in the case of Phase 4, the extent of past activities and the degree to which these have impacted the remnant features and remains cannot be known. As such, earthmoving needs to be undertaken in a phased approach that initially involves clearance in the areas identified as significant, to allow for assessment of remains at and below ground level. Where significant in situ remains are identified, an appropriate archaeological response will be necessary prior to the further excavation and shaping of the site.

As such, work on site needs to adhere to a work-flow that entails the following:

1. Initial site clearance under archaeological monitoring;
2. Inspection of cleared areas for significant material or features
3. Appropriate mitigatory response, being either
 - i) recording or
 - ii) excavation - by hand or machine as each case warrants
 - iii) proceeding with cut and fill activities.

Recommendations

- This report should be endorsed;
- A permit should be issued in terms of Section 35 of the NHRA (No. 25 of 1999) for archaeological work pertaining to earthmoving on the three parcels identified in this report as Phases 4, 5 and 6;

- The archaeologist must monitor earthmoving in the areas where there is likely to be remaining fabric, these areas are:
 - Phase 4
 - Area of 21-23 Blythe Street
 - 273-248 Hanover Street
 - AME Church
 - Avalon Cinema Block
 - EOAN Group property
 - **Phase 5**
 - Hotel Tafelberg
 - Phase 6
 - 43-45 Chatham Road
 - Chatham Road Outbuilding site
 - 25-31 Chatham Road
 - House Annette
- The copper boiler at the Hotel Tafelberg should be removed under archaeological monitoring and direction, and safely stored off site pending the outcome of the HIA;
- Excavation should be considered, pending the outcomes of monitoring for the following sites, although more might come to light during monitoring:
 - Phase 4
 - Area of 21-23 Blythe Street
 - 273-248 Hanover Street
 - AME Church
 - Phase 6
 - 43-45 Chatham Road
 - Chatham Road Outbuilding site
 - 25-31 Chatham Road
- The belhambra tree on old Albert Road can be removed;
- Proposed excavations should be presented to the Case Officer as individual workplans for each sites; the archaeological process should be discussed with the HWC Case Officer;
- The following sites should be cordoned off and avoided by earthmoving and site levelling activities, retained and incorporated into the layout going forward, subject to the outcomes of the HIA:
 - Phase 5
 - Erf 7490 at the corner of historic Roos and Lewis Streets;
 - Phase 6
 - Palm tree on Milton Street
- The old street plans the sites identified as significant in each

parcel should be loaded to a hand-held GPS receiver to facilitate management during the earthmoving phase;

- The archaeologist must establish the positions of all roads on site and ensure that remaining fabric is preserved *in situ*. Until a decision is made with respect to which roads are to be memorialised, all roads with preserved fabric are to be retained;
- The archaeologist should recover (and preserve the provenance of if possible) any artefactual material contained in the levelling process outside of systematic excavation that in the opinion of the archaeologist, may be used in the process of memorialisation;
- Materials are to be housed at Iziko as the recognised repository; the final repository of the material must be established in the course of the HIA process;
- Due to the logistics and type of material removed during the earthmoving, it will in all likelihood be impractical to sieve the rubble and overburden to recover artefactual material. If higher densities of, or unusual material are encountered, the archaeologist may request some soil to be stockpiled until it can be processed carefully;
- Granite “kerb stones/steps” are the most recognisable and durable items in the fill and we focussed specifically on isolating and collecting those items. The provenance of the items is again problematic but they are likely to represent the remains of roads and steps destroyed elsewhere in District Six;
- The outcomes of this work must be incorporated into the HIA and decisions with respect to which are preserved must meet the satisfaction of all role players.



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1.0. INTRODUCTION

1.1. Purpose of Report

Katie Smuts of Rennie Scurr Adendorff has been appointed by Delta BEC to compile an application to manage archaeological processes related to the levelling of several erven in District Six to facilitate construction. The affected land comprises Erf 177646 (Phase 4, formerly Parcel P); Erven 10010 and 117891-117898 (Phase 5, formerly Parcel N) and Erven 115705-RE, 115706, 115707, 115708 (Phase 6, formerly Parcel K2). The affected area comprises 87 827.22m².

Table 1. Details of Affected Erven, Zoning and Extents

Phase	Erven	Zoning	Extent
Phase 4 (Parcel P)	153779	GR4	28955.84m ²
Phase 5 (Parcel N)	10010-RE, 115744, 117884-RE, 177362, 117695, 117891-117898	GR4	31924.79m ²
Phase 6 (Parcel K2)	115705-RE, 115706, 115707, 115708	Community 1, GR4	26946.59m ²

This site levelling precedes redevelopment of these erven for housing as part of the wider redevelopment of District Six for the restitution of land to dispossessed families, as stipulated in terms of Constitutional and Land Court judgements in 2018 and 2019.

The application pertains only to archaeological processes associated with the necessary site levelling activities, although, unlike with the S35 permit applied for in 2020 for rubble removal, this will include extensive excavation into the ground for the purposes of cut and fill.

1.2. Statutory Context

District Six was identified as a Grade I heritage resource in 2004 by SAHRA, but has never been formally proclaimed as a National Heritage Site. HWC and SAHRA determined 2012 that HWC was the responsible management authority until such time as the site was formally declared an NHS in terms of Section 27 of the NHRA (No. 25 of 1999), and SAHRA remains a commenting authority on applications within the graded area submitted in terms of Sections 34, 35 and 38 of the NHRA.

Site levelling is being undertaken as an archaeological exercise, hence the application for this work in terms of Section 35 of the NHRA. The wider processes related to the redevelopment are being managed in terms of a Section 38 process underway in parallel; the NID for this process has already been submitted to HWC. Separating the two processes will, it is hoped, allow for site clearance to be undertaken in advance of the other necessary approvals and processes in order to expedite redevelopment. In this programme of works, there is the potential for the outcomes of the archaeological monitoring and excavation to influence design indicators for the ensuing development planning, should significant features be identified and the time-frames permit.

None of the development areas is graded, and the wider area is neither a proclaimed nor proposed Heritage Protection Overlay Zone. All parcels are zoned General Residential 4.

1.3. Prior, Current and Pending Applications

Archaeological Site Monitoring: Rubble Removal

- A Section 35 permit was sought for archaeological monitoring of rubble removal across Parcels P and N (Phases 4 and 5, respectively) in March 2020;
- Public Consultation was reduced from 30-14 days, and a notice was placed in two newspapers (Cape Times and Daily Voice);
- The following I&APs were consulted:
 - City of Cape Town,
 - SAHRA
 - District Six Museum Foundation
- The permit was approved by the APM Committee on 3 March 2020;
- Work commenced in June of that year, following initial delays related to Covid lockdown;
- Only Parcel N was cleared as complications arose pertaining to Parcel P that prohibited site clearance there;
- A close out report was submitted on 25 November 2020 and endorsed by the APM Committee on 2 December 2020.

Archaeological Site Monitoring: Geotechnical Testing

- A Section 35 permit application was submitted to HWC in March 2022 for archaeological monitoring of geotechnical testing on Phases 4, 5 and 6;
- Public Consultation was reduced to 14 days, and no advertising was undertaken

- The following I&APs were consulted:
 - The City of Cape Town
 - SAHRA
 - District Six Museum Foundation
 - District Six Reference Group
 - District Six Working Group
- The permit application was reviewed at HOMs on 14 March, and the outcome of that meeting is awaited.

NID Submission: Redevelopment

- The NID submissions for each parcel/phase of development are being submitted separately in order to expedite the initiation of construction on a single site by focusing attention there first; the other two parcels will be addressed in a staggered approach;
- A NID submission pertaining to the proposed redevelopment of Erf 177646 (Phase 4 and formerly Parcel P) was made to HWC in March of 2022;
- The matter was reviewed at the HOMs meeting of 15 March

HIA: Redevelopment

- Three HIAs will be undertaken pertaining to the redevelopment
- The approach will facilitate focused responses to the particular conditions of each of the three areas while allowing for an holistic handling of the entire development as a coherent insertion into the landscape

1.4. Study Methodology

- Site visits have been undertaken to inspect all parcels of land proposed for development;
- Extensive research has been undertaken of primary sources relating to the development and history of District Six
- Existing reports pertaining to development applications and previous archaeological investigations within District Six have been consulted;
- Mapping and analysis of historic plans, surveys, photographs and aerial imagery has been undertaken;
- Specialist input has been sought from archaeologists and heritage practitioners conversant with development applications and archaeological excavation within District Six

This research has provided an understanding of the history of the proposed development areas, and the likely the features, structures and configuration of the fabric that underlies them. The likely social and historic significance of

the areas in question has been assessed, as has the likelihood of significant fabric remaining *in situ* in each instance. These analyses have informed the proposed management guidelines that underpin the resulting permit application pertaining to rubble removal and earthmoving across the areas.

Report compiled by:

Katie Smuts - Archaeologist and Heritage Practitioner

Mike Scurr - Architect and Heritage Practitioner

1.5. Limitations

The heritage consultant was appointed prior to any development proceeding on site. As extensive prior work has been done in the wider area, as well as more specifically in and around the development area (Halkett and Hart 1996a, 1996b; Halkett, 2013, 2015; Malan 2003; Patrick, 2007) the consultant has been in a position to plan and guide the proposed archaeological approach to the intended bulk earthworks without limitations.

Due to time pressures, public consultation for this application has been shortened from the usual 30 days to 14 days. Further full public participation will follow as part of the wider HIA process.

1.6. Statement of Independence

Neither Katie Smuts nor Rennie Scurr Adendorff has any legal ties to Delta BEC or other professionals involved in this proposal. There is no financial gain tied to any positive comment or outcome. Professional fees for the compilation of this report are paid by the applicant, but are not linked to any desired outcome.

2.0. SITE DESCRIPTION

The land earmarked for development in terms of the District Six redevelopment proposals currently underway comprises three separate parcels of land, each of varying size and character.

All three parcels lie between Philip Kgosana Drive and former Keizersgracht Road, recently renamed Hanover (Figure 1 and Figure 2) and are presently undeveloped.



Figure 1. Locality Map, location indicated in red (RSA, 2022).



Figure 2. Three development areas (RSA, 2022).

2.1. Phase 4 (Parcel P)

Phase 4 comprises Erf 177646, which represents portions of the Remainder of Erf 9929 and the full extent of Erf 153779. The parcel measures 28955.84m² in extent.

The parcel is bounded to the north by Keizersgracht - recently renamed Hanover Street - east by Vogelgezang and south by Constitution Streets (Figure 3). Upper Ashley Street Preparatory School, currently operating as Y2K College, lies over Constitution Street to the south. To the west of Phase 4 is the land developed in Phase 3 of the wider restitution project (Block Q2).

Historically, Phase 4 was bounded by Blythe and Horstley Streets to the west, Eckard Street to the north and Plymouth Road to the south, with the eastern extent intersecting St Leger Street. Internal roads included Springfield and Upper Ashley.

Phase 4, together with Block Q2, would appear to have been extensively altered to facilitate the creation of a sports field, probably in the mid-late 1990s. Cut and fill levelled the area, and a large quantity of soil was dumped at the northern extent of the site. This activity created a steep embankment along Keizersgracht, while the natural ground level was cut away at the southern extent of the site to below historic levels.

Although initially earmarked for site clearing together with Phase 5 in 2020, site clearing was not initiated on this parcel under archaeological monitoring, having been delayed by the initiation of rectification works following illegal levelling undertaken by Cape Peninsula University Technikon. (CPUT). The fill material brought in by CPUT has subsequently been removed again, but the impacts of the rectification work are not presently known

Further recent development activities related to the development of Block Q2 as part of Phase 3 of District Six, has resulted in extensive disturbance across the majority of the site, particularly since mid-2018. This disturbance is related both to the activities of heavy machinery on site, as well as stockpiling of soils and redistribution of rubble across site, and represents the most recent layer of dumping, cut and fill on this portion of site (Figure 4 to Figure 12).



Figure 3. Phase 4, Erf 177646, in immediate context; note Phase 3 development of Block Q2 immediately to the west (RSA, 2022).



Figure 4. View across Phase 4 from south east of site, view to north (RSA, 2020).



Figure 6. View across Phase 4 from Vogelgezang Street showing recent changes in site levels (RSA, 2020).



Figure 5. View across Phase 4 from east of site showing recent earthmoving activity, view to west (RSA, 2020).



Figure 7. View across Phase 4 from Vogelgezang Street, view to west (RSA, 2020).

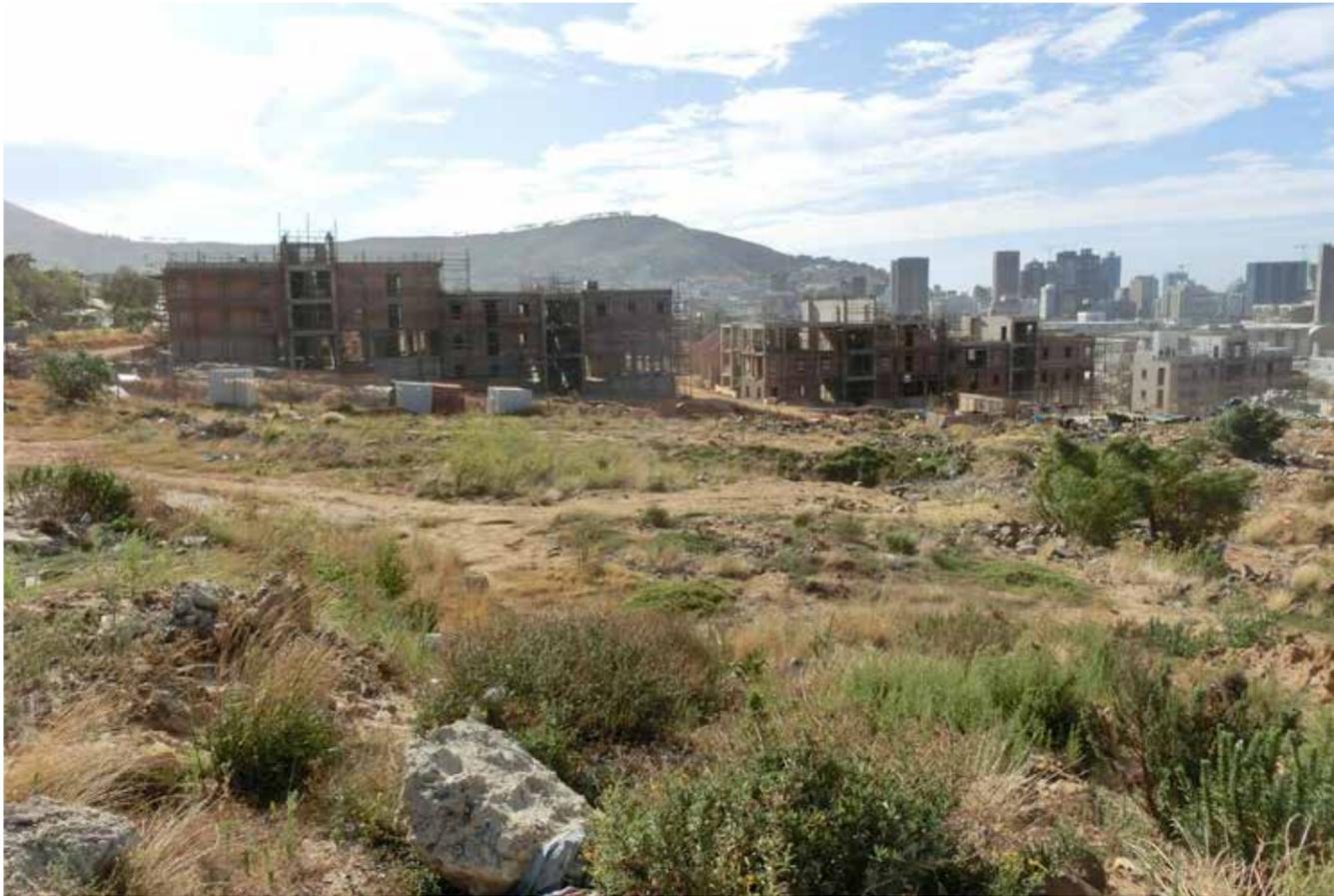


Figure 8. IView of Phase 3 development beyond Phase 4, view to west (RSA, 2020).



Figure 10. Disturbance across northern portion of Phase 4 related to development of Phase 3, view to north west (RSA, 2020).



Figure 9. Evidence for extensive disturbance on Phase 4, view to north west (RSA, 2020)



Figure 11. Embankment along what is now Hanover Street, view to south west (RSA, 2020).

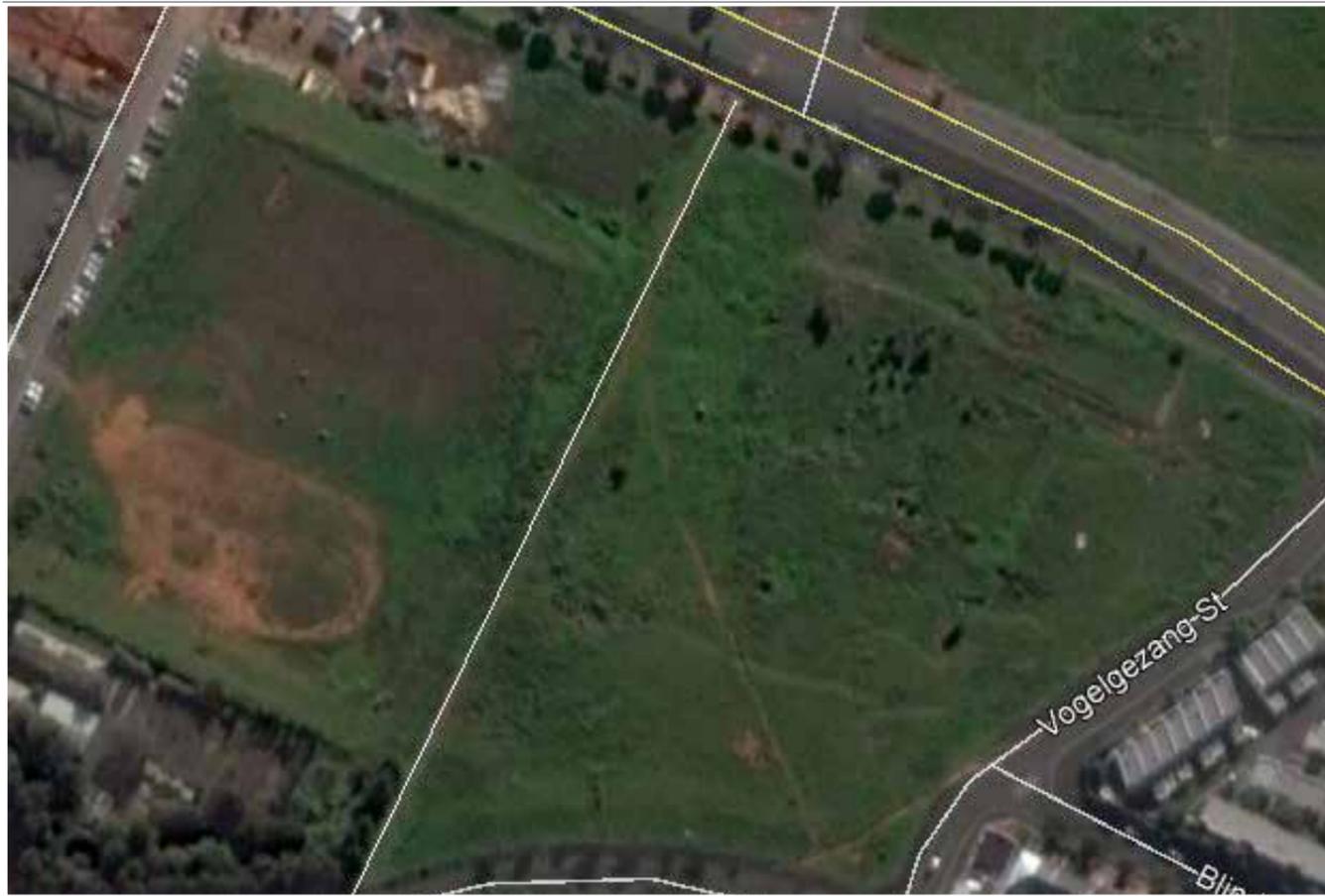


Figure 12. Evidence for disturbance of Phase 4 through time as a result of development activity on the adjacent site, Block Q2.. Google Images are: top left, June 2014; bottom left June 2016; top right July 2018; bottom right, November 2019 (Google Earth, 2020)

2.2. Phase 5 (Parcel N)

The second development area, Phase 5 is south west of P and comprises erven 10010, the majority of the area, as well as erven 117891, 117892, 117893, 117894, 117895, 117896, 117897 and 117898. The property measures 31924.79m² in extent

The parcel is bounded to the north by Constitution Street, and to the south by Justice Walk (Figure 13). It lies to the west of Y2K College, which was formerly the Upper Ashley Street Preparatory School and to the east of a housing development built in the 1980s. Historically this parcel was bounded to the east by Horstley Street, to the south by Upper Constitution Street, west by Smart Street, and north by Roos Street.

Phase 5 is a steeply sloping site that was subject to initial rubble removal for site clearing, undertaken in terms of the S.35 monitoring permit (Annexure A). Prior to this, it had shown variable evidence for preservation and some clear signs of disturbance, although it displayed fairly good preservation of the historic street system throughout (Figure 16 to Figure 21). In some places, particularly the higher lying areas along the southern extent, had been scraped to below pavement level, revealing the natural substrate of ferruginous gravels. In other places, however, remnants of terracing, cement surfaces, wall foundations, floor slabs and kerb stones were all visible, showing greater retention of historic fabric and layers.

Prior to clearance, the site retained evidence for past earthmoving activities, particularly to the east, near Horstley Street, where there was a large, regular mound that appeared level on top as though it had been utilised by dump trucks for depositing large quantities of rubble (Figure 17 and Figure 19). This could have reflected 1960s activities related to clearance of the wider site, or have been evidence for more recent activity.

Squatters had erected shacks across the central portion of site (Figure 8), with shacks particularly located where topography provided shelter from the southeaster, and some areas had been dug out to create such shelter where there was none.

Once site clearance was completed, the area was shaped. As a result of this activity, the features uncovered during earthworks were largely covered over again by small quantities of spoil (Figure 12 to Figure 15). This served to protect the features in the interim as the site remains vacant, undeveloped

and unsecured, but could impact the degree of retention of intact features in the pre-development phase of clearing.

A mature belhambra tree is situated at what would have been 23 Albert Street, and a large palm tree between 13 and 15 Milton.



Figure 13. Phase 5, Erven 10010 and 117891-117898, in immediate context (RSA, 2022)..

SITE IMAGES PRIOR TO CLEARING



Figure 14. View across Phase 5 from east of Richmond Street, view to north west (RSA, 2020).



Figure 16. View across Phase 5 from Constitution Street west of Clifton Street, view to south east (RSA, 2020).



Figure 15. View across Phase 5 from east of Richmond Street, view to east (RSA, 2020).



Figure 17. View across Phase 5 from west of Horstley Street, view to north east (RSA, 2020).

SITE IMAGES PRIOR TO CLEARING



Figure 18. View across shacks erected on Phase 5, view to north (RSA, 2020).



Figure 20. Old road edgings and alignments with preserved pavement levels, presumably of Upper Constitution Street, along Justice Walk, view to east (RSA, 2020).



Figure 19. Evidence for past dumping and earthmoving across site (RSA, 2020).



Figure 21. Historic building debris, with frogged bricks, likely early C20th (RSA, 2020).

SITE IMAGES AFTER CLEARING



Figure 22. View across Phase 5 from the southern end of Ellesmere Street, view to north west (RSA, 2020).



Figure 24. View across Phase 5 from Ellesmere Street, the tarred surface of Clifton is visible running north-south in front of the palm tree, view to east (RSA, 2020).



Figure 23. View across Phase 5 from west of Lewis Street, view to south east (RSA, 2020).



Figure 25. View across Phase 5 from Constitution, west of Horstley Street, view to south west (RSA, 2020).

2.3. Phase 6 (Parcel K2)

Phase 6 (Figure 26 to Figure 28) lies between Cauvin Road and Christiaan Street, straddling Heere Street (historically Portsmouth Road). The affected erven are 115705-RE, 115706, 115707, 115708, and comprise some 26 946.59m².

This parcel has fairly extensive wetlands in its eastern extent, and occupies a prominent site that slopes 35m to the north east.

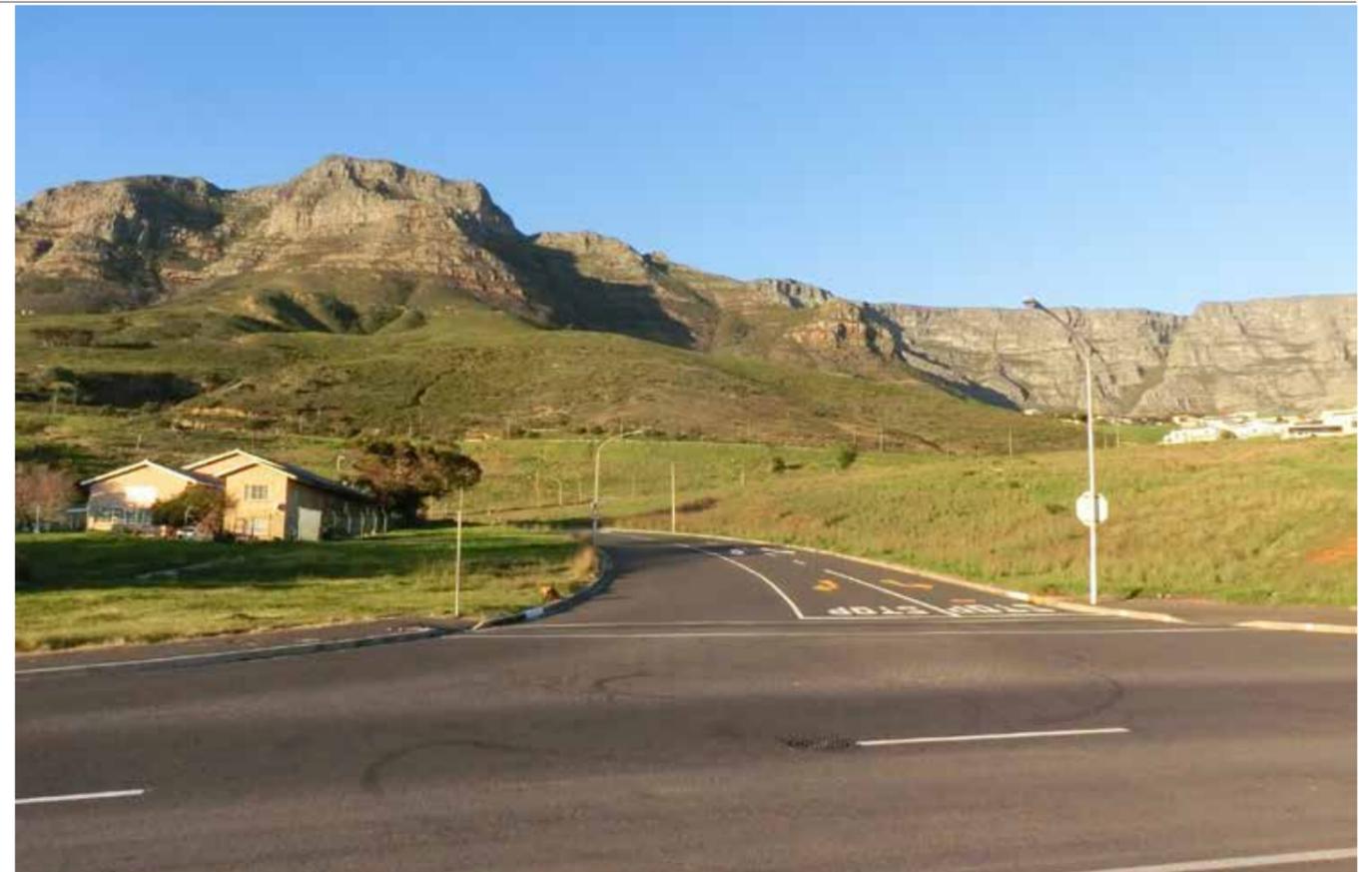


Figure 27. Phase 6, view to south (RSA, 2020).



Figure 26. Google Earth image of Phase 6 (RSA, 2022).



Figure 28. Phase 6, view to south west (RSA, 2020).

3.0. HISTORICAL OVERVIEW OF THE SITES AND THEIR CONTEXT¹

3.1. Site History

The history, development and subsequent destruction of the wider area of District Six has been the subject of extensive academic and public discourse, and a comprehensive account of both the area and this discussion is beyond the scope of this application. It is, however, useful to sketch a basic historical outline for District Six broadly, and then address, in brief, the development of the two parcels relevant for this application. A full account of the history and significance of these portions of District Six will follow in the HIA and draw on the tangible outcomes of the rubble clearing and earthmoving to devise heritage indicators and guidelines appropriate for the proposed developments.

3.1.1 District Six

The area of District Six where the two development areas are located were originally part of Zonnebloem Farm, which had been granted in 1707. From 1831, upon the death of Alexander Tennant, tracts of farmland were subdivided off and sold to developers.

Throughout the C19th, the development of District Six increased, stimulated by the emancipation of slaves which drove up demand for housing from the late 1830s onwards, as well as by increasing commercial activity at the Cape that swelled the population.

Properties were further subdivided, with house types ranging from simple free standing villas and small dwellings to densely overcrowded row houses. The old farm road from Cape Town to Zonnebloem Farm became the central thoroughfare through this growing settlement, eventually formalised as Hanover Street.

Several surveys from the C19th show this development through time. Snow's municipal survey of 1862 shows several houses in District Six, although development is limited to the lower slopes (Figure 29). By the time of Thom's survey in 1898, while settlement had densified, it was still largely restricted to the lower lying areas (Figure 30). From 1926 onwards, development expanded up the slopes of the mountain towards De Waal Drive, now Philip Kgosana Drive (Figure 35 and Figure 39).

District Six developed as a vibrant community, with Mosques and Churches, hotels and businesses between various residences. By 1938, however, the combination of dense habitation and poor servicing was used as a means to exercise control over the area, with the promulgation of the Slum Clearance Act. The effects of this legislation were, however, dwarfed relative to the destruction wrought by the Group Areas Act of 1952, and the subsequent proclamation in 1966 of District Six as a whites only residential area. The following 14 years saw large-scale destruction of District Six, as residents were forcibly evicted from their homes and moved to newly created suburbs on the Cape Flats. Homes and businesses were demolished, and vast swathes of land were levelled and scraped flat by bulldozers. The landscape left behind in the wake of these actions was almost entirely altered, with landmarks obliterated and street layouts obscured - only a few religious buildings remained as testament to the history and community that had been decimated.

The partial redevelopment of District Six, then renamed Zonnebloem, served to sever ties to the historic community further. Modern streets were built across and through the area with no consideration of prior street alignments. Keizersgracht, in particular, intersecting and truncating remnants of Hanover Street is particularly notable in this regard. Modern streets have further been renamed after original streets without regard for the relative location of these alignments, such that present Constitution, Aspeling and Vogelgezang Streets do not reflect the historic location of those roads. Modern developments, where these have been permitted to proceed have also added to the destruction and obscuring of blocks and street layouts, with the most notable of these being CPUT. Beyond these obvious impacts, surviving elements have been subject to vandalism, damage and theft throughout the intervening years, with granite kerb stones particularly subject to removal from the area either to facilitate the passage of vehicles or for landscaping in surrounding developments.

¹ Halkett and Hart 1996a, 1996b; Bickford-Smith et al, 1999; le Grange, 2003; Lea, 2007; Malan 2003; Mammon and le Grange, 2012; Townsend 2013a; Worden et al, 1998

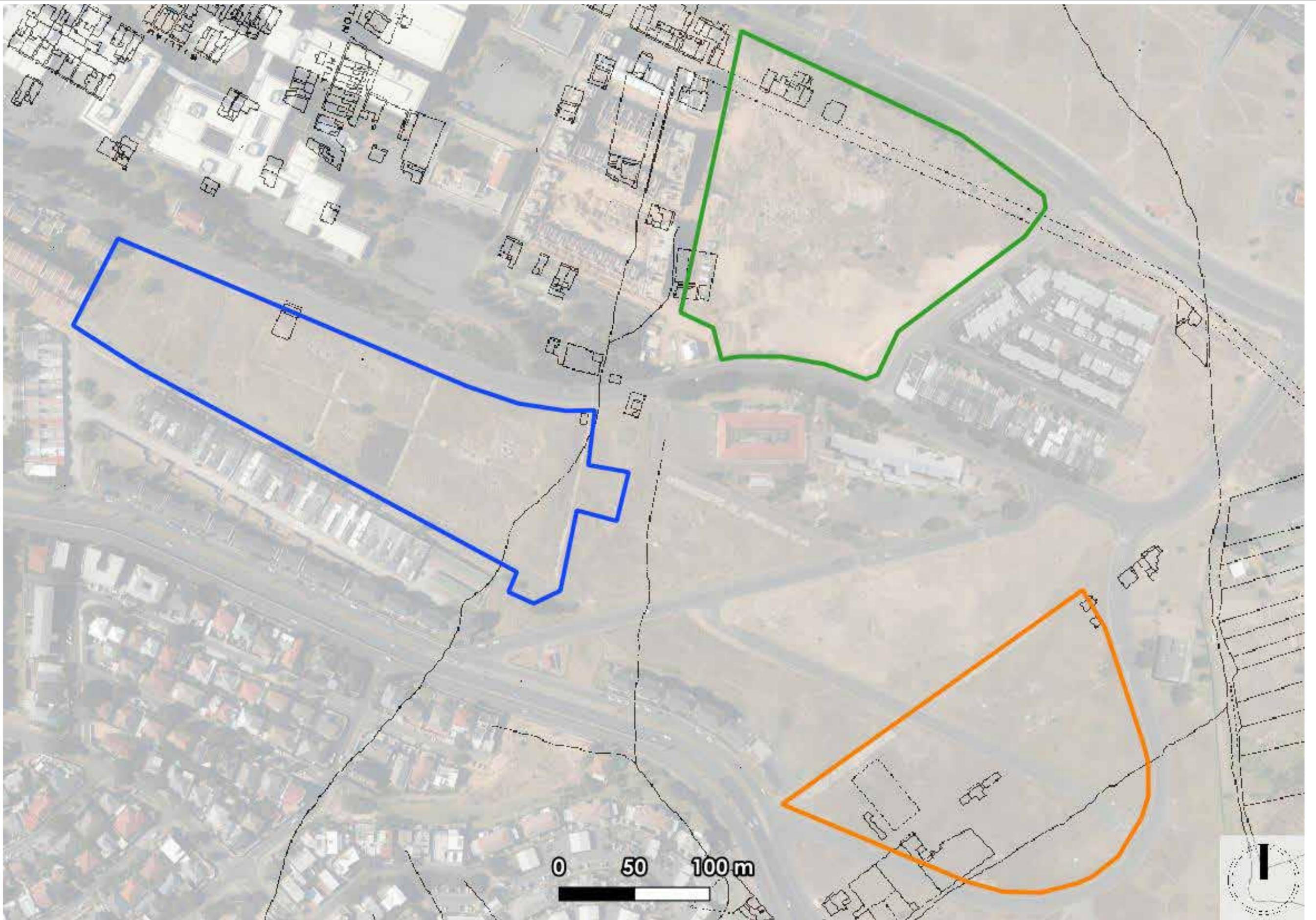


Figure 29. Overlay showing degree of development in and around the development areas at the time of Snow's survey in 1860 (RSA, 2022).

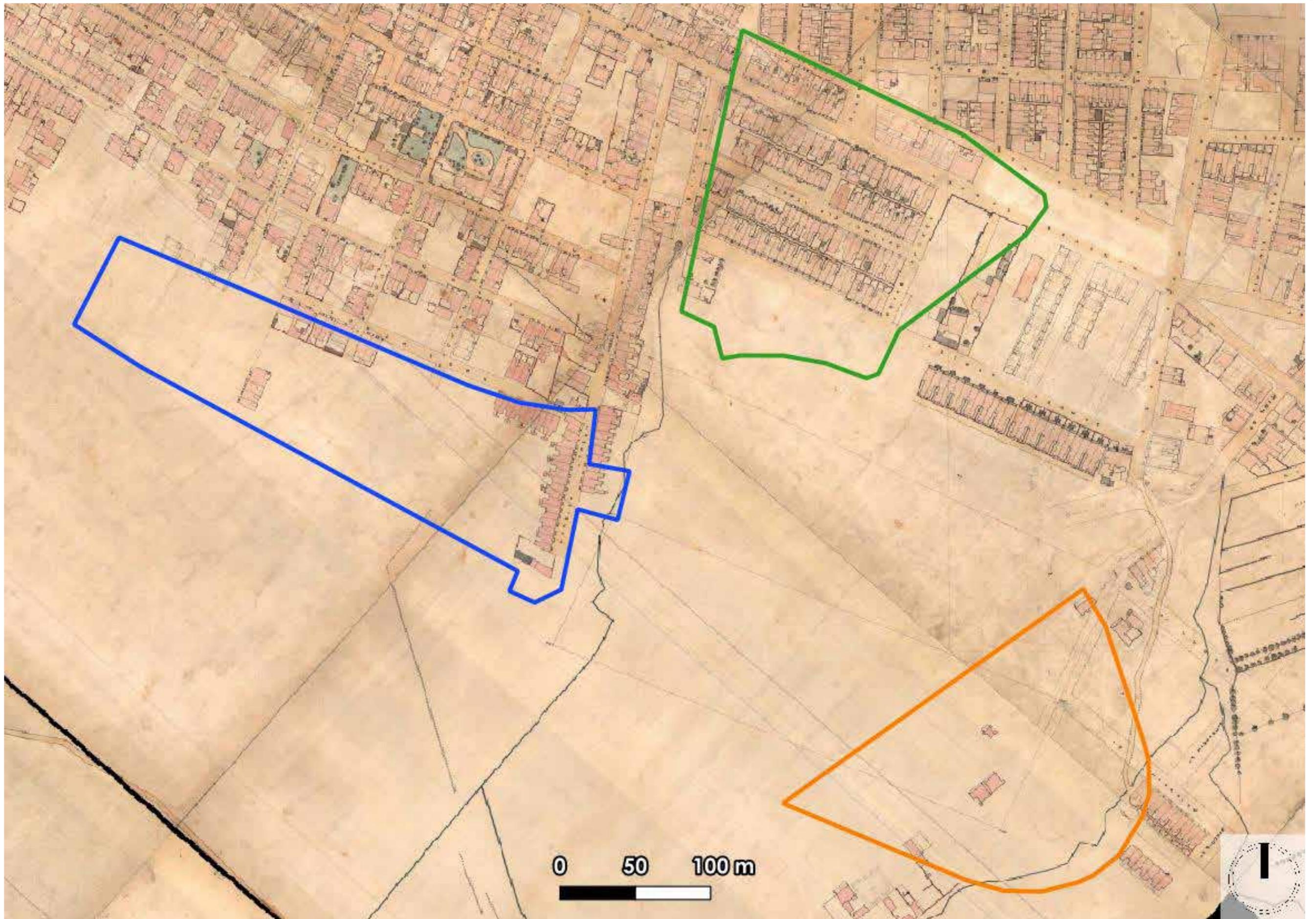


Figure 30. Overlay showing degree of development in and around the development areas at the time of Thom's survey in 1898 (RSA, 2022).

3.1.2 Phase 4

Phase 4 was bounded to the north by old Hanover Street, and was subdivided from Zonnebloem Farm in the mid-1800s. The parcel of land shows only very limited development by the late 1800s, with a single block developed with two free standing structures on it, associated with a large cultivated garden (Figure 29 and Figure 33). The eastern extent of the parcel intersects further properties within what appears to be another market garden. Towards the north of the parcel are several properties on the north side of the Zonnebloem Road; these tenement houses are clearly part of the densification of residential development in District 6. Several water courses are depicted flowing down the mountainside, one running immediately to the west of the southerly property, and another, likely already canalised, along Horstley.

By Thoms's survey in 1898, the northern portion of site was densely built up, with two double rows of terraced houses, the northernmost of these fronting onto Hanover Street, and representing formalisation of the structures sketched on Wilson's survey 20 years previously (Figure 30 and Figure 34). By this time, although a water course is still depicted to the west of Phase 4, it appears to have been diverted at a point upstream, and enters a culvert or drain near the top of Blythe Street adjacent to the old property there.

The layout evident in 1898 appears largely unchanged in the aerial photograph of the area from 1926, with the infill densification along the eastern extent of the parcel the only noteworthy difference (Figure 35)

By the late 1960s, when the forced removals took place, the block of land designated as Phase 4 for the purposes of this application was densely populated, with more than 25 closely spaced shops and dwellings facing onto Hanover Street (Figure 36).

The Bethel Memorial African Methodist Episcopal (AME) Church, erected in 1925 under Bishop Andrew Gregg with money raised by the Womens Home and Foreign Missionary Society of the Church of America, was located on the corner of Blythe and Springfield Streets.

The Avalon Cinema, an Art Deco facility that served as a social hub, was the more respectable of several District Six bioscopes, and was located between Hanover and Eckard Streets. The EOAN Group, a cultural association that offered dance, drama and opera classes, was based just east of Phase 4, but properties in this area might be associated with the organisation.



Figure 31. Springfield Street and the AME Church at right c.1970 (Greshoff, 1970, courtesy D6 Museum)

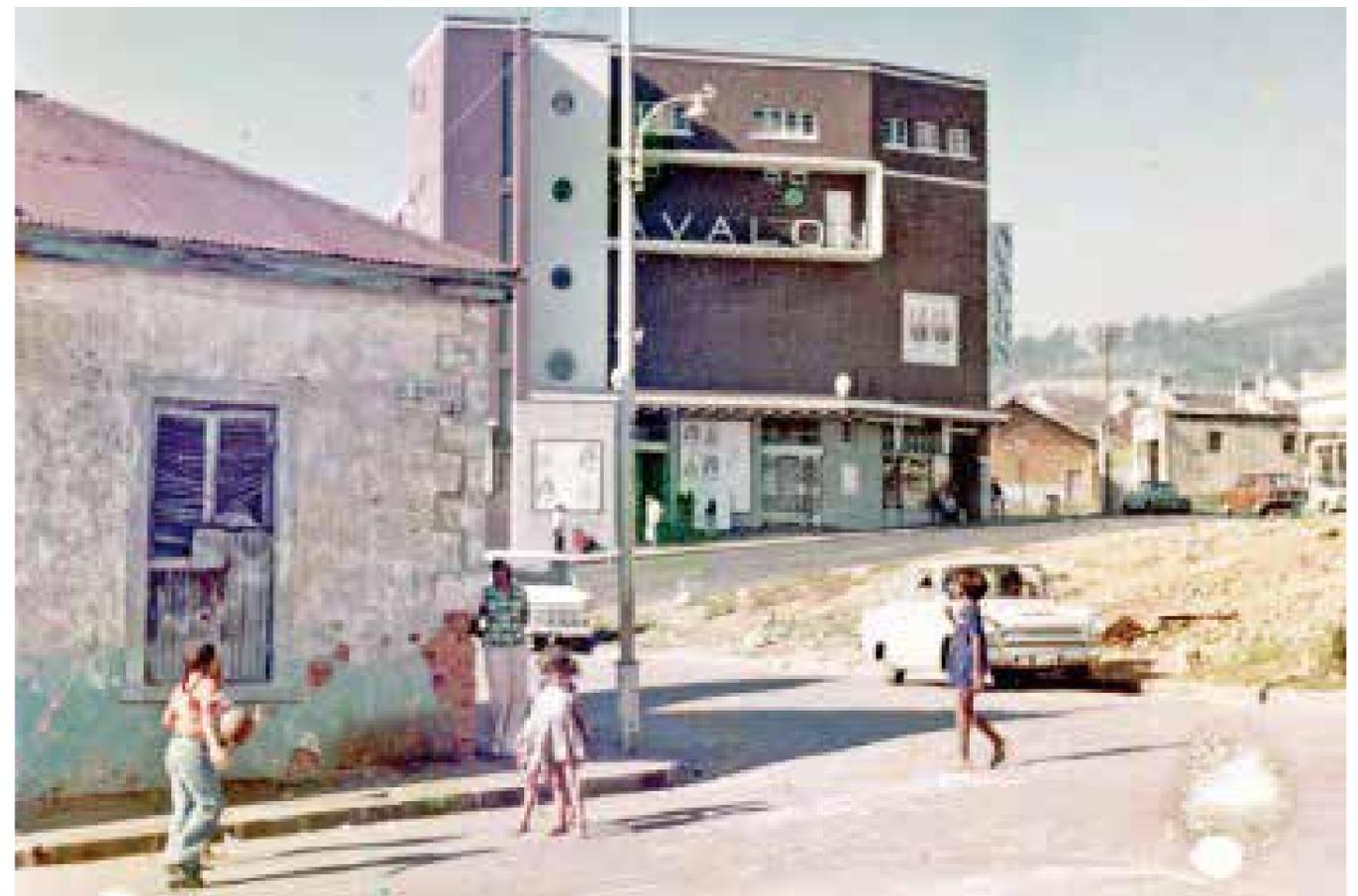


Figure 32. Avalon Bioscope on Eckard Street (Author and Date unknown)



Figure 33. Detail of 1878 Wilson survey showing the layout of structures and roads within Phase 4 (RSA, 2022)

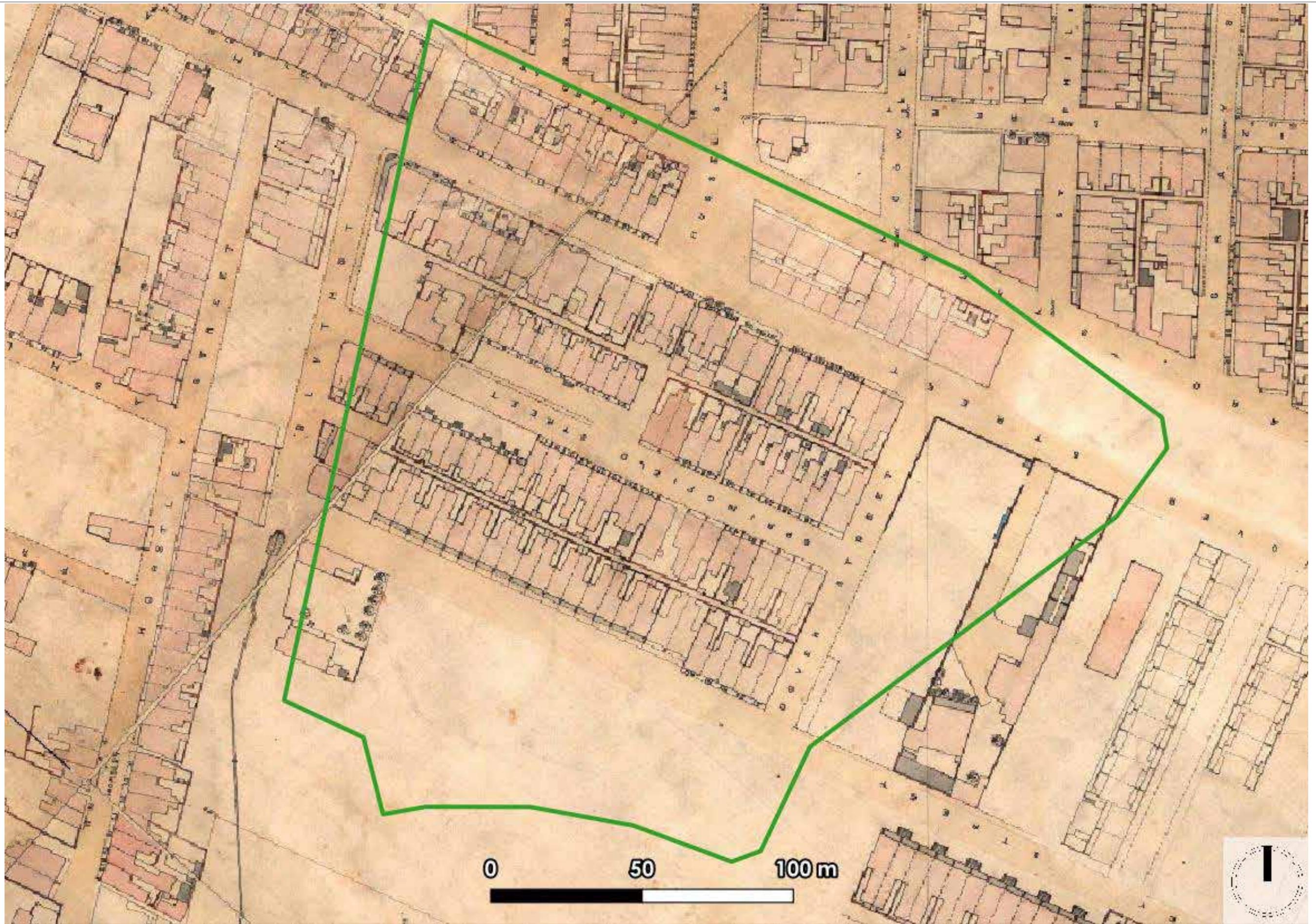


Figure 34. Detail of 1898 Thom survey showing the layout of structures and roads within Phase 4 (RSA, 2022).



Figure 35. 1926 aerial photograph of the area of Phase 4 showing the layout of structures and roads in the early part of the C20th (NGI, 2020; RSA, 2022).



Figure 36. City of Cape Town survey of 1954 for Phase 4 showing the layout of structures and roads prior to the forced removals of 1966 (CoCT, 2020; RSA, 2022).

3.1.3 Phase 5

By contrast, the block comprising Phase 5 was largely undeveloped until the C20th. Snow's survey, c. 1860, shows the most southerly road laid out in this area as William Street, with development shown between William and Stone, but no roads indicated or labelled (Figure 29). A single isolated structure is shown within the area of Phase 5, at the intersection of Roos and Lewis, fronting onto Roos.

Wilson's 1878 survey shows Stone Street as the most southerly road in this area, with Roos Street not yet laid out beyond it (Figure 37). The same single house is depicted at the intersection of Roos and Lewis.

A water course is shown flowing through the eastern extent of Phase 4 on Snow's survey, but this appears to get diverted between Snow and Thom's surveys, presumably with the formalising and development of upper Horstley Street.

By the time of Thom's survey in 1898, rows of houses were aligned along Horstley, with clusters of development along Rose Street, in some places (Figure 30 and Figure 38). A further isolated cluster of houses was located above Rose Street along Lewis Street. This extent of development remained largely unchanged by 1926 (Figure 39).

By the time of the forced removals, the area was entirely developed, but under larger, more spacious houses in the more recently developed areas, and smaller, row houses along Horstley and the eastern end of Roos Street (Figure 40).

2 Roos

By the late 1800s, the property at the corner of Roos and Lewis had expanded to include a large yard to the rear, and is now the westernmost of a string of houses along Roos. This property, later Erf 7490 was originally Lot 120 subdivided from Lots 9 and 10 of Estate Zonnebloem, then 23 Roos Street (Thom), and later 2 Roos Street. It was transferred to James Small on 17 March 1848.

While little is known about this early property, its layout and development through time are clearly illustrated in the series of historic plans of the property (Figure 30 and Figure 37 to Figure 41). These plans show a structure fronting onto Roos, with access into the yard from Lewis; of interest is the depiction

of the pavement on the Lewis Street side in the C20th survey, where the pavement is wider, presumably to accommodate a different building line of that property than the surrounding, C20th buildings.

It is known that the site housed stables, as an application by the then owner, one Gazant Jakoet, was made in 1928 to turn the "old stables" at 2 Roos into rooms (KAB 3/CT 4/2/1/3/329); it would appear Jakoet had owned the property since c.1893 (KAB DOC 4/1/341), and is therefore likely the stables predated his ownership. A cobbled courtyard with a transverse drainage sluice was uncovered during rubble removal in 2020, and this feature correlates precisely with the location and dimensions of the yard (Figure 42).

Hotel Tafelberg

A further notable feature of the development of this parcel was the Hotel Tafelberg, which features prominently in the City Survey of 1954 (Figure 43 and Figure 44).

The Hotel Tafelberg between Milton and Upper Constitution on Richmond Street is a socially significant site. It was the location for the 1957 Liberal Party Congress, as the "only establishment in Cape Town worthy to be called a hotel which admitted South African blacks" (Vigne, 1997: 65). The Hotel hosted Mandela in 1961 when he visited the Cape to drum up support in the liberal press for a proposed strike opposing the establishment of the Republic (Vigne, 1997). It was also a place for music, dancing, and celebration, for locals and South African celebrities alike: Bessie Head honeymooned there in 1961 (Malan, 2004; Young, 2016).

Trees

The palm tree along Milton is said to have been grown from a seed brought back by a woman after her pilgrimage to Mecca, after having learnt of the imminent forced removals before her departure (W. Wilkinson, 2020 personal communication, 2 July). The branches of this tree are used to decorate the mosque during the annual Mouloud or Mawlid celebrations, when women and children congregate inside the mosque for the preparation of fragrant bundles of leaves and fabric for presentation as gifts. A member of the District Six Reference Group also pointed out marks on the trunk of the palm tree and explained they represent damage from chains that were used during the forced removals to try to uproot and remove the tree (G. Elliot, 2020, personal communication, 2 July).

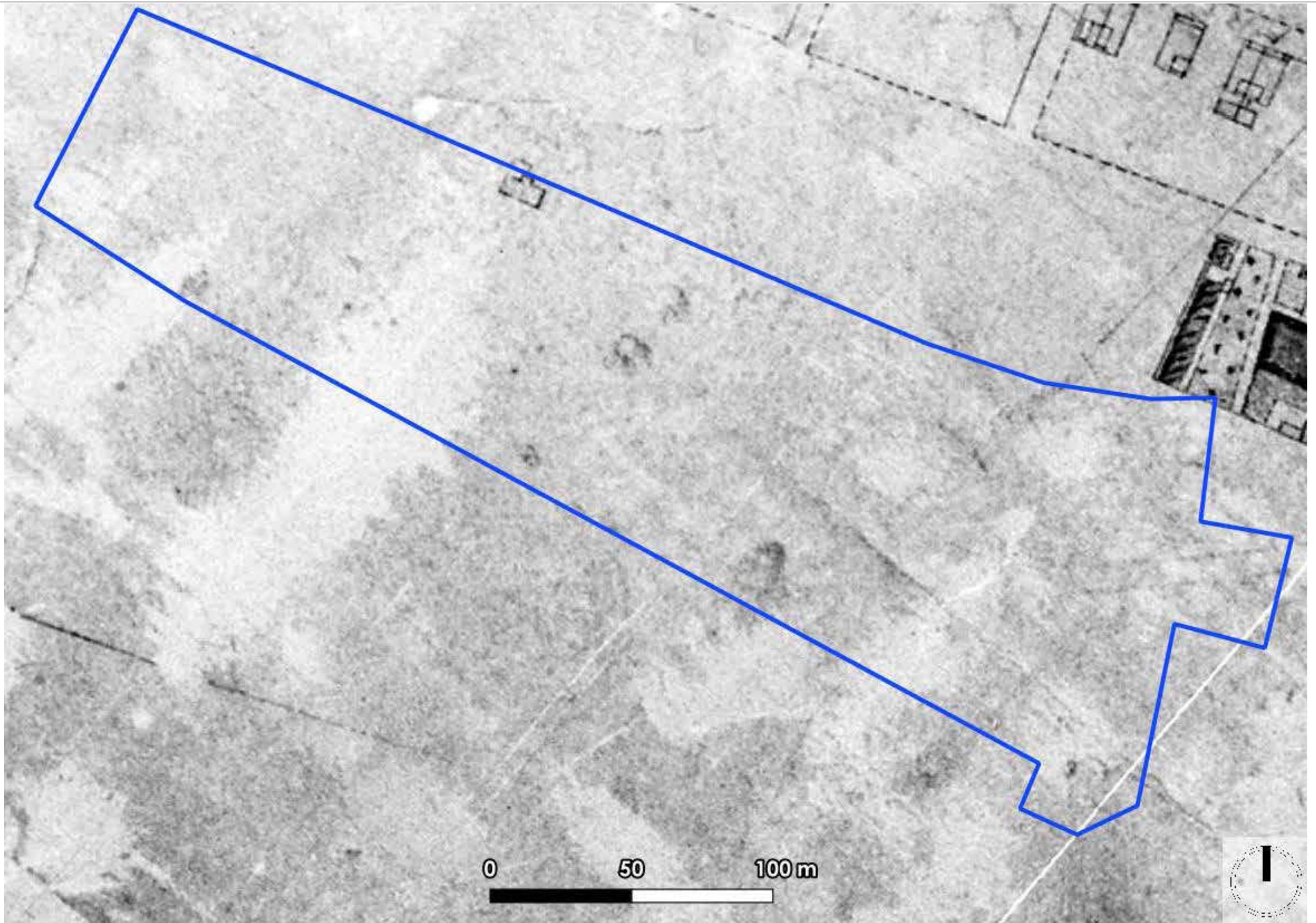


Figure 37. Detail of 1878 Wilson survey showing the layout of the single structure within Phase 5 (RSA, 2022)

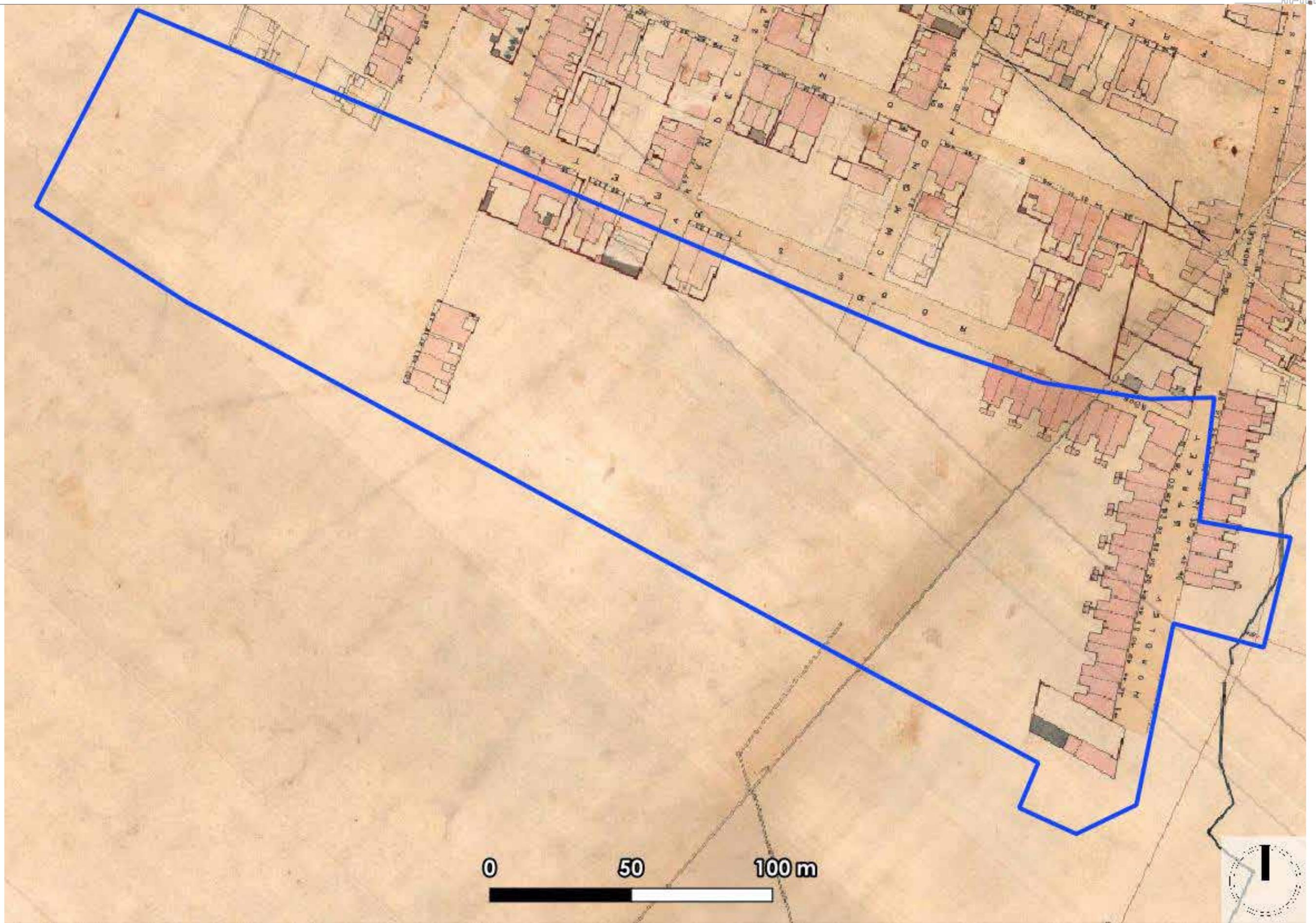


Figure 38. Detail of 1898 Thom survey showing the layout of structures and roads within Phase 5 (RSA, 2022).



Figure 39. 1926 aerial photograph of the area of Phase 5 showing the layout of structures and roads in the early part of the C20th (NGI, 2020; RSA, 2022).

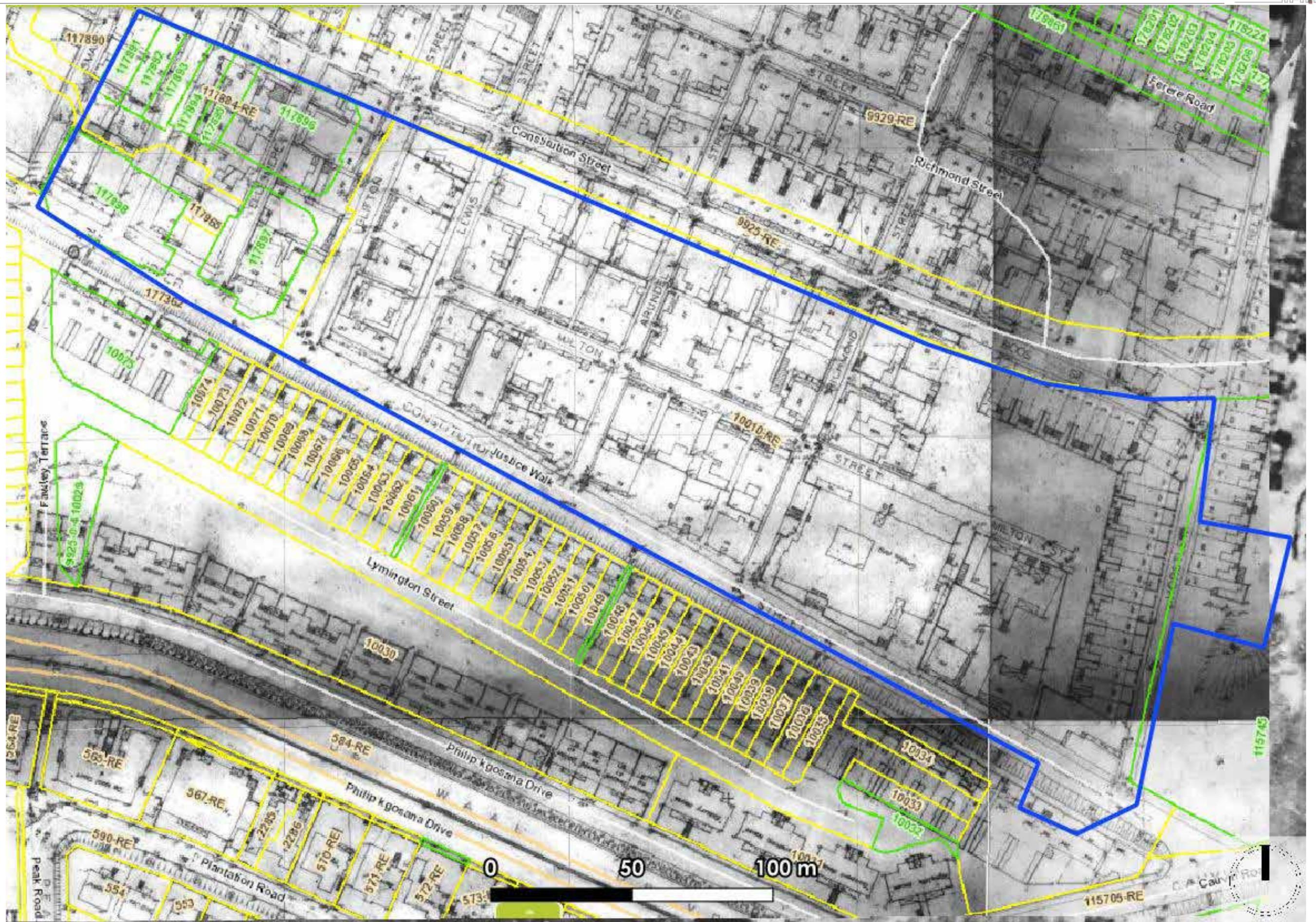


Figure 40. City of Cape Town survey of 1954 for Phase 5 showing the layout of structures and roads prior to the forced removals of 1966 (CoCT, 2020; RSA, 2022).

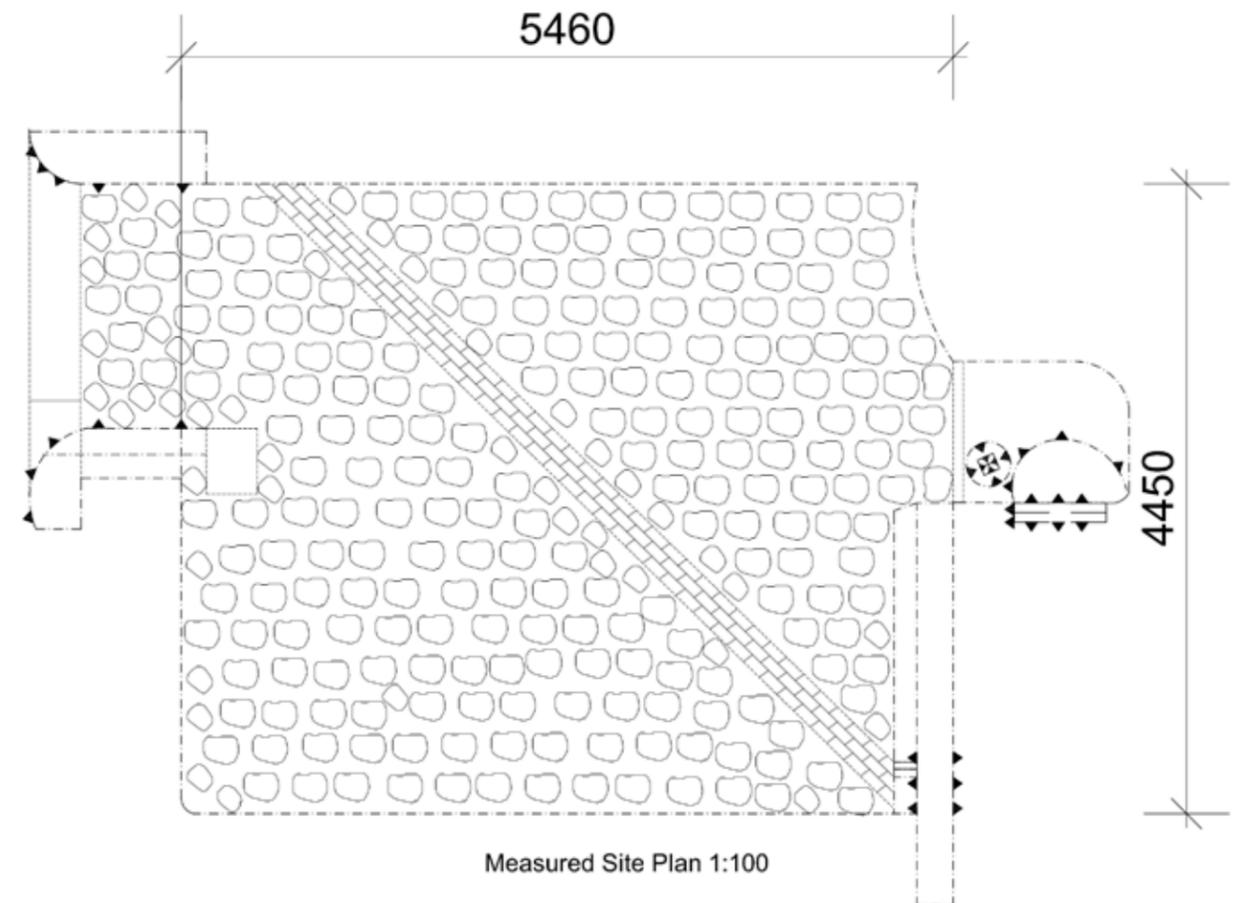
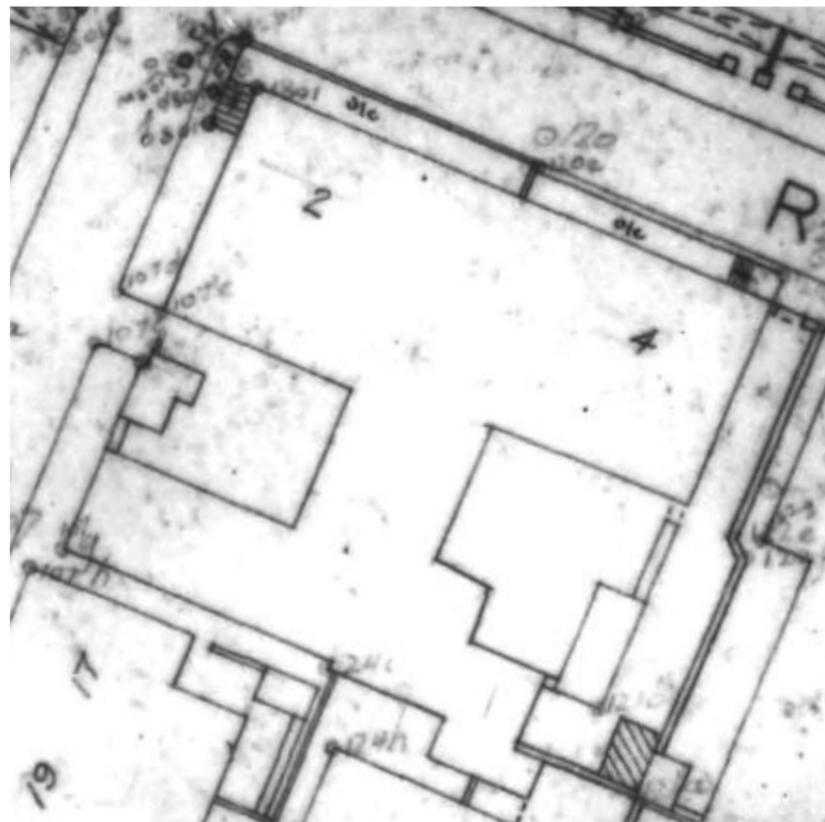
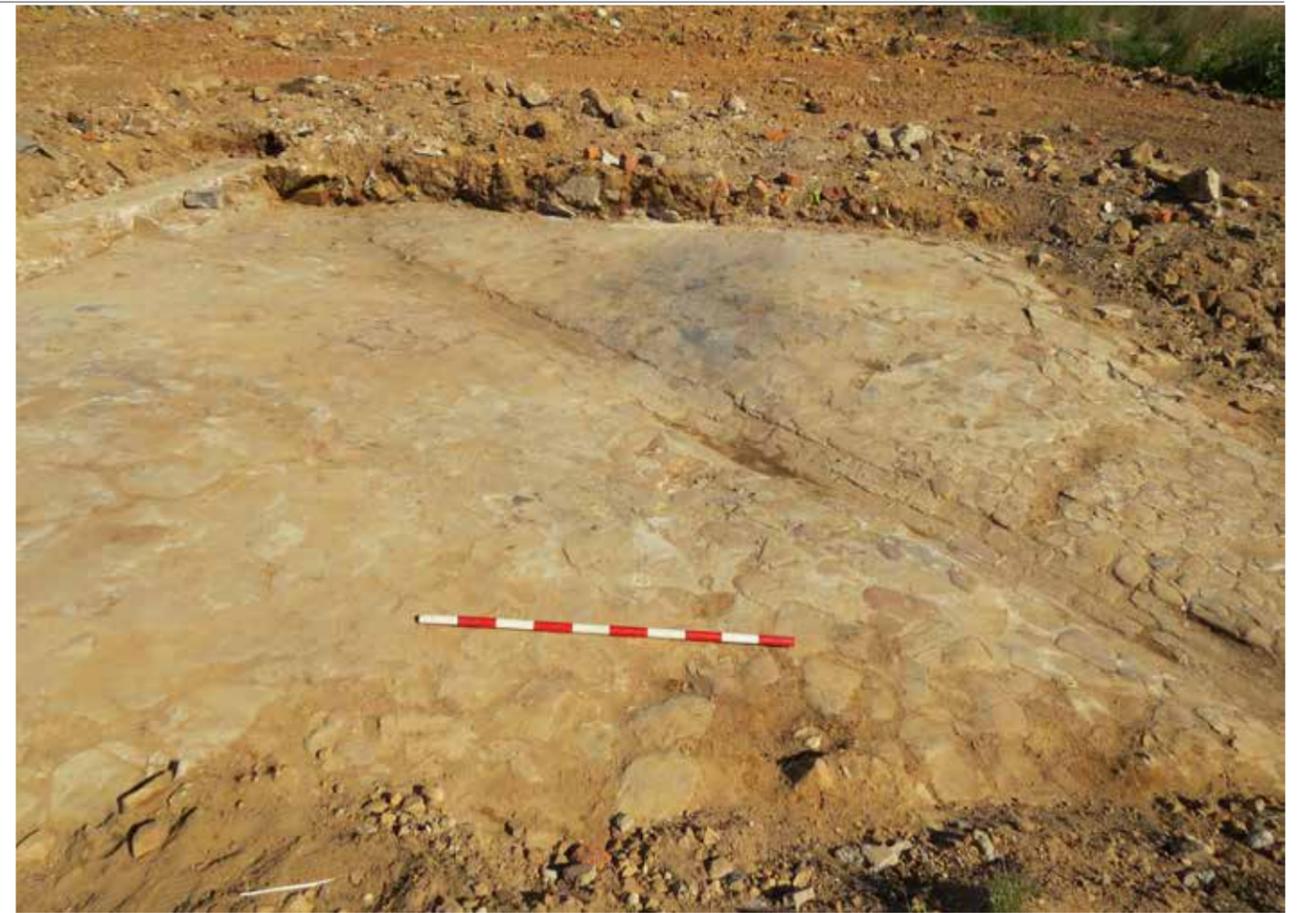
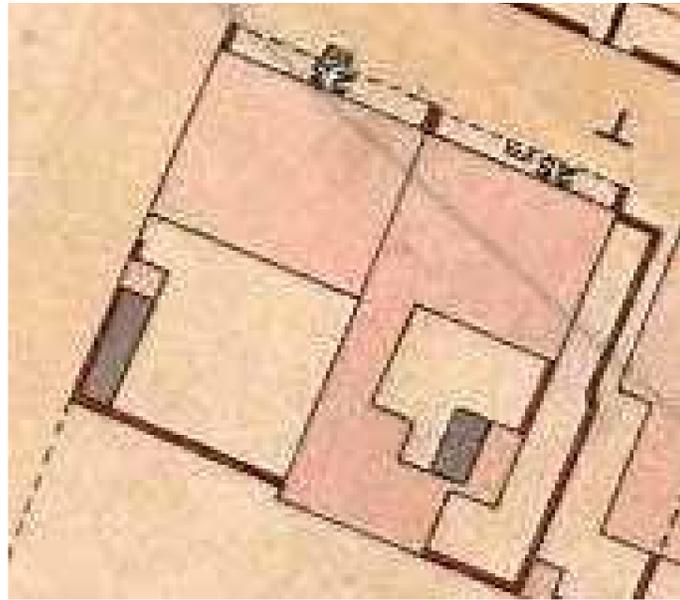


Figure 41. Progression of site development through time, from Thom's survey in c.1898 (top left), to the aerial image of the site in 1945 (top right), and finally the 1954 City Survey (below)

Figure 42. **Photograph of the cobbled yard (top) and plan of the feature (below) (RSA, 2020)**

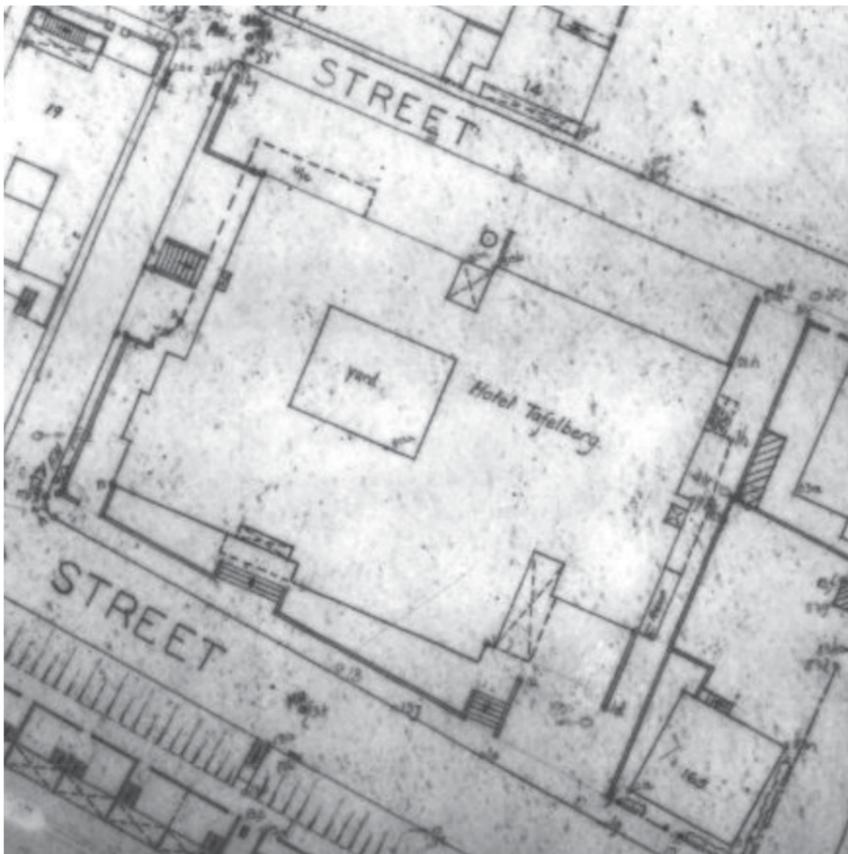


Figure 43. Depictions of the Hotel Tafelberg site through time: the 1945 aerial (top left) and the 1954 City survey below)



Figure 44. Drone image of the Hotel Tafelberg site after rubble removal (top) with the 1954 survey plan overlaid (below) (RSA, 2020)

3.1.4 Phase 6

Phase 6 lies to the south east of what was Rochester Road, and properties within this parcel were bounded by Erith Road and Maidstone Street at its eastern extent. A few properties extended north east of Maidstone along Geelong and Reinbach Streets. The parcel was further crossed by Chatham Road and Tilbury Street.

The Snow and Wilson surveys of the late 1800s depict a similar range of structures and features: a large cultivated garden with an adjacent narrow building towards the south west of the parcel; this is likely an agricultural building related to the garden rather than a dwelling. There are several properties and gardens along what became Chatham Road in the southern half of the parcel. A small structure is indicated in the centre of the parcel by Wilson's survey, and several more residences - these more urban in nature, and without attached gardens - are located at the very north along the alignment of what later becomes Rochester Road.

By Thom's survey, the market gardens have largely vanished. The densification of the City in the late C19th resulted in the City expropriating the fresh water that had fed the lower slopes of the mountain in order to meet the water demands of the growing population. This effectively put an end to market gardening in the City Bowl, and could be responsible for the changes we see here. In this parcel, while most residential structures remained, without their gardens, the structure south of the largest garden is absent, supporting the idea this was an outbuilding rather than a residence.

Again, remarkably little changes across this parcel between the late C19th and the aerial photograph of 1926, and it is only towards the mid-C20th that the site becomes densified. By the time of the 1954 survey, the parcel is largely developed, although there is still comparatively a fair amount of open space. The survey shows that the earliest structures are all incorporated into the densification although, interestingly, the plot that had been the large garden indicated in Snow and Wilson remains undeveloped.

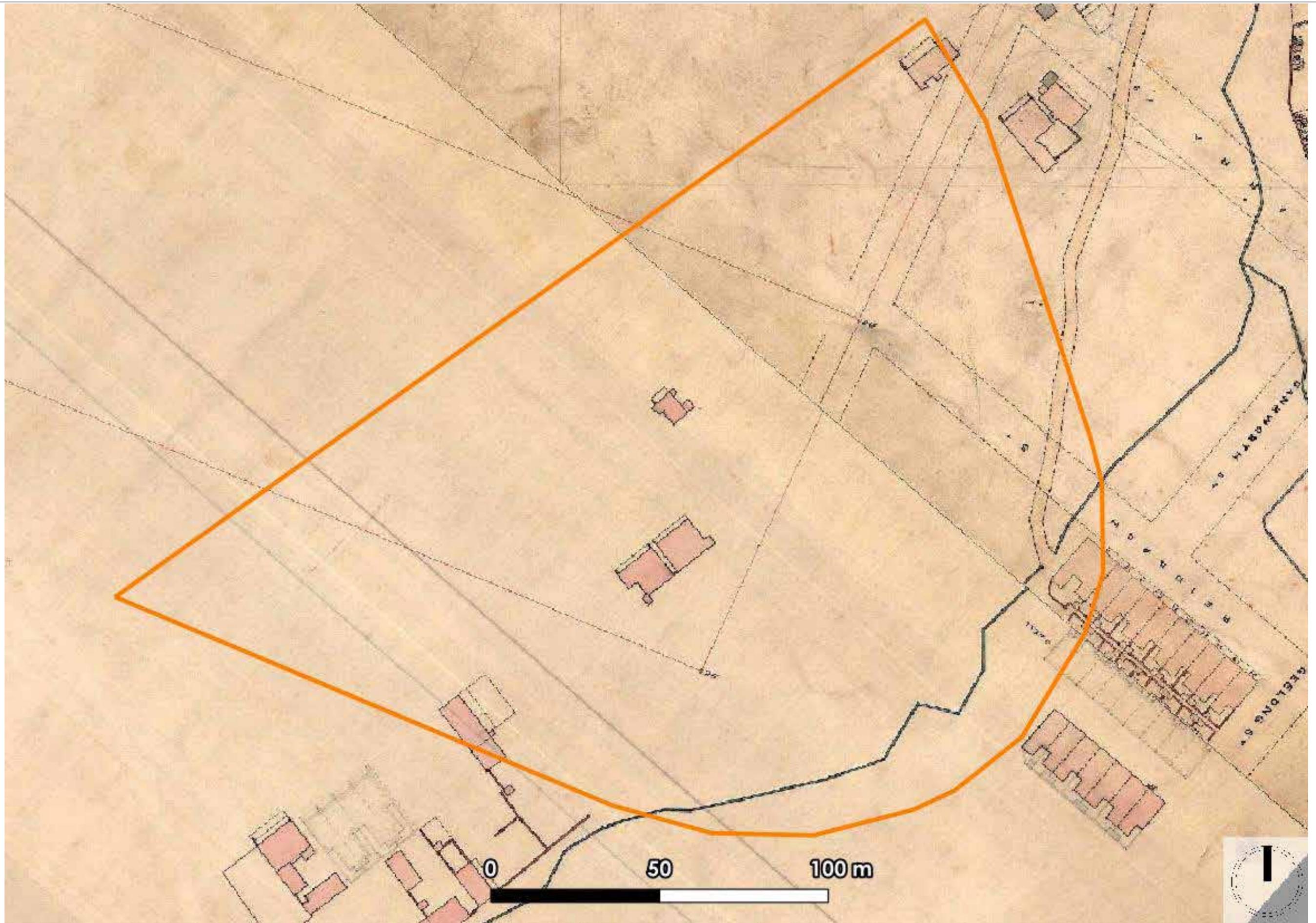


Figure 46. Detail of 1898 Thom survey showing the layout of structures within Phase 6 (RSA, 2022).

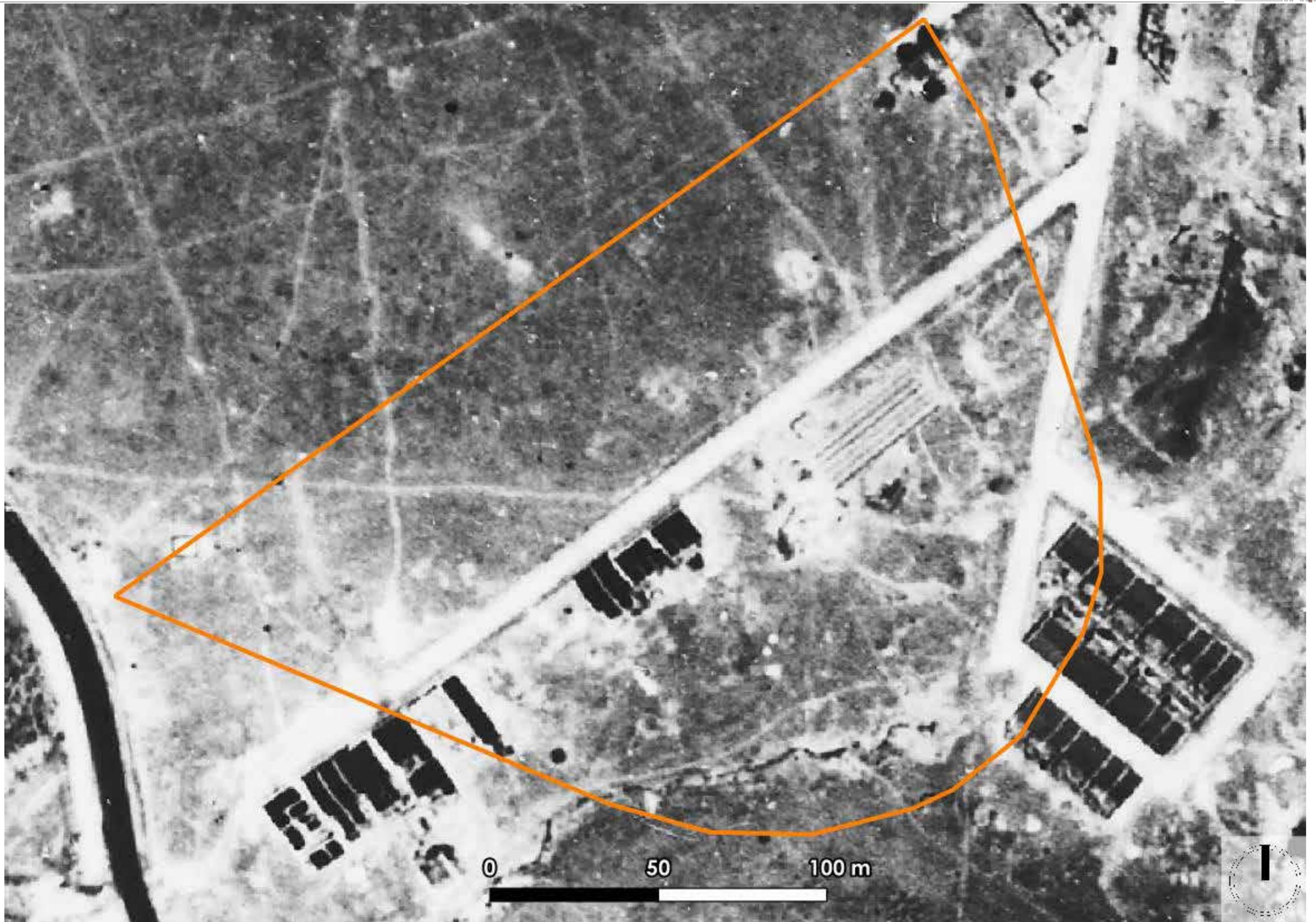


Figure 47. 1926 aerial photograph of the area of Phase 6 showing the layout of structures and roads in the early part of the C20th (NGI, 2020; RSA, 2022).



Figure 48. City of Cape Town survey of 1954 for Phase 6 showing the layout of structures and roads prior to the forced removals of 1966 (CoCT, 2022; RSA, 2022).

4.0. LITERATURE REVIEW

4.1. Relevant prior archaeological work

4.1.1 1996 ACO Survey²

The UCT Archaeology Contracts Office undertook an extensive survey of District Six to ascertain areas where preservation of *in situ* materials was good, and thereby identify areas of archaeological sensitivity. This survey noted that the construction of Keizersgracht and CPUW were responsible for the destruction of large areas of District Six, while secondary clearing in places scraped off the remnant footings that survived initial demolition activities.

This survey examined 340 sections of street, and identified that, at the time:

- 30% of original streets were still in use or entirely visible.
- 23% of original streets were partially visible.
- 2% of original streets probably existed but were buried
- 37% of original streets had been destroyed or were not visible at all.
- 9% of original streets had been modernised and renamed.
- Many of the blocks examined (Halkett and Hart 1996b) contained direct evidence of below surface remains in the form of floors and wall alignments, and sometimes fragments of stoeps and walling protruding above the surface of the landscape.
- The preservation of pavements around street blocks indicates areas where scraping has not encroached below floor level.
- Other kinds of archaeological material could exist in District Six, including pre-colonial remains, historic midden sites, covered drains and sewers, tram lines in streets. Old stream channels are especially sensitive as these were used as dumping grounds, as were wells.

Of particular interest to this application are the findings pertaining to the areas identified as Phases 4 and 5 in this development proposal. The land to the west of Phase 4, which was to become Block Q2 in Phase 3 of the District Six redevelopment, was not surveyed as part of this project

Phase 4 was surveyed as Block E1 to E6. Large scale earthmoving and landscaping was noted to have occurred across most of this area, making the survival of *in situ* archaeological material unlikely. It was noted that traces of parts of Hanover Street might remain, as might elements of the Avalon Cinema between Eckard and Hanover on Russell Street (wrongly identified in the report as the Star Cinema).

² Halkett and Hart, 1996b

Phase 5 was surveyed as Block C3 to C12. While preservation in this area was variable, it was noticeably better on the lower portion of site, i.e. the more northerly part, with the street system fairly well preserved throughout. The area along the old intersection of Roos and Horstley could retain late 19th/early 20th century residential structures and be of some archaeological significance. The north western extent of the block was also the site of the Hotel Tafelberg, of which subsurface remnants could remain. A preserved terrace was noted along Milton Street, while good preservation was observed of below surface remains along Arundel and Ellesmere Streets. An old palm Tree was observed near the intersection of Milton and Arundel and a further tree near Ellesmere both of which pre-date the demolition of District Six.

4.1.2 ACO Excavations: Horstley, Stuckeris and Tennant Streets³

Between 1996 and 1999, house foundations were excavated in Horstley and Stuckeris Streets. These excavations revealed house foundations for a variety of house types dated between the 1860s and 1890s, and facilitated the compilation of a sequence of building and occupation of these structures. The Tennant Street site, exposed during the process of an aborted development, revealed a midden and house footings. While this site was not subject to archaeological excavation, it provided an opportunity to engage local school children in the process of archaeological excavation and analysis.

These excavations based their interventions on analysis of site plans, careful removal of rubble and overburden from identified areas of interest and excavation in line with accepted methodology for historic sites. Important features and site markers included foundations, foundation trenches and lenses of material that represented aeration gaps below floorboards where significant quantities of material accumulates.

4.1.3 'Pilot Project' Monitoring⁴

Archaeological monitoring was undertaken prior to the development of a block bounded by Stuckeris, Aspeling, Roger and Chapel Streets as part of a District Six redevelopment 'Pilot Project'. This work was limited to monitoring only of rapid site clearance by earthmoving machinery, with the understanding that the exercise would be useful for future investigations, rather than archaeologically meaningful in and of itself.

³ Halkett and Hart 1996a

⁴ Malan, 2003

Structural remains and features were identified *in situ* and recorded photographically, while sections of trenches excavated by machines allowed some limited recording of vertical deposits. Artefactual and structural remains were retrieved from site, but largely without contextual or stratigraphic context.

The work confirmed that large quantities of old fabric remained (Halkett and Hart, 1996a, 1996b) sealed below demolition rubble and topsoil in this part of District Six, including floor slabs, foundations, rubbish pits and traces of C19th material.

4.1.4 2015 Monitoring: Q2 Block⁵

Block Q2 was developed in Phase 3 of the DLRRD redevelopment of District Six, with site clearing taking place in 2015. This site was considerably altered in the 1990s when the northern extent was raised, and the southern extent cut in order to level it as a sports field. Block Q2 is immediately to the west of Phase 4, and therefore of great interest in terms of this application. The AME Church was outside of this block, and, significantly, must therefore be located within Phase 4.

This monitoring exercise made use of hand-held GPS units preloaded with street alignments to determine where to focus earthmoving activities in order to reveal historic features. In areas where road surfaces were expected, excavation by machine was conducted to test the presence of these once the overburden had been reduced.

Monitoring, and the limited amount of machine excavation conducted, revealed that road surfaces were largely absent, presumably having been truncated before the embankment was created. Ephemeral traces of tarred surfaces were encountered along the northern extent of Blythe Street, but in the absence of associated road edgings these could not be positively identified as remnant road surfaces. The loose nature of the fill impeded efforts to identify road surfaces elsewhere across the site.

Granite kerb stones or steps were retrieved in significant quantities, together with smaller items typical of urban sites of the C19th and C20th. The kerb stones had been identified as significant material prior to work commencing and were retained, although their size and weight posed considerable logistical problems in terms of their removal from site and safe storage.

⁵ Halkett, 2015

The embankment itself was identified as likely having been created from soil and rubble derived from the construction of the CPU, as well as other material from across the City and some from the demolition of District Six. Artefacts were found throughout the deposit, including late C19th to early/mid C20th materials and modern items. Provenance of overburden, artefacts and kerb stones is problematic and cannot be unequivocally linked to any specific areas.

4.1.5 2020 Rubble Removal Monitoring, Parcel N⁶

In 2020, rubble removal was undertaken as a prelude to further development, and as a preliminary phase to future redevelopment. The proposed actions were intended to expose historic ground levels, old street surfaces, but not to continue below that, or undertake any excavation or shaping.

Parcels P (now Phase 4) and N (now Phase 5) were earmarked for clearing, but only Parcel N was cleared due to complications pertaining to the illegal dumping that had taken place previously on Parcel P.

As the rubble originated from the destruction of the houses of District Six, and given the Grade I status and very high significance of the area, it was decided to undertake the rubble removal as an archaeological exercise, despite there being no planned excavation into extant features below historic ground level. As such, a permit was obtained in terms of Section 35 of the NHRA, with monitoring and recording of features indicated as the mitigatory strategy.

The earthmoving undertaken to begin the process of levelling prior to development revealed extensive built remnants of houses and structures across Parcel N, and these were left intact as far as possible. Demolition of fabric was started in the block between Clifton and Lewis Streets to reduce the ground level to those indicated on the engineer's site plans, but this was halted by the archaeologist. All road fabric was left intact and *in situ* across the site.

A sample of artefacts has been retained from site, although building material was not collected and can be recovered before further site clearing. As the site was not secured during or after work began, it was problematic to ensure the retention of all artefactual material on site, and large quantities of metal objects were removed to sell as scrap.

⁶ RSA, 2020

Limited research was undertaken pertaining to the history and significance of Parcel N, partly due to the Covid restrictions then in place, and partly due to the understanding that the next step would be an HIA.

The significant sites revealed through the site clearing and monitoring work undertaken are as follows:

- The Hotel Tafelberg site
- The archaeological features at 2 Roos Street/ Erf 7490
- The palm tree at 13/15 Milton Street
- The belhambra tree at 23 Albert Street

It was noted that the property at 2 Roos Street, and James Small, the original owner of Erf 7490, as well as the Hotel Tafelberg, in light of its social significance, would require further research. This work would have formed part of the HIA and provided heritage indicators and guidelines to shape the redevelopment of the site.

This work showed the value of scoping work to determine the areas of high sensitivity - such as Erf 7490, and the two trees - such that they could be approached with caution or avoided, as necessary. It also showed that unexpected features - such as the Hotel Tafelberg site - still persist and can be exposed, requiring appropriate measures to assess significance and determine a course of action.

The recommendations arising from this monitoring exercise were:

- The full significance of the four sites identified as important must be considered during the HIA process such that their preservation, if appropriate, can be considered in terms of the proposed future redevelopment.
- Archaeological excavation at the site of 2 Roos Street should be carried forward as a recommendation of the HIA process.
 - If the site cannot be retained as a feature in the new development, excavation must take place as mitigation;
 - Should the feature be retained and incorporated into the design, the cobbling should be left intact, and excavation be undertaken to expose it in full and explore the rest of the property. This was to be determined during the HIA process.
- The work undertaken here contributes to the HIA process that will follow, and this report should be made available to the heritage practitioner appointed to compile the HIA for this piece of land and for the other sites earmarked for restitution in the wider District Six area.

4.2. Archaeological Indicators Derived from Previous Work

These indicators are derived from previous work pertaining to archaeological work in District Six (Halkett and Hart 1996a and 1996b; Malan, 2003; RSA, 2020), particularly where this involves redevelopment and consequent large scale interventions such as earthmoving for site clearance.

- A practical and efficient methodology for site clearance needs to be planned that combines mechanical, labour-intensive hand clearing and professional archaeological excavation.
- Clear guidelines are needed that facilitate maximum value from planning and excavation while enabling redevelopment to proceed without unnecessary interruption.
- A plan should be agreed on to protect invisible but potentially significant or fragile sub-surface remains from the impact of heavy site machinery, vegetation clearing, unauthorised salvage etc.
- Preserving and conserving significant historical fabric features, artefacts etc. may be considered desirable. Material that needs to remain *in situ*, will need protection from further development activity, while anything with intrinsic value will require safe storage.
- A clear plan of action pertaining to dealing with the large, heavy kerb stones is required on a day to day basis. This must include transportation across site for stockpiling and off site for safe storage until they can be appropriately reused.
- All guidelines should be designed for and communicated to, all on-site personnel and interested and affected parties.
- Sensitivity 'heatmaps' should be compiled prior to site work to identify areas that hold particular age, architectural, social or associational significance so that site specific measures can be adopted responding to each feature or site identified.

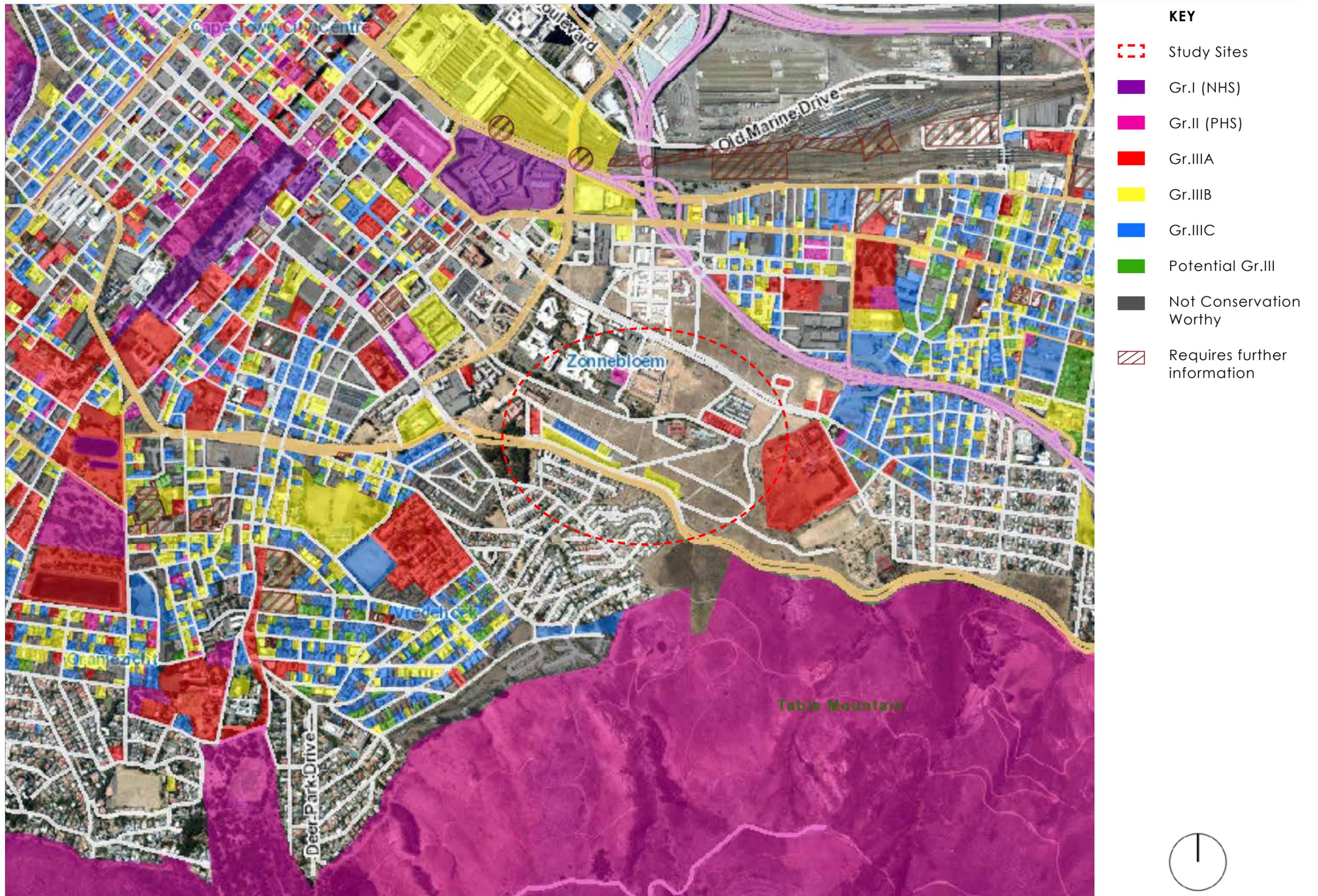


Figure 49. City of Cape Town Grading Map showing the grading of sites in the vicinity of the proposed development area (CityViewer, 2020).

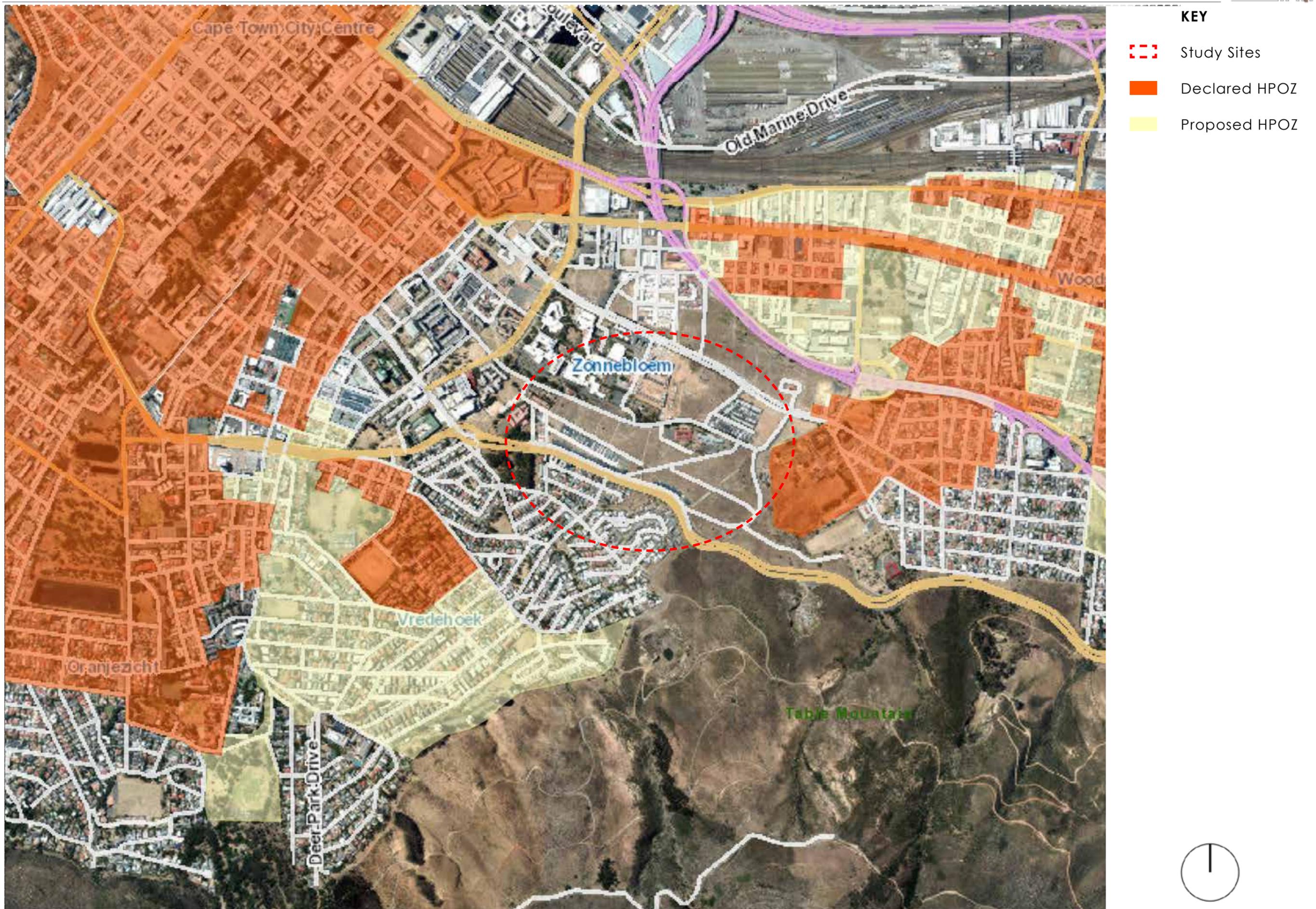


Figure 50. City of Cape Town Heritage Overlay Zone Map showing the proposed and declared HPOZs surrounding the proposed development area (CityViewer, 2020).

5.0. HERITAGE SIGNIFICANCE

While the area of District Six is identified as a Grade I area, there is currently no HPOZ in place in the area, nor are any of the parcels in question graded (Figure 49 and Figure 50). Both of these factors reflect the wholesale destruction of fabric and tangible elements in the landscape. Nearby gradings are attached to standing buildings and remnant religious sites and structures, while HPOZs are linked to areas of well preserved historic fabric in Upper Woodstock, itself a remnant of District Six, and Zonnebloem.

Halkett (2013 and 2015) references Le Grange's Heritage Impact Assessment (Le Grange, 2003) in identifying the tangible heritage resources of significance that warrant consideration in terms of redevelopment proposals. These include (Halkett, 2015:4-5):

- The identification and celebration of Public Places (of sites and buildings) that could be used to serve the memory of District Six. Such sites and buildings should be considered as a continuous and coherent system, and should include:
- Existing places of worship/ religious institutions (Churches and Mosques);
- Existing schools;
- Sites of previous (but now destroyed) places and buildings of cultural significance (churches, community halls, cinemas, markets, etc..) where the memory of their prior existence can be celebrated;
- New public spaces;
- The selection and preservation of sites of archaeological significance - sites which where possible could be incorporated into the overall public space system so that they may serve as a reminder of the layered history of District Six;
- The remaining historic street grid;
- The acknowledgment of Hanover Street as a historic mixed-use 'activity corridor' and public place, and,
- The establishment of a Memorial Park.

Sensitivity 'heat maps' have been compiled to identify areas across all parcels that could contain particularly significant archaeological remains, based either on the age of such fabric as might endure, or the intangible significance associated with the sites (Figure 51). In some instances, intact fabric is known to survive at these sites, such as at Erf 7490 and Tafelberg Hotel, while elsewhere the existence of remnant features or fabric is yet to be established, and will have bearing on the significance of the sites.

5.1. Significant Sites

5.1.1 High Sensitivity

Phase 4

- Area of 21-23 Blythe Street - could contain possible old fabric and material related to market gardening in the mid to late C19th
- 273-248 Hanover Street - could contain possible old fabric and material related to the early densification of District Six in the mid to late C19th
- AME Church - site of very high social significance; potential to yield artefactual material related to religious activities

Phase 5

- Erf 7490 -intact cobbled courtyard uncovered in 2020 possibly related to earliest structure in this area; further cleaning and/or excavation could yield further structural remains or associated artefacts
- Hotel Tafelberg - social and associational significance; in situ copper boiler
- Palm Tree on Milton - social, spiritual and age significance
- Belhambra on Albert - some social significance

Phase 6

- 43-45 Chatham Road - could contain possible old fabric and material related to market gardening in the mid to late C19th
- Chatham Road Outbuilding site - could contain possible old fabric and material related to market gardening in the mid to late C19th
- 25-31 Chatham Road - could contain possible old fabric and material related to market gardening in the mid to late C19th
- House Annette - could contain possible old fabric and material related to the early densification of District Six in the mid to late C19th

5.1.2 Moderate Sensitivity

Phase 4

- Avalon Cinema Block - site of moderate social significance; potential to yield fabric or material related to specific use as cinema in C20th

5.1.3 Lowest Sensitivity

Phase 4

- EOAN Group - potential to yield artefactual material related to cultural activities based in adjacent Isaac Ochberg Hall

Phase 5

- Belhambra on Albert - some social significance

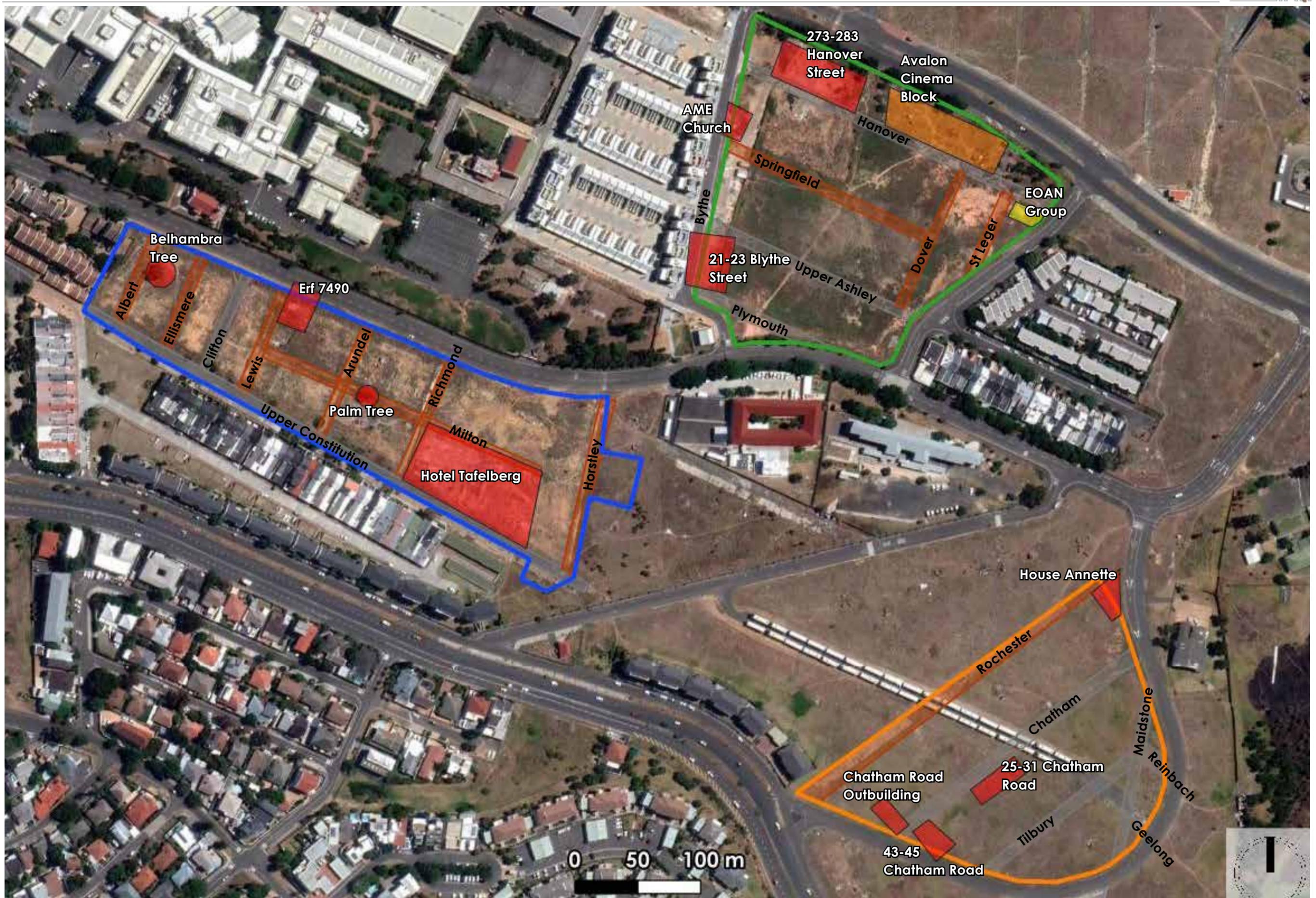


Figure 51. Sensitivity mapping of archaeological sensitivity derived from historic overlays, with sensitivities based on expected or known areas of old fabric or sites or features of social significance; red indicates areas of highest significance, orange moderate and yellow lowest. Historic road alignments are indicated, brown for concrete or cobbled surfaces, and grey for tar (RSA, 2022).

6.0. PROPOSED WORKS

At this early stage, particularly as the geotechnical testing has yet to be undertaken, the exact extent of the proposed works is not known. Further, the developers have opted for a staggered approach to the wider redevelopment project and are focusing on preparations for Phase 4 at this point, although surveys have been undertaken of the current ground surface across all parcels. The design and layout is being addressed in the HIA, and proposals presented here are concept sketches only; currently these have only been prepared for Phases 4 and 5 (Figure 52 and Figure 53)

The activities proposed in terms of this application pertain to site levelling activities across all parcels. This earthmoving is necessary to clear the results of the initial demolition activities, as well as the accumulated overburden that has arisen due to activities across the three areas in the years since. In the case of Phase 5, much of the clearing work was already undertaken as part of the rubble removal activities in 2020; in the case of Phase 4, the condition and content of the overburden is uncertain due to the previous cut and fill activities, and more recent dumping and levelling on the site (Figure 54 to Figure 56).

Unlike the 2020 activities, the currently proposed works extend to cut and fill to create platforms for construction. By undertaking this stage of works in advance of the wider development as subject to the HIA, the parcels can be prepared for construction to start as soon as the necessary approvals are granted.

For Phase 4, the initial quantity of earthworks to be moved is in the region of 28 000m³ of which approximately 17 000m³ will be disposed off site; this material is presumed to be rubble and/or unsuitable material. These figures are subject to change, particularly pending the outcomes of the geotechnical survey.

The work also includes the creation of detention ponds for each parcel (Figure 56). In Phases 4 and 5, the detention pond is located in the north west of the parcel, while in the case of Phase 6, the pond is located outside of the parcel boundary, which extends the area of sensitivity in that parcel north east along Rochester Road.

6.1. Likely Impacts

The detention pond on Phase 6 will not result in any direct impacts to significant archaeological materials, however the ponds on the other two parcels will have impacts. On Erf 177646, the detention pond will truncate the northern extent of any remains of the old row houses along that section of old Hanover Street. On Phase 5, the pond will require the removal of the belhambra tree along historic Albert Street.

The rubble clearing will, as was done in 2020 on Parcel N, expose the historic ground levels, and reveal the extent and intactness of subsurface remains. Any excavation beyond those levels, including for the purposes of stormwater management ponds and systems, will result in the damage, displacement and destruction of features, deposit and material.

On Stage 5, as the rubble clearing has already been undertaken, such that the significant resources on that parcel have already been identified. Preparation of the parcel for construction, without consideration of these resources, would result in the destruction of the cobbled surface on Erf 7490, and the remaining features of the Hotel Tafelberg, and the loss of the palm tree on Milton Street.



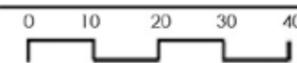
CONCEPT LAYOUT - Rev 2	
D6 B1 Phase 4	
1:1000 @ A3	
0 10 20 30 40	
	

Figure 52. Concept layout for Phase 4 (CNdP, 2022)



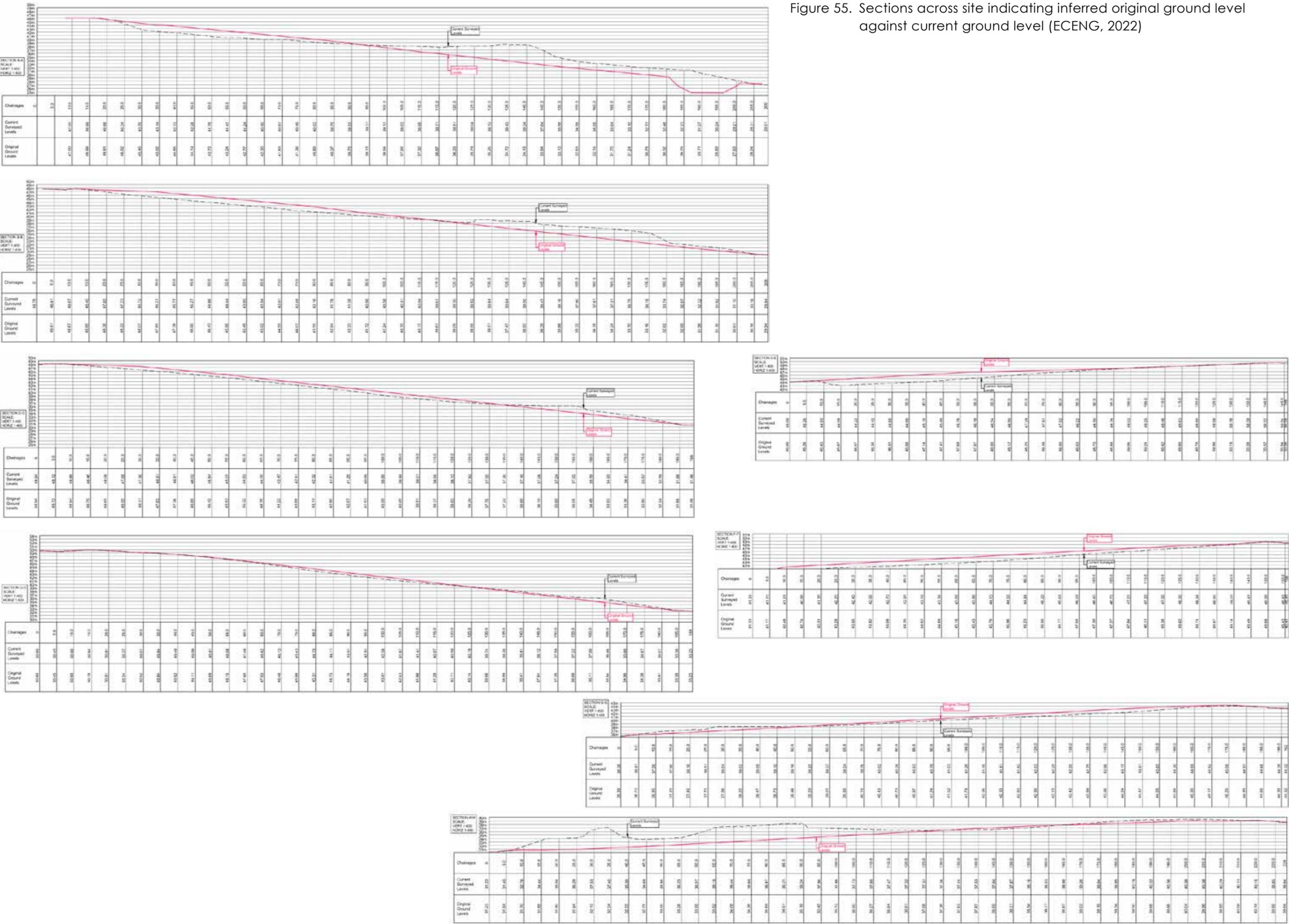
CONCEPT LAYOUT	
D6 B1 Phase 5	
1:1000 @ A3	

Figure 53. Concept layout for Phase 5 (CNdP, 2022)



Figure 54. Draft layout of Phase 4 with inferred original levels indicated (ECENG, 2022)

Figure 55. Sections across site indicating inferred original ground level against current ground level (ECENG, 2022)



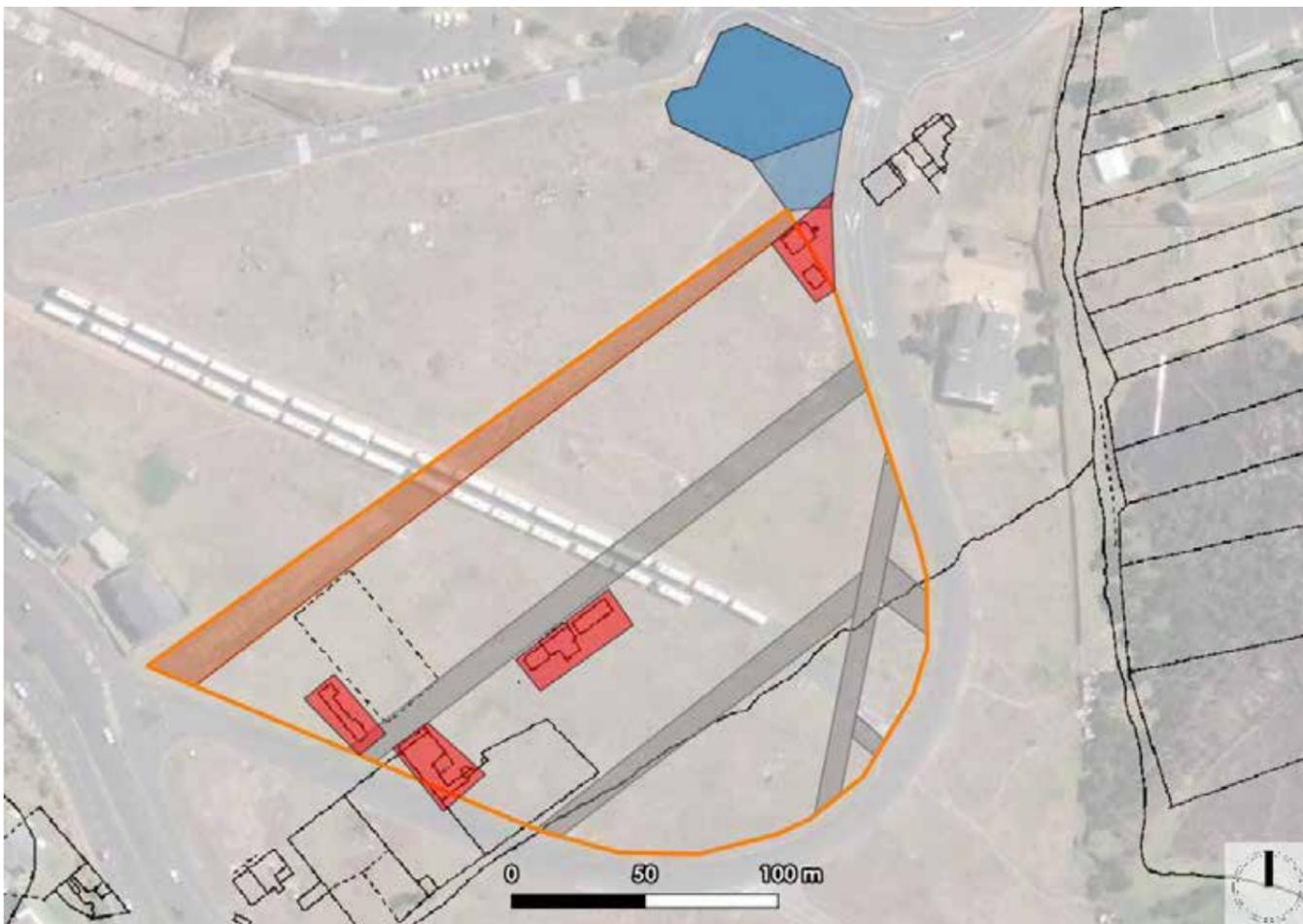


Figure 56. Proposed locations of detention ponds overlaid over the archaeological sensitivity maps for the three parcels; the base map shows Snow's 1860s survey overlaid on current satellite imagery. The darker pond area shows reduced attenuation, and the lighter area total attenuation (RSA, 2022 from ECENG, 2022)

7.0. PROPOSED MITIGATORY ACTIONS

Large-scale excavation is impractical and unwarranted here, given that little very old fabric is affected, and the 1954 survey provides a far more complete plan of the layout of structures and streets than would be gleaned from excavation after the initial demolitions, and subsequent activities on site. Further to this, the former residents are returning to take up occupation of the area again, and there can be little value in systematic excavation to procure material cultural remains of their life in District 6.

7.1. Monitoring

As the depth of overburden, and the integrity of any subsurface remains is presently unknown, a first step across all of the areas will need to be monitoring of site clearing. This monitoring will need to be closely and intensively undertaken in those areas identified as significant in this submission, and include areas where older fabric could remain, or sites with particularly high intangible significance. In the case of the former, the intention will be to determine the extent of remnant fabric, while in the latter it will be to inspect for material traces of activities linked to those places.

General monitoring will be undertaken across all development areas, and Phase 5 will only be subject to general monitoring due to the work already undertaken there in 2020. Focused and intensive monitoring will be undertaken at the following sites during level reduction to historic ground levels:

Phase 4

- Area of 21-23 Blythe Street
- 273-248 Hanover Street
- AME Church
- Avalon Cinema Block
- EOAN Group property

Phase 5

- Hotel Tafelberg

Phase 6

- 43-45 Chatham Road
- Chatham Road Outbuilding site
- 25-31 Chatham Road
- House Annette

7.2. Excavation

Depending on the outcome of the monitoring, excavation might be necessary to test for in situ deposit, significant remnants or similar features. Whether excavation is undertaken by hand or machine, and the extent of excavation will be determined by the outcomes of initial monitoring. Basic workplans should be compiled for each site to be excavated, and these submitted to the Case Officer for approval at HOMS.

Sites identified as possibly warranting excavation after clearing include:

Phase 4

- Area of 21-23 Blythe Street
- 273-248 Hanover Street
- AME Church

Phase 6

- 43-45 Chatham Road
- Chatham Road Outbuilding site
- 25-31 Chatham Road

7.3. Consideration of no-go areas

In recommending no-go areas, the wider S38 process is relevant - were the archaeology of these sites being addressed in an HIA, no-go areas would be foregrounded as heritage-based design indicators. This report proposes that the following features be considered no-go areas in terms of development, site levelling or other related activities:

Phase 5

- Palm Tree on Milton Street
 - this should be retained during site levelling
 - the tree should be incorporated into the design going forward
- Erf 7490
 - this site should be cordoned off during site levelling
 - the cobbled surface should be cleaned and exposed further
 - the site should be preserved and incorporated into the design going forward
 - exploratory excavation could be undertaken, but, unless the site cannot be retained, nothing should be done that might compromise the stability or integrity of the cobbled surface, including excavation..

7.4. Preservation in Record

Preservation in record will be the default mitigatory strategy arising from the sites noted for monitoring in Section 7.1 above, except where further investigation is warranted. In addition, the following features can be removed from site following adequate recording:

PHASE 5

- Belhambra Tree - this tree, while large and mature, does not hold the same significance as the palm tree, and can be removed. The development will be landscaped and planted with more appropriate trees, while the belhambra is a category 3 invasive alien with aggressive root systems.
- Hotel Tafelberg - the importance of this site lies in its intangible significance which needs to be addressed in the HIA. The fact of its presence, and its location should be recorded and acknowledged somehow in the development going forward; again the details of this should be explored in the HIA. The copper boiler should be removed from site under archaeological monitoring and direction, and safely stored for conservation and preservation; its future should be determined in the HIA.

8.0. PUBLIC CONSULTATION

This permit application will be made available to the following I&APs for 30 days' comment between 25 March and 25 April.

I&APs consulted are:

- The City of Cape Town
- SAHRA
- District Six Museum Foundation
- District Six Reference Group
- District Six Working Group
- CiBRA

9.0. CONCLUSION

With a relative wealth of work done preceding this application, we can confidently predict much of what is to be found within the rubble and overburden layers across these parcels, where this remains. While the possibility of making significant chance finds cannot be overlooked, it is nonetheless, reasonable to make assumptions about the material to be found, its distribution, context and degree of preservation, as well as the significance of various objects, items and features. In addition to these sources of information, the surveyed plans of pre-existing street grids also allow us to plot the location, extent and alignments of the old street systems. and building footprints.

However, particularly in the case of Phase 4, the extent of past activities and the degree to which these have impacted the remnant features and remains cannot be known. As such, earthmoving needs to be undertaken in a phased approach that initially involves clearance in the areas identified as significant, to allow for assessment of remains at and below ground level. Where significant in situ remains are identified, an appropriate archaeological response will be necessary prior to the further excavation and shaping of the site.

As such, work on site needs to adhere to a work-flow that entails the following:

1. Initial site clearance under archaeological monitoring;
2. Inspection of cleared areas for significant material or features
3. Appropriate mitigatory response, being either
 - i) recording or
 - ii) excavation - by hand or machine as each case warrants
 - iii) proceeding with cut and fill activities.

10.0. RECOMMENDATIONS

- This report should be endorsed;
- A permit should be issued in terms of Section 35 of the NHRA (No. 25 of 1999) for archaeological work pertaining to earthmoving on the three parcels identified in this report as Phases 4, 5 and 6;
- The archaeologist must monitor earthmoving in the areas where there is likely to be remaining fabric, these areas are:
 - Phase 4
 - Area of 21-23 Blythe Street
 - 273-248 Hanover Street
 - AME Church
 - Avalon Cinema Block
 - EOAN Group property
 - **Phase 5**
 - Hotel Tafelberg
 - Phase 6
 - 43-45 Chatham Road
 - Chatham Road Outbuilding site
 - 25-31 Chatham Road
 - House Annette
- The copper boiler at the Hotel Tafelberg should be removed under archaeological monitoring and direction, and safely stored off site pending the outcome of the HIA;
- Excavation should be considered, pending the outcomes of monitoring for the following sites, although more might come to light during monitoring:
 - Phase 4
 - Area of 21-23 Blythe Street
 - 273-248 Hanover Street
 - AME Church
 - Phase 6
 - 43-45 Chatham Road
 - Chatham Road Outbuilding site
 - 25-31 Chatham Road
- The belhambra tree on old Albert Road can be removed;
- Proposed excavations should be presented to the Case Officer as individual workplans for each sites; the archaeological process should be discussed with the HWC Case Officer;
- The following sites should be cordoned off and avoided by earthmoving and site levelling activities, retained and incorporated into the layout going forward, subject to the outcomes of the HIA:
 - Phase 5
 - Erf 7490 at the corner of historic Roos and Lewis Streets;
 - Phase 6
 - Palm tree on Milton Street
- The old street plans the sites identified as significant in each parcel should be loaded to a hand-held GPS receiver to facilitate management during the earthmoving phase;
- The archaeologist must establish the positions of all roads on site and ensure that remaining fabric is preserved *in situ*. Until a decision is made with respect to which roads are to be memorialised, all roads with preserved fabric are to be retained;
- The archaeologist should recover (and preserve the provenance of if possible) any artefactual material contained in the levelling process outside of systematic excavation that in the opinion of the archaeologist, may be used in the process of memorialisation;
- Materials are to be housed at Iziko as the recognised repository; the final repository of the material must be established in the course of the HIA process;
- Due to the logistics and type of material removed during the earthmoving, it will in all likelihood be impractical to sieve the rubble and overburden to recover artefactual material. If higher densities of, or unusual material are encountered, the archaeologist may request some soil to be stockpiled until it can be processed carefully;
- Granite "kerb stones/steps" are the most recognisable and durable items in the fill and we focussed specifically on isolating and collecting those items. The provenance of the items is again problematic but they are likely to represent the remains of roads and steps destroyed elsewhere in District Six;
- The outcomes of this work must be incorporated into the HIA and decisions with respect to which are preserved must meet the satisfaction of all role players.

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ANNEXURES

REGISTERED POST

Our Ref: HM/CAPE TOWN METROPOLITAN/DISTRICT SIX/D6 RUBBLE REMOVAL
Case No.: 20012914SB0131E
Enquiries: Andrew September
E-mail: andrew.september@westerncape.gov.za
Tel: 021 483 9543
Date: 04 March 2020



Katie Smuts
 34 Caledon Street
 Stanford
 7210

PERMIT

CASE #: 20012914SB0131E

Issued in terms of Section 35(4) of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)

This permit is valid for three years from the date of issue

This permit is issued for:

The following decision has been made via email dated the 3rd March 2020 as per the Archaeology, Palaeontology and Meteorites Committee decision made on the 5th February 2020:

Proposed Action: Proposed rubble removal
Site: Parcel N & P, Erven 10010, 117891, 117893, 117894, 117985, 117896, 117897 and 117898, District Six, Cape Town

Conditions applicable to this Permit:

1. The archaeologist must monitor earthmoving in the areas where there is likely to be remaining fabric;
2. The old street plan and the site of the AME Church should be loaded to a hand-held GPS receiver to facilitate management during the earthmoving phase;
3. The archaeologist must establish the positions of all roads on site and ensure that remaining fabric is preserved in situ. Test holes (dug by mechanical excavator) may be required in the course of the bulk earthworks in sensitive areas to ascertain depth, type of fabric, degree of intactness etc. of significant heritage resources. Until a decision is made with respect to which roads are to be memorialised, all roads with preserved fabric are to be retained;
4. Areas of likely sensitivity (including, but not limited to AME Church and north east section of Parcel P, and intersection of Roos and Lewis Streets in Parcel N) must be assessed carefully on site such that means of excavation can be determined to minimize the possibility of accidental damage to intact and/or significant features;
5. If intact, significant fabric is found (roads, AME Church or similar), careful mechanical excavation will be required to clear most of the overburden, and then cleaned more carefully (either mechanically or by hand) to preserve surfaces and road edging.
6. Roads and significant religious sites to be retained must be identified in the HIA and decisions with respect to which are preserved meets the satisfaction of all role players;
7. The archaeologist should recover (and preserve the provenance of if possible) any artefactual material contained in the overburden and rubble layers that in the opinion of the archaeologist, may be used in the process of memorialisation. The final repository of the material must be established;
8. Due to the logistics and type of material removed during the earthmoving, it will in all likelihood be impractical to sieve the rubble and overburden to recover artefactual material. If higher densities of, or unusual material are encountered, the archaeologist may request some soil to be stockpiled until it can be processed carefully;
9. Granite "kerb stones/steps" are the most recognisable and durable items in the fill and we focussed specifically on isolating and collecting those items. The provenance of the items is again problematic but they are likely to represent the remains of roads and steps destroyed elsewhere in District Six
10. Adequate recording methods as specified in the Regulations and Guidelines pertaining to the National Heritage Resources Act must be used.
11. A final report, in both digital and hardcopy format, MUST be submitted to HWC on or before 04 March 2022. An extension to this permit can be granted on submission of a progress report (if work was initiated) and a letter stating reasons for the extension. HWC reserves the right to withhold further permits if progress is not deemed satisfactory.
12. Reprints of all published papers or copies of theses or reports resulting from this work must be lodged with HWC
13. If a published report has not appeared within three years of the lapsing of this permit, the report in terms of the permit will be made available to researchers on request.
14. It is the responsibility of the permit holder to obtain permission from the landowner for each visit, and conditions of access imposed the landowner must be observed.

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REGISTERED POST

Our Ref: HM/CAPE TOWN METROPOLITAN/DISTRICT SIX/D6 RUBBLE REMOVAL
Case No.: 20012914SB0131E
Enquiries: Andrew September
E-mail: andrew.september@westerncape.gov.za
Tel: 021 483 9543
Date: 04 March 2020



15. HWC shall not be liable for any losses, damages or injuries to persons or properties as a result of any activities in connection with this permit.
16. HWC reserves the right to cancel this permit by notice to the permit holder.

NOTE:

- This decision is subject to an **appeal period of 14 working days**.
- The applicant is required to inform any party who has expressed a bona fide interest in any heritage-related aspect of this record of decision. The appeal period shall be taken from the date above. It should be noted that for an appeal to be deemed valid it must refer to the decision, it must be submitted by the due date and it must set out the grounds of the appeal. Appeals must be addressed to the official named above and it is the responsibility of the appellant to confirm that the appeal has been received within the appeal period.
- **Work may NOT be initiated during this 14 day appeal period.**
- This approval does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.
- an export permit must be applied for from SAHRA in respect of any archaeological or palaeontological material that will be exported.
- **A copy of this permit must be displayed in a prominent place on the site until the permitted work is completed.**

Should you have any further queries, please contact the official above and quote the case number.

Dr. Mxolisi Dlamuka
Chief Executive Officer, Heritage Western Cape

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Our Ref: HM/ CAPE TOWN METROPOLITAN/ DISTRICT SIX/ ERF 177646
 Case No.: 21121706AM0214E
 Enquiries: Ayanda Mdludlu
 E-mail: ayanda.mdludlu@westerncape.gov.za
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Katie Smuts
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PAGE 2 OF 2

Our Ref: HM/ CAPE TOWN METROPOLITAN/ DISTRICT SIX/ ERF 177646
 Case No.: 21121706AM0214E
 Enquiries: Ayanda Mdludlu
 E-mail: ayanda.mdludlu@westerncape.gov.za
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Katie Smuts
 katie@archrsa.com

RESPONSE TO NOTIFICATION OF INTENT TO DEVELOP: HIA REQUIRED
 In terms of Section 38(8) of the National Heritage Resources Act (Act 25 of 1999) and the Western Cape Provincial Gazette 6061, Notice 298 of 2003

RESPONSE TO NOTIFICATION OF INTENT TO DEVELOP: HIA REQUIRED
 In terms of Section 38(8) of the National Heritage Resources Act (Act 25 of 1999) and the Western Cape Provincial Gazette 6061, Notice 298 of 2003

NOTIFICATION OF INTENT TO DEVELOP: HOUSING REDEVELOPMENT ON ERF 177646, DISTRICT SIX, CAPE TOWN, SUBMITTED IN TERMS OF SECTION 38(1) OF THE NATIONAL HERITAGE RESOURCES ACT (ACT 25 OF 1999)

CASE NUMBER: 21121706AM0214E
 The matter above has reference.

Heritage Western Cape is in receipt of your application for the above matter received. This matter was discussed at the Heritage Officers' Meeting held on 15 March 2022.

You are hereby notified that, since there is reason to believe that the proposed housing redevelopment on erf 177646 District Six, Cape Town will impact on heritage resources, HWC requires that a Heritage Impact Assessment (HIA) that satisfies the provisions of Section 38(3) of the NHRA be submitted. Section 38(3) of the NHRA provides

- (3) The responsible heritage resources authority must specify the information to be provided in a report required in terms of subsection (2)(a): **Provided that the following must be included:**
- (a) The identification and mapping of all heritage resources in the area affected;
 - (b) an assessment of the significance of such resources in terms of the heritage assessment criteria set out in section 6(2) or prescribed under section 7;
 - (c) an assessment of the impact of the development on such heritage resources;
 - (d) an evaluation of the impact of the development on heritage resources relative to the sustainable social and economic benefits to be derived from the development;
 - (e) the results of consultation with communities affected by the proposed development and other interested parties regarding the impact of the development on heritage resources;
 - (f) if heritage resources will be adversely affected by the proposed development, The consideration of alternatives; and
 - (g) plans for mitigation of any adverse effects during and after the completion of the proposed development.

(Our emphasis)

This HIA must in addition have specific reference to the following:

- Visual impact assessment,
- Archaeological impact assessment,
- Socio-historical study, and
- Heritage design indicators for the development within the wider redevelopment.

The HIA must have an overall assessment of the impacts to heritage resources which are not limited to the specific studies referenced above.

The required HIA must have an integrated set of recommendations.

The comments of relevant registered conservation bodies; all Interested and Affected parties; and the relevant Municipality must be requested and included in the HIA where provided. Proof of these requests must be supplied.

Please note, should you require the HIA to be submitted as a Phased HIA, a written request must be submitted to HWC prior to submission. HWC reserves the right to determine whether a phased HIA is acceptable on a case-by-case basis.

If applicable, applicants are strongly advised to review and adhere to the time limits contained the Standard Operational Procedure (SOP) between DEADP and HWC. The SOP can be found using the following link <http://www.hwc.org.za/node/293>

Kindly take note of the HWC meeting dates and associated agenda closure date in order to ensure that comments are provided within as Reasonable time and that these times are factored into the project timeframes.

HWC reserves the right to request additional information as required. Should you have any further queries, please contact the official above and quote the case number.

.....
 Colette Scheermeyer
 Deputy Director

www.westerncape.gov.za/cas

Street Address: Protea Assurance Building, Green Market Square, Cape Town, 8000 • Postal Address: P.O. Box 1665, Cape Town, 8000
 • Tel: +27 (0)21 483 5959 • E-mail: ceoheritage@westerncape.gov.za

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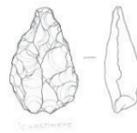
Idilesi yendawo: kumgangatho 3, kwisakhiwo, protea Assurance, Greenmarket Square, eKapa, 8000 • Idilesi ye-post: Inombolo yabhokisi yeposi 1665, eKapa, 8000 • Inombolo zomnxeba: +27 (0)21 483 5959 • Idilesi ye-imeyile: ceoheritage@westerncape.gov.za

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APPLICATION FOR A PERMIT
Section 35 / Section 27

TO DESTROY, DAMAGE, EXCAVATE, ALTER, DEFACE OR OTHERWISE DISTURB ANY ARCHAEOLOGICAL SITE, DESTROY, DAMAGE, EXCAVATE, REMOVE FROM ITS ORIGINAL POSITION, COLLECT ANY ARCHAEOLOGICAL MATERIAL OR OBJECT BRING ONTO OR USE AT AN ARCHAEOLOGICAL SITE ANY EXCAVATION EQUIPMENT OR ANY EQUIPMENT THAT ASSISTS IN THE DETECTION OR RECOVERY OF METALS OR ARCHAEOLOGICAL MATERIAL OR OBJECTS

HWC Reference No: _____
To be completed by applicant

	FOR OFFICE USE ONLY
	GRADING

PRESCRIBED FEE PAID: PROOF OF PAYMENT X YES

DETAILS OF SITE, PLACE OR STRUCTURE/ DETAILS OF SOURCE OF ARCHAEOLOGICAL MATERIAL

Physical address of site or GPS Co-ordinates: District Six, Cape Town: S 33° 56' 0.27" E 18° 26' 6.05"

Erf/Stand/Farm name and number:
Phase 4: 153779
Phase 5: 10010-RE, 115744, 117884-RE, 177362, 117695, 117891-117898 ;
Phase 6: 115705-RE, 115706, 115707, 115708

Type of site, place or structure (indicate by means of a cross in the appropriate space(s) below):

Provincial heritage site (or a previously declared national monument in terms of the National Monuments Act, 1969) or a provisionally protected place (previously a provisionally declared national monument in terms of the National Monuments Act, 1969 (section 27)) or a provisionally protected heritage site in terms of Section 29 of the National Heritage Resources Act (1999).

Archaeological or Palaeontological Site/Area/Material or Meteorite (section 35)

NAME AND ADDRESS OF APPLICANT

Name: Katie Smuts

Address: 75 Morningside Road, Ndabeni Postal code: 7405

Cellular phone number: 0727967754

E-mail: katie@archrsa.com

Identity number of applicant: 7806200125089

Declaration: I, Katie Smuts herewith declare that I intend to undertake to the actions as proposed in this application.

Signature: _____ Date: 25/03/2022

REGISTERED OWNER OF PROPERTY: (if the applicant is not the registered owner of the property; or if the application is made on behalf of the registered owner, a power of attorney must be attached)

SITE P:

Name: Department of Agriculture, Land Reform and Rural Development

Address: 14 Long Street, Cape Town Postal code: 8000

Cellular phone number: _____

E-mail: _____

Identity number of applicant: _____

Declaration: I, _____ am fully aware of this application and accept its contents.

Signature: _____ Date: _____

REGISTERED OWNER OF PROPERTY: (if the applicant is not the registered owner of the property; or if the application is made on behalf of the registered owner, a power of attorney must be attached)

SITES K2 AND N:

Name: City of Cape Town

Address: Civic Centre, 12 Hertzog Boulevard, Cape Town Postal code: 8001

Cellular phone number: _____

E-mail: _____

Identity number of applicant: _____

Declaration: I, _____ am fully aware of this application and accept its contents.

Signature: _____ Date: _____

PROPOSED TYPE OF ACTION (indicate by means of a cross in the appropriate block(s) below):

Type of work/Nature of activity:

Destruction for the purpose of	Analysis	Dating	Restoration	Other
Damage for	<input checked="" type="checkbox"/> Analysis	<input type="checkbox"/> Dating	<input type="checkbox"/> Restoration	<input type="checkbox"/> Other

Excavation

Alteration

Defacement

Disturbance

Removal from its original position

Collection

Use of excavation equipment or any equipment that assists in the detection or recovery of metals or archaeological material or objects (If relevant, provide a motivation for the use of mechanical excavation equipment or any equipment that assists in the detection or recovery of metal or archaeological material or objects.)

Removal of graffiti at a rock art site

Re-application for permit

Date and number of previous permit: (dd/mm/yy)

DETAILS OF COLLABORATING INSTITUTION WHERE THE APPLICANT WILL BE BASED WHILE UNDERTAKING THE PROJECT

Name of Institution: N/A

Name of Head of Institution: _____

Address: _____ Postal code: _____

Cellular phone number: _____

E-mail: _____

Declaration of the Head of the collaborating institution:
I, _____ hereby declare that the applicant will be based at this institution while undertaking the project and that I support the application.

Signature: _____ Date: _____

DETAIL OF AND MOTIVATION FOR THE ACTION PROPOSED

Provide a PROJECT DESCRIPTION AND MOTIVATION including relevant scientific background, motivation for use of mechanical equipment and plans for conservation of the site after the planned action, which must be supported by accompanying documentation including:

- LOCALITY PLAN showing where the site is and a SITE PLAN showing the layout of the property and pertinent features relevant to the planned action.
- SITE DESCRIPTION
- VISUAL AIDS including photographs, videos of the site in its present form, where appropriate. Please provide captions and dates to all photographs.
- REPOSITORY AGREEMENT

Details and outcome of any PREVIOUS SUBMISSIONS made to any other authority (the former National Monuments Council (NMC), SAHRA, etc.) in respect to this application.
Plans for conservation of the site after the action

CONSULTATION

Public Consultation is required in terms of the HWC Public Consultation Guideline (2016)

Conservation bodies

Conservation bodies are interested parties in the management of our heritage resources. Heritage Western Cape requires that registered conservation bodies are informed and provided with 30 days to comment when applications are received for particular geographical areas or categories of heritage resources in terms of section 25(1) of the National Heritage Resources Act, 1999. Please find the list of registered conservation bodies on our website www.hwc.org.za

PLEASE NOTE

Unless the applicant and the registered owner sign the application form, the form will not be processed by Heritage Western Cape.

Applications are considered to be public documents and are open to public scrutiny. Should you wish your application to be kept confidential, please motivate your request on a separate sheet attached to your application form. For applications that are granted confidentiality, this confidentiality will be limited to one year (12 months).



