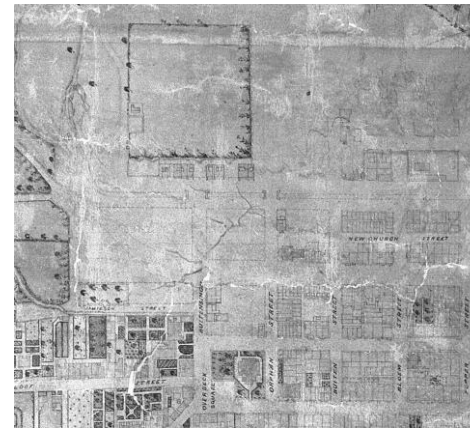


HERITAGE REPORT

APPLICATION TO
HERITAGE WESTERN CAPE
IN TERMS OF SECTION 34 of
NATIONAL HERITAGE RESOURCES ACT NO 25 OF 1999
AND
CITY OF CAPE TOWN PLANNING AND BUILDING DEVELOPMENT MANAGEMENT
(REGULATION E1 OF THE NATIONAL BUILDING REGULATION)

DRAFT II



212A BUITENGRACHT STREET, BO-KAAP
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DRAFT I - May 2019
DRAFT II - July 2019

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EXECUTIVE SUMMARY

The site:

No. 212A¹ Buitengracht, Bo-Kaap
Erf 172004-RE Cape Town

Situated one property to the SW from the Buitengracht and Orphan Street intersection, in the Bo-Kaap to the NW of the Buitengracht Street Wall.²

This site is situated in the newly established Bo-Kaap HPOZ which borders on the Central City HPOZ.

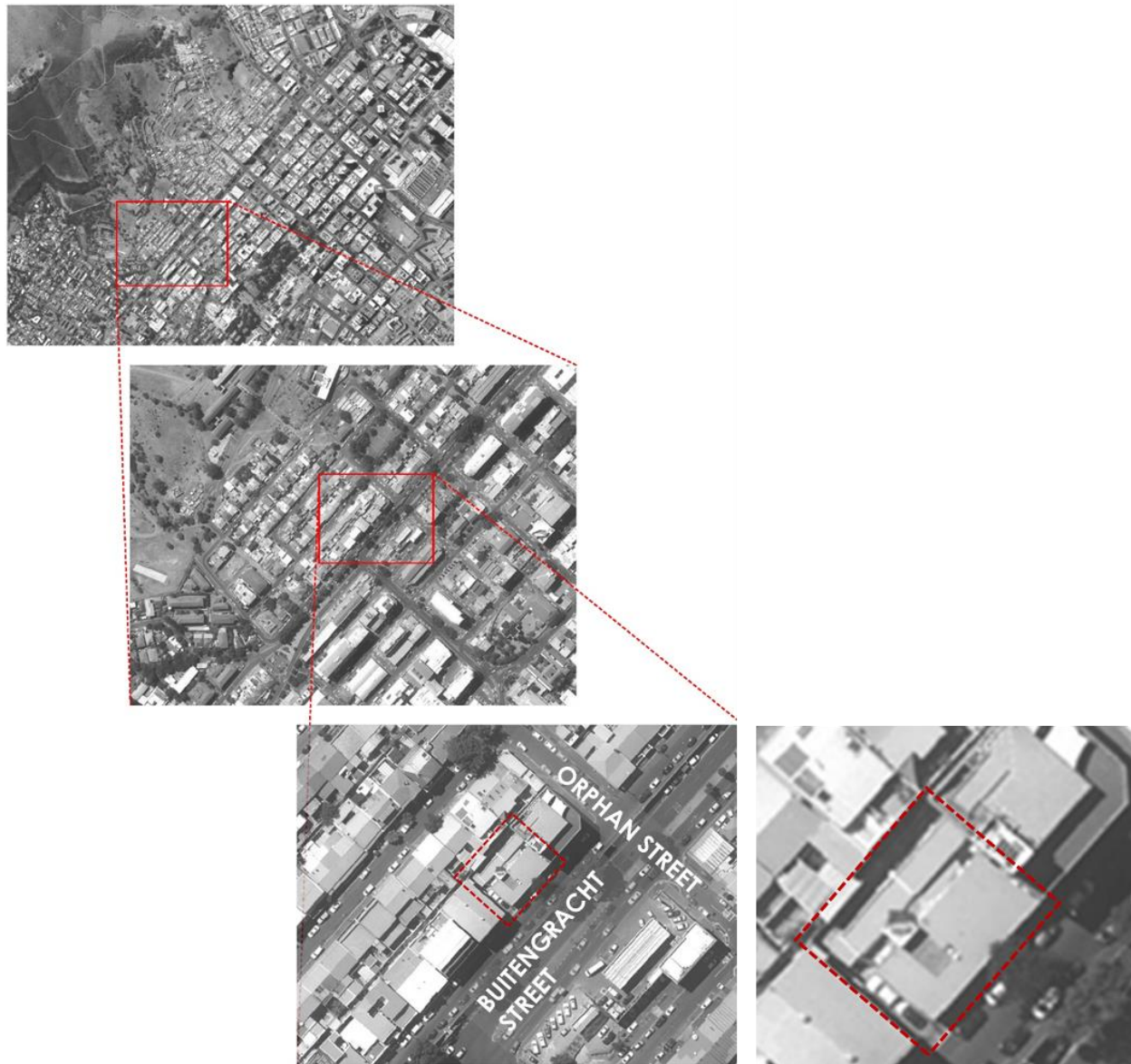


Figure 1: Locality diagram – small scale
Source – KFA and URA+HP

¹ 212A is the number allocated to Erf 172004-RE as per the CoCT electronic Land Use mapping systems. The neighbouring NE site on the corner of Orphan Street is noted as 212 (Erf 172005). The neighbouring SW site, the Corbeau Building, is noted as 214. This is the numbering system used in this report.

The heritage grading and age of existing built form: The original building - circa 1859³ and therefore older than 60 years. CoCT Grade III C – confirmed herein.

The zoning: MU2

Area of site: 374 m²

Proposed development:

Residential: Four levels (two with Mezzanines), Six apartments

Parking bays: 2



Figure 2: Development Proposal
Source: KFA

Development control measures:

Total permitted coverage (100%), Floor factor 4.0.

Max height – 25 m above base level to top of roof.

² The Buitengracht Street Wall is one of a group of twenty sites in the Bo-Kaap for which a very recent March 2019 declaration has been issued by SAHRA, in terms of Section 27 of the NHRA 25 of 1999. It is intended that the wall and other sites in the vicinity be declared as National Heritage Sites. Refer SAHRA File Ref: 9/2/018/0264

³ Millard c1859 – flat roof and parapet clearly visible and referenced in Building of Cape Town Phase Two, Volume Three 1983.

Land Use Application: Currently underway – departures for parking and certain setbacks as outlined in the LUM application (a separate document).

Development Team:

Kevin Fellingham Architects – Architects.
Principal – Kevin Fellingham assisted by Graham Siebert
Tommy Brummer – Town Planner
Henry Fagan – Consulting Engineer
Ursula Rigby Architect and PHP – Heritage Practitioner

The property is owned and occupied as a residence by Kevin Fellingham and his wife Winnie W Y Sze. Kevin Fellingham Architects occupy the workspaces located in the front rooms. The neighbouring property is let as shared designer coworking space.

The objectives of this Heritage Report are as follows:

- Provide information on the history and development of the site and locale to facilitate an understanding of the environs
- To present a statement of significance regarding the site and environs
- To propose heritage and urban design indicators and informants
- To describe the proposed new building development, its design evolution and to understand its impacts on the environs
- To assess impacts
- To recommend a decision

Conservation and development law and policy: Local law plus local and international policy relevant to this case is noted here with intent to refresh and encourage objective assessment and decision making. The intention to include this information is not to vex officials and assessors – it is rather to invigorate and inspire innovative thinking in this instance:

- CoCT Municipal Spatial Development Framework (MSDF) 2018:
- The CoCT Municipal Planning By Laws (MPBL) 2015
- CoCT Heritage Advice Pamphlets 2005
- CoCT Urban Design Policy Document 2013
- CoCT Design Guidelines for Tall Buildings 2013 (to be read with adopted Tall Building Policy)
- HWC Grading Purpose and Management Implications Document, 2016
- CoCT E&HM Clarification of Grading Document, 2015
- Venice Charter 1964 and Vienna Declaration 2005
- Vienna Declaration on the Conservation of Historic Urban Landscapes 2005
- ICOMOS Xi'an declaration on the Conservation of the setting of Heritage Structures, Sites and Areas 2005
- The Burra Charter 2013

An overview of the history and development of the Bo-Kaap environs, coupled with an analysis of the context relevant to this development conclude with the following statement:-

Built form Statement of Significance:

Originally circa 1859, site recorded as undeveloped on 1834 transfer deed (Ref BoCT). Substantially altered and with usage changed from two semi-detached residential units to one workshop manufacturing facility to office space and then back to residential with studio work spaces more recently post 2014.

All windows and doors, floor surfaces and most ceilings have been replaced on more than one occasion. Roof covering and internal plaster have been replaced. External plastered parapet moulding has been substantially altered to a flat projecting band.

Some authentic wall structure fabric is visible where plaster has been removed internally on non-altered external façade walls (490 to 500mm thick). Bead moulded roof beams evident in the four front rooms are post 1973 repurposed fabric. Ceiling heights are 3,5m.

The openings shown on a 2005/2008 drawing were most likely made and deliberately not recorded post 1973 when the building was used by Advertising Agency for their office premises. The 2005/2008 layout is therefore deemed to be a record layout of unrecorded 1973 or post 1973 interventions during which time extensive demolitions occurred.

Post 2014 internal refurbishments by Kevin Fellingham Architects have reinstated residential usage coupled with studio work spaces. Detailing is sensitive and original spaces are re-defined and articulated. The building remains redolent and significant in its location in the locale albeit dwarfed by its neighbours, both built in the mid-century period of intended economic regeneration in the City's edge space.

The buildings location offers opportunity for further sensitive and imaginative residential redevelopment with the original stoep and a remaining tree activating the space on Buitengracht.

Context Statement of Significance:

Originally an area of small semi-detached and free standing residential units, the context presents today as an inner/outer edge space to the central city with a pattern of haphazard development – a variety of buildings from different periods, some very recent, are found side by side in the blocks around Orphan Street facing onto Buitengracht. Architectural and urban qualities are lacking in early/mid-century built form - building height alignments are not evident, no common height reference lines prevail, and most ground-floor street front interface has been severely compromised. Most built form is utilised as office and manufacturing space. Very little residential space exists to activate the urban space. There is some contribution to the urban environment by virtue of some residential properties yet the context contrasts quite starkly in comparison to the inner predominantly residential Bo-Kaap area. The variety of developed building heights on this edge close to the very bulky unarticulated Orphan Street corner building can only be enhanced and tempered with the introduction of a beautifully designed set-piece inserted into a gritty locale.

A development in this space must stand its own, set onto the site boundary line where it can compete and outshine its neighbour's unconsidered presently dominant bulk. The context cries out for a balance of power where the old can adaptively and ingeniously be re-used to claim new life bringing residential spaces in this context.

Draft II updates:

Following on from the Bo-Kaap Ratepayers and Residents meeting of the 2nd July 2019) and feedback obtained from the CoCT EHM, additional information has been included in this report: Refer to 3g. Built Form Morphology and Section 7.

In further analysing the Built Form Morphology, it is concluded herein that most beams and ceilings date from circa 1973. The openings shown on the 2005/2008 plan were most likely made and deliberately not recorded post 1973 when the building became an Advertising Agency.

The 2005/2008 layout is therefore deemed to be a record layout of unrecorded 1973 or post 1973 interventions.

It has been established that major demolition and built form changes occurred between 1973 and 2005/2008. The Buildings of Cape Town: Phase Two 1983, state the following:- "an extensively altered mid-century 3-bay flat roofed structure behind a parapet wall."

During the 1970's, the building was occupied and utilised as one unit as office spaces for Farquhar and Amis, Advertising. The 1973 Architects JMA Langley's plan and section shows eight office spaces, with bathroom facilities and a store leading off a court. A conference room with stair leads up to a "lounge over". A small kitchen unit is shown off the conference room and partly underneath a second stair which is located in the same position as the present day existing bedroom wing timber stair.

An assessment of ceiling materials indicates that it is most likely that the ceilings date from about 1973 or shortly thereafter and the openings shown on the 2005/2008 plan were made at that time (and there were possibly more changes made that weren't recorded). The 2005/2008 layout appears to be a record layout of unrecorded 1973 or post interventions. Marks on the ceiling from circa 1973 partition walls correspond consistently to the 2005/2008 layout.

Recommendation:

Consequent to the findings in this report, the recommendation is for Heritage Western Cape (HWC) and the CoCT to authorise this development proposal as it presents no negative impact on heritage significances in this environs and has strong potential to enhance the environment.

1. INTRODUCTION, LEGAL FRAMEWORK, METHODOLOGY AND OBJECTIVES

1a. Introduction and background information

This Heritage Report has been commissioned by Kevin Fellingham Architects (KFA) who is the author of the development proposal and co-owner of the property located at 212A Buitengracht Street.⁴ The intention of this report is to assess the impact of the proposed development, designed by KFA, in the context of the south eastern Bo-Kaap context where Buitengracht intersects with Orphan Street.

The proposed development on Erf 172004-RE, which measures 374 m², is located on the edge of the City Central HPOZ, within the newly established Bo-Kaap HPOZ. The site was part of one of the earlier parcels of land located to the NW of the canal/gracht and the Buitengracht Wall.

The land holds two single story semi-detached units originally built for residential use. One unit (the LH unit on the SW) is currently used as residential and business combined by the owners. The other unit (the RH unit on the NE) is let as shared coworking space.

The existing built form is older than 60 years and as such is subject to the requisite Section 34 National Heritage Resources Act (NHRA) application which is submitted to Heritage Western Cape (HWC) for consideration by the Built Environment and Landscape Committee (Belcom).

⁴ 212A is the number allocated to Erf 172004-RE as per the CoCT electronic Land Use mapping systems. The neighbouring NE site on the corner of Orphan Street is noted as 212 (Erf 172005). The neighbouring SW site, the Corbeau Building, is noted as 214. This is the numbering system used in this report.

Despite substantial changes made to the existing building, it occupies a place in the city where previous similar such residential structures or groups of residential structures existed. Many of these have been lost, yet certain forms in the locale are original. Those flanking Buitengracht such as no.s 242, 232 and 230 refer (Refer to Figure 34). These buildings all contribute considerably to the environment.

In amongst these single storied residential units one finds a mix of built form, examined in more detail in this report. The building adjacent to this site on the corner of Orphan and Buitengracht was only established as a site for construction in the 1960's when the land was sold off by the City. This is evident from its configuration with splayed corner, typical of that era and resultant from traffic turning and site-line concerns during the mid C20th when motor vehicle transport dominated all city planning issues.

The site under discussion is sandwiched in between a c1937 three storey building on the SW and a mid C20th century four/five storey building on the NE.

It is important to note that this site is not only one of the few sites of permanent owner residence in the environs, but it is also one which retains connection to the streetscape by means of its stoep which is enhanced by the one single remaining tree on the NW side of the road (other than those recently planted outside no. 236 Buitengracht).

It must be said that the resultant Buitengracht/Orphan Street environs is distinctly unlike the description put forward in the Bo-Kaap Heritage Protection Overlay Zone Guideline Document here below:

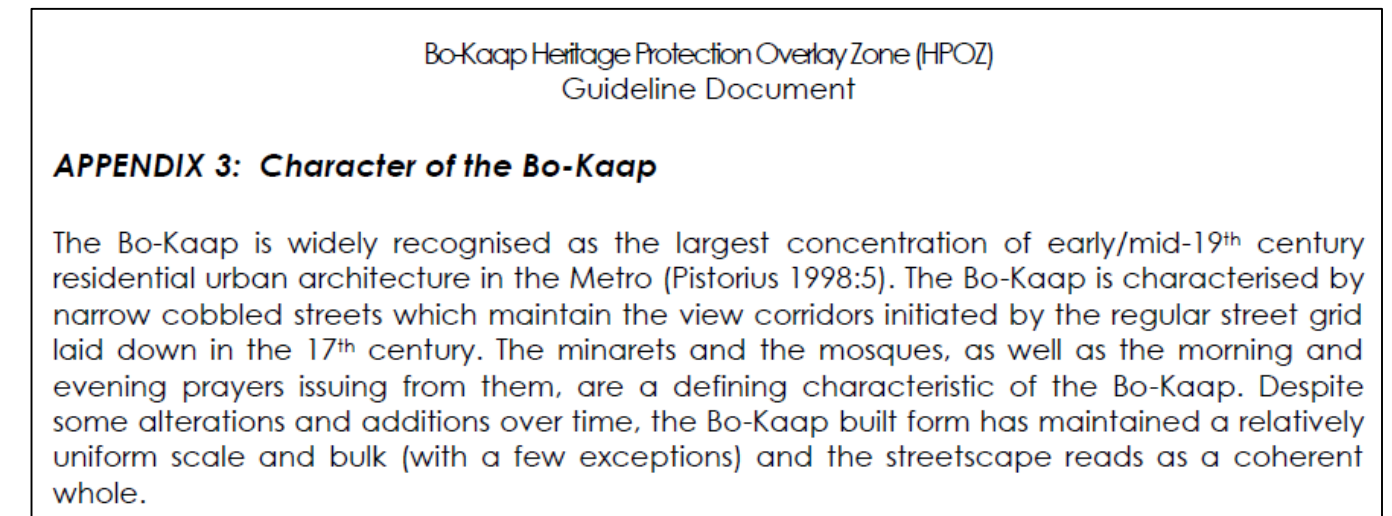


Figure 3: Extract from CoCT Bo-Kaap HPOZ Guideline Document CoCT - November 2015 (updated January 2019)

This site, Erf 172004-RE, is located in one of the areas well recognised as being an exception to the character statement above.

It is for this reason that the developments team have analysed the existing built form on and around the site and developed indicators or informing heritage, urban design and built form guidelines for this atypical situation.

It is the intention of the Architects to retain the external form of the existing structure and to adapt its use to allow for a higher density residential development.

Reference is made to the Architects Strategy Statement (Section 4b) which presents a well-considered motivation borne from sound principles and which respectfully offers compelling positions and assertions in its own right.

Details regarding this development application:-

The existing structure on the site will be retained. The original and altered building is Graded as a IIC resource by the CoCT in its audit which notes the following Statement of Significance –

"Mid 19th century residential development. Some architectural merit. Continuation of characteristic BoKaap typology. Good interface with and contributes to a historically layered streetscape."

The Grading notes state:-

"May contain earlier fabric. Situated on an 1808 grant – part of a grouping of dwellings along the "Stadts buiden sloot"

The grading statement above is correct in recording the structure as a mid-C19th residential development and it is recognisable as being of an original Bo-Kaap typology. However, it cannot be considered as part of the continuation of the characteristic Bo-Kaap typology simply because of its location amongst several higher, bulkier, newer differing and contrary typologies noted earlier.

The site is located in the long deliberated and recently approved Bo-Kaap HPOZ⁵ which is an area acknowledged to comprise of many zones with differing typologies. This particular Buitengracht/Orphan Street zone could be referred to as a Bo-Kaap 'edge-zone'.⁶ It comprises of some residential development of original Bo-Kaap typology and a large proportion of mid-century bulkier three/ four/ five storey infill stock supplying light industrial/workshop and office accommodation. These areas are heavily populated with parked cars during the day and are consequently somewhat dull and devoid of activity after hours and over the weekends.

The following background information is offered as insight into the process of design development with respect to this application:-

In an assessment of the built form resource, it will become clear that the structure has been altered, but it retains original fabric and some sense of the original spatial integrity of two separate units. It will also become clear that the site is well located for development in so far as location as well as it's somewhat current demeaning stature in this 'edge-zone'.

⁵ The Bo-Kaap was recommended for declaration as an HPOZ in November 2013 by Sub-Council 16. It was advertised for public participation in November 2015 – January 2016. No decision was made by Council in the interim. Sub-Council 16 again requested implementation of this HPOZ in June 2018. Urban conservation areas already in existence were incorporated into the MPBL in 2015 and the Bo-Kaap will be the first to be designated as an HPOZ since the MPBL approval. The public participation process has very recently been re-advertised for comment, objection or representation. The Bo-Kaap HPOZ was approved at Local Council level and will be gazetted in due course.

KFA and URA+HP have researched and located relevant visual photographic material which shows the original two unit structure on the outskirts of the city providing accommodation for working people, probably farm workers originally. Refer to Figures 9 to 14.

Discussions with various authorities and specialists has led KFA to develop the proposal submitted herein which builds upon the alterations implemented over time, recognising and retaining the layered history of place. The most recent changes to the structure being that which was implemented post 2014 by KFA which have resulted in a sensitively designed work from home arrangement in one of the units with rented office space alongside in the neighbouring semi. Refer to Figure 17 for a history of built form diagrams prepared by KFA. Refer also to Sections 3e and 3f for an analysis of the existing built form and to Appendix A for a photographic study of the existing buildings and Appendix B for KFA as-built drawings.

The scale of the original buildings was appropriate in its immediate urban context pre 1950, and its simple vernacular form is nostalgic. The site, on the outer SE City Central edge of Bo-Kaap, is located today amongst taller and bulkier form as noted.

The existing building sits uncomfortably between two larger and bulkier office/workshop spaces. One is excessively dreary and the other far more lively and active in its context.

Kevin Fellingham Architects intend to create a new structure which fills a space and sits as if it belongs in this much altered environment of the Bo-Kaap 'edge-zone'. The images presented in Section 4 (Figures 38 to **Error! Reference source not found.**) and the Architectural Strategy Statement (Section 4b) refer. These have been produced to include accurate contextual detail with the purpose of communicating this intention.

In summary, the development proposal recognises the structure and form of the existing building and the lower portions will remain unaltered. The development application proposes an adaptive re-use redevelopment which will provides additional permanent residential accommodation in this location.

The new proposed built form (some 550 m2 of gross leasable area) comprises of a four storey development (with two mezzanine floors) encompassing six units of residential accommodation and one ground storey commercial unit with a courtyard and access to the internal vertical circulation lobby (stair and lift). There are two on-site parking bays.

- **Apartment 1** is a ground storey unit with associated studio space for a work from home arrangement and two bedrooms and two bathrooms located on a mezzanine level. This is the LH existing 212A unit – it remains unaltered.
- the other ground storey unit has four studio spaces with a kitchenette and wc facilities. This is the existing RH unit – it remains unaltered.
- **Apartment's 2, 3, 4 and 5** are located on the two storeys above and comprise of two bedrooms, two bathrooms with open plan living/ dining/ kitchen areas. Both floors are identical. The units are similar in every respect other than size as they are divided

⁶ In describing the term 'edge-zone', reference is made here to the ClfA Bo-Kaap HPOZ comment to the CoCT. This comment refers to the many differing zones of more complex typologies than those represented in the in the City Guideline. The ClfA Heritage Committee felt it necessary to note in this comment, the urgent need for the City to assess the four or five potential subzones of varying heights, built form typology, heritage significances and streetscape scenarios in order to provide adequate guidelines for heritage application assessments in these edge-zones' where the standard guidelines are simply not applicable. Refer to Appendix L for a copy of the ClfA letter dated 22 Feb 2019.

according to a new structural support system which is dictated by the ground storey layout. There is no balcony/court access to the exterior from either of these four units. There is however visual connectivity to the street below from large vertically proportioned windows on the SE and South facades.

- **Apartment 6** is located on the top storey and comprises of an open plan living/ dining/ kitchen area with two bedrooms, two bathrooms located on a mezzanine level above. This unit has access to a new terrace from the third storey and its bulk is interrupted on the mezzanine level to allow for light access to the new bedroom. There is a double volume space above the dining room area on the third storey
- **On-site parking** is provided for two vehicles

2. LEGAL FRAMEWORK AND METHODOLOGY

The original building dates to circa 1826. The neighbourhood is recognised and soon to be legislated to be significant and the development application must be assessed in terms of its impact on Heritage Resources.

For this reason the report includes some relevant information akin to that typically presented in a Heritage Impact Assessment (HIA) study. This report is formatted to address both the Section 34 NHRA application requirements as well as the terms of Chapter 20, Sections 158 to 164 of the CoCT Municipal Planning By-Law (MPBL) which outlines *Consideration of Applications*.⁷ The following information, as per the MPBL, is deemed to *enable an informed decision regarding an application for work in a HPOZ*.⁸ Sections 158 to 164 specifically refer to development within HPOZ's. If any development "*may result in a change to the appearance or physical nature*" of a designated HPOZ, special approval is required.

The City, according to Item 164 must "*take into account the effect such activity (building) may have on the significance of the heritage place (HPOZ) concerned*".

Furthermore, Section 99(2)(f) specifically refers and requires special consideration to be given to the following:

- the scale and design of the development;
- the impact of the development massing; and
- the impact on surrounding properties

This report therefore:-

- Provides information on the history and development of the site and locale to facilitate an understanding of the environs and in order to evaluate the heritage significance of the site and environs
- Presents a statement of significance regarding the site and environs
- Proposes heritage and urban design indicators and informants
- Analyses initial conceptual proposals submitted by KFA (as part of the Development Team)
- Assesses impact on heritage resources (in terms of the CoCT Bo-Kaap HPOZ Guideline document of Nov 2015, updated in Jan 2019) and the MPBL 2015
- it makes a recommendation in respect of the proposed adaptive re-use of the existing structure

⁷ CoCT MPBL 2017, updated from 2015.

⁸ Ibid.,

Reference is made to both the CoCT Heritage Advice Pamphlets and the CoCT Urban Design Policy Document – specifically the Overarching Urban Design Principles and the 9 Objectives and particularly to Objective 9 which states:

Development should respect and enhance the heritage, character and unique identity of the City and its Neighbourhoods.

In order to achieve this objective one must:

- Safeguard the integrity of the natural features which form part of the neighbourhood (vista, views, local landmarks, graded heritage built form). In order to do so, one must identify these qualities in the design process and demonstrate how the intrinsic qualities of the place will not be detrimentally transformed through development.
- Respect the heritage and cultural landscape and integrate new proposals by knitting developments into the grain and open space systems.
- Respond to building height, massing and placement,
- Continue or introduce vertical and horizontal rhythms within the streetscape
- Complement style and material palette of adjacent buildings in a contemporary manner using appropriate technology and modern detailing

This Heritage Report is prepared by Ursula Rigby as Architect registered with the South African Council for the Architectural Profession (SACAP) and the South African Institute for Architects (SAIA) and as accredited Professional Heritage Practitioner, member of the Association of Professional Heritage Practitioners (APHP) and member of the Cape Institute for Architecture (CIfA), member of the Heritage Committee and presently convenor of the Heritage Review Committee.

The assessment of the site and precinct and the recommendations made result from an independent assessment. There is neither business, personal, financial or other interest in the proposed development apart from remuneration for the research, assessment and the report preparation work.

In the instance where there are positive impacts and no negative or adverse impacts the recommended decision aims to provide reason for both HWC and the CoCT to authorise the development.

3. HISTORY AND DEVELOPMENT OF THE SITE AND LOCALE AS A STUDY OF THE RESOURCE

3a. General location information

The site is referred to as Erf 172004-RE Cape Town in this report. It is listed as no. 212A on the CoCT website. It is situated one property to the SW from the Buitengracht and Orphan Street intersection in the Bo-Kaap. It is located in the newly established Bo-Kaap HPOZ on the NW of the Buitengracht Street Wall⁹ which borders on the Central City HPOZ.

⁹ The Buitengracht Street Wall is one of a group of twenty sites in the Bo-Kaap for which a very recent March 2019 declaration has been issued by SAHRA, in terms of Section 27 of the NHRA 25 of 1999. It is intended that the wall and other sites in the vicinity be declared as National Heritage Sites. Refer SAHRA File Ref: 9/2/018/0264

The owner has made representations to the City to have the numbering system changed in order for 212A to refer to the unit closest to Orphan Street and 212B to the unit next-door which is where the owner resides.

The property on the corner of Buitengracht and Orphan (Erf 172005) is referred to as no. 212 on the CoCT website and the adjacent site to the SW (Erf 3077) is listed as no. 214.

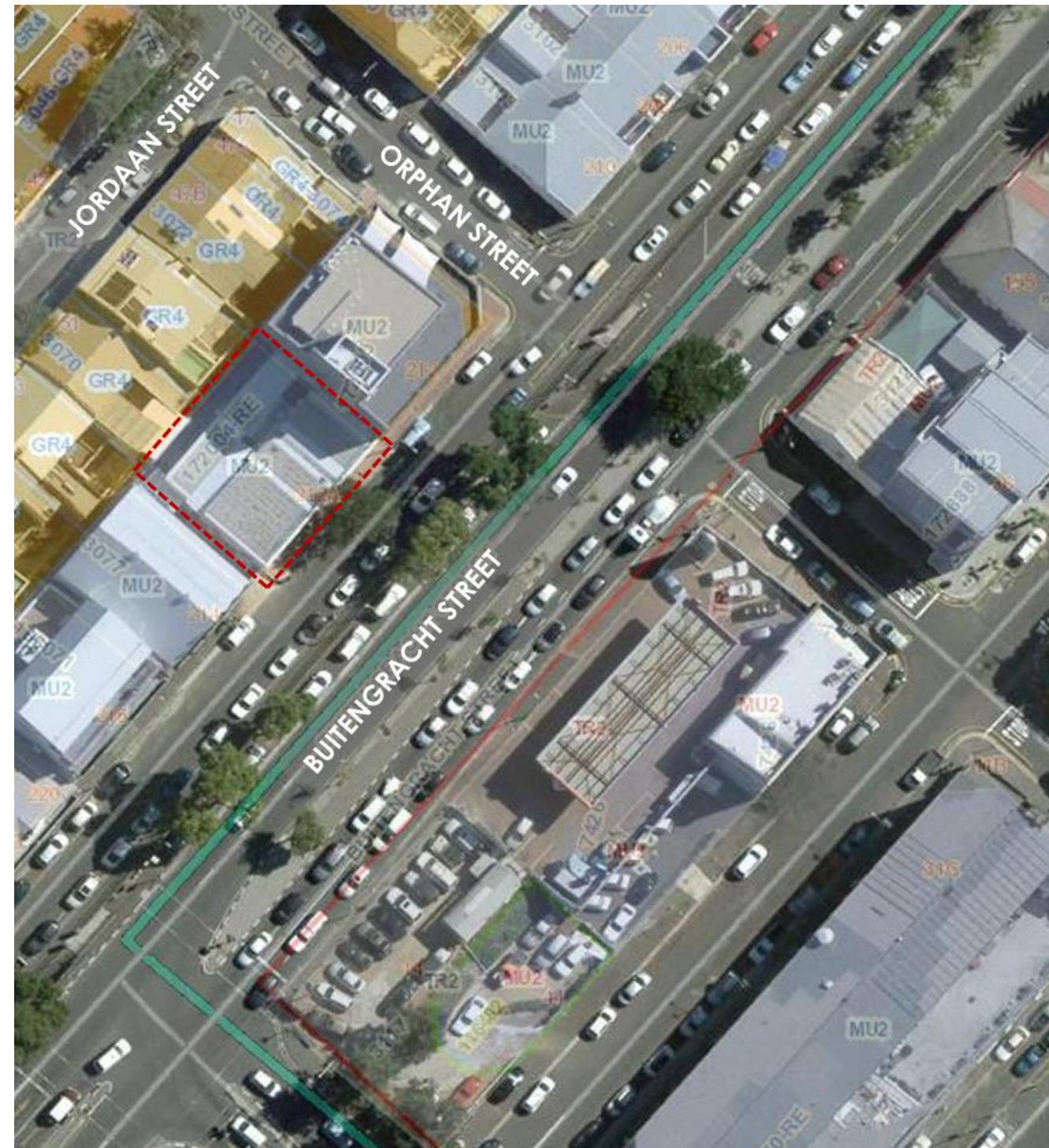


Figure 4: Locality diagram – large scale
Source – URA+HP with Google Maps

The original building dates to circa 1859¹⁰ and is therefore older than 60 years. The CoCT Grade IIIIC assessment of the site is confirmed herein.

The site is zoned as Mixed Use 2 and the area of site is 374 m²

Zoning constraints are as follows:
Coverage (100%), Floor factor 4.0.
Max height – 25 m above base level to top of roof.
Development is managed via Heritage Western Cape (Section 34 application) and the CoCT MPBL HPOZ controls.

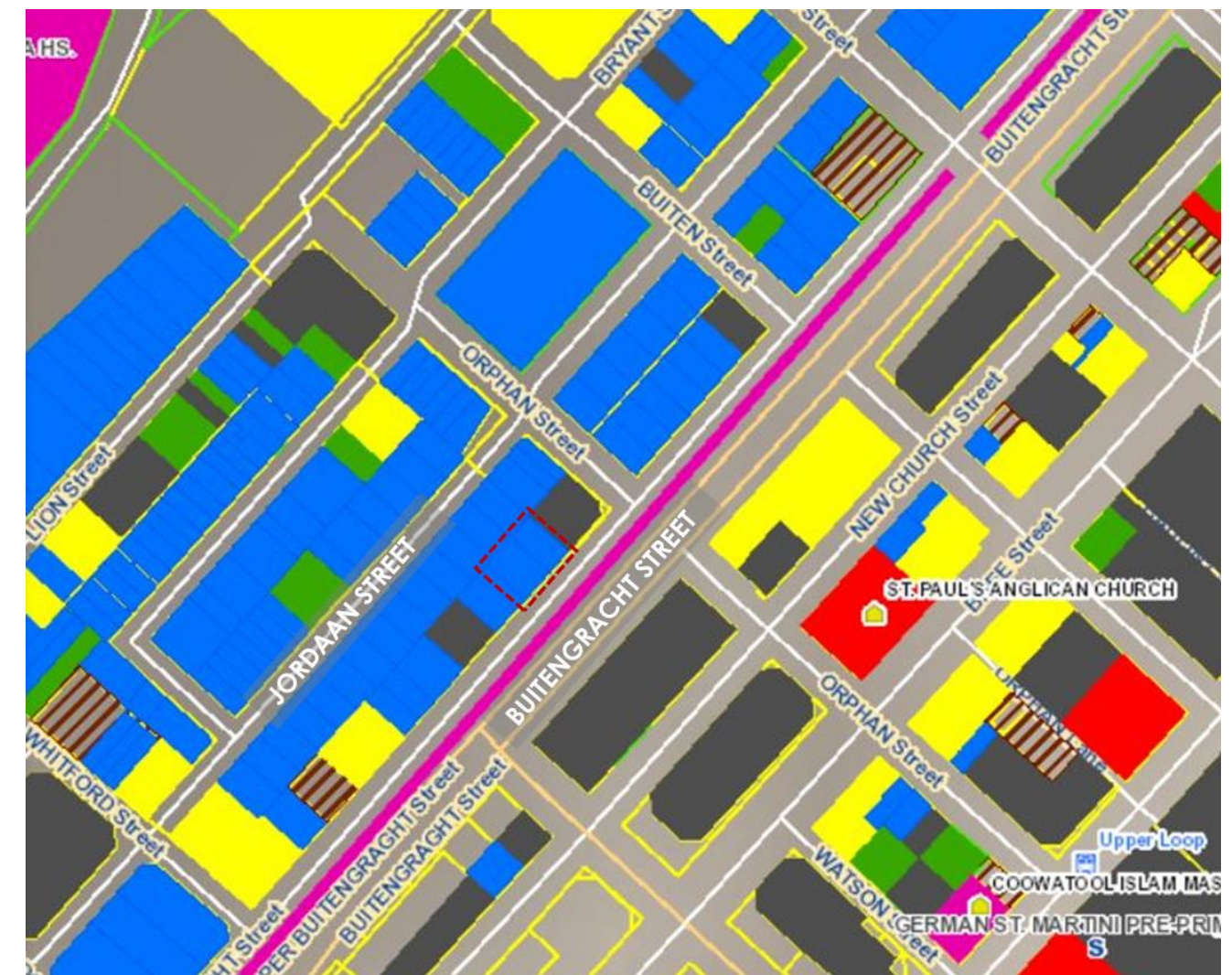
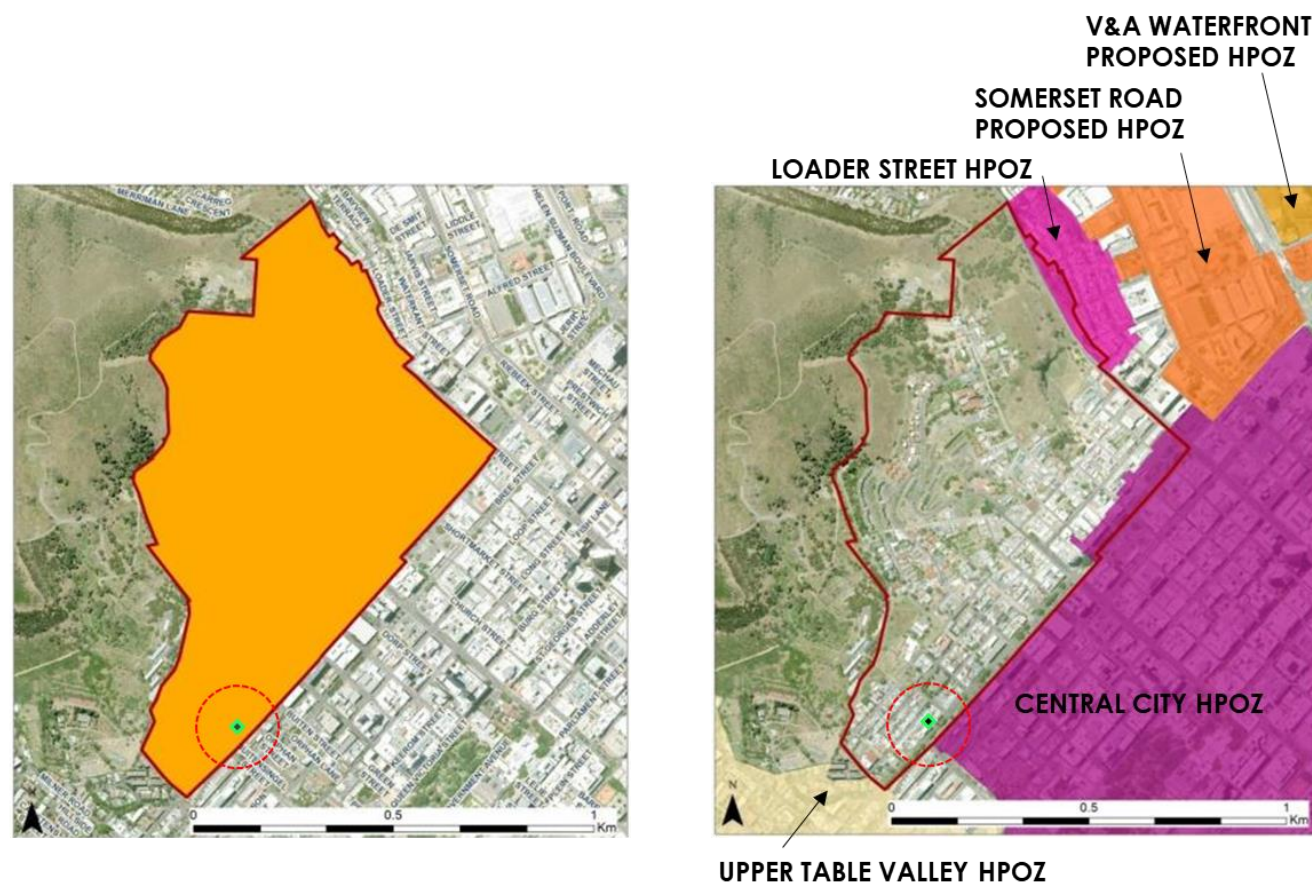


Figure 5: CoCT Grading of Erf 172004-RE
Source – CoCT Egis Viewer. No. 212A Buitengracht, Bo-Kaap. Erf 172004-RE Cape Town Grade IIIIC (blue).

¹⁰ Millard c1859 – flat roof and parapet clearly visible and referenced in Building of Cape Town Phase Two, Volume Three 1983.



BO-KAAP HPOZ

Located at the foot of Lions Head/Signal Hill, overlooking the Old Table Bay Harbour. Including the northern green verges along Strand Street. The SW boundary is formed by the Buitengracht stone wall. Contains one Kramat.

NEIGHBOURING HPOZ'S

Figure 6: CoCT HPO's surrounding Erf 172004-RE
 Source – CoCT Egis Viewer. No. 212A Buitengracht, Bo-Kaap. Erf 172004-RE Cape Town is located in the Bo-Kaap HPOZ which bounds the City Central HPOZ.

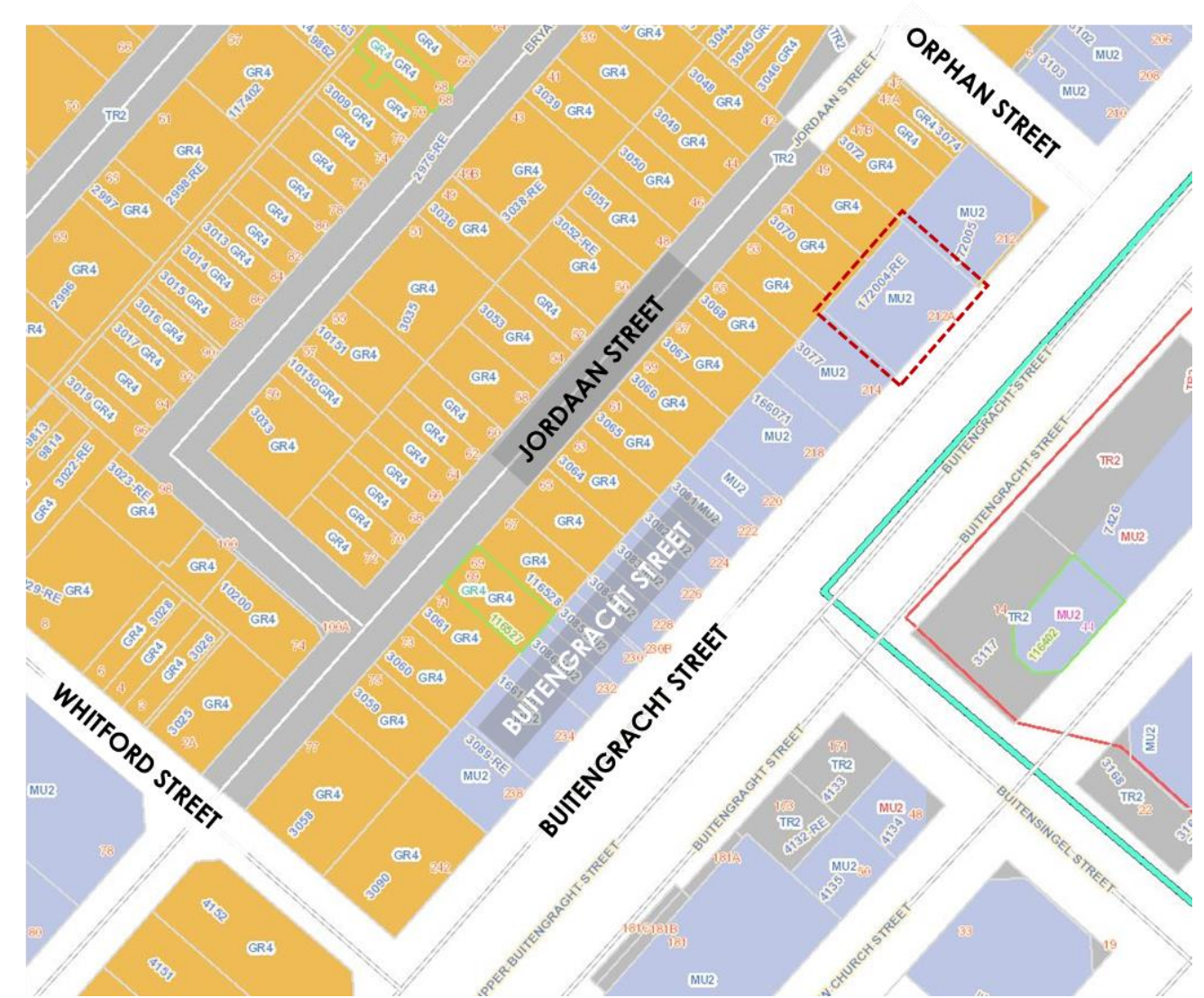


Figure 7: CoCT Zoning of Erf 172004-RE
 Source – CoCT On line Zoning Viewer. Erf 172004 – RE: Mixed Use 2. Adjacent sites – MU2. Sites to the NW located on Jordaan Street are GR4.

3b. Description of the Resources (Bo-Kaap HPO and neighbouring Central City HPO)

3b(i). The Bo-Kaap HPO background

The 2013 CoCT sub council decision to recommend that Bo-Kaap/Schotschekloof be declared a Heritage Protection Overlay Zone (HPOZ) is currently being actioned. The Bo-Kaap, long identified as a potential heritage area, is seen as the traditional home of Cape Town's Muslim community. Residents have appealed to the City to assist with the preservation of the cultural heritage of Bo-Kaap. The CoCT recommends the designation of the Bo-Kaap as an HPOZ within the Cape Town Municipal Planning By-Law, 2015 (MPBL) as provided for in its Development Management Scheme (DMS).

3b(ii). The Central City HPO background

There were originally seven conservation areas formally designated in the central city and another six were proposed in 1987. Dispute over promulgations resulted in no further action being taken until the early 1990's.

During the re-advertisement period in 1993, several parties suggested that the six new proposed areas be consolidated with the seven already designated into one conservation area incorporating the entire historic central city area.

This proposal led to the consolidation of the Central City area along with the additional approval of twenty eight new conservation areas by the Provincial government on 20 June 1997 with final declaration of these spaces as Urban Conservation Areas in August 1997. The Urban Conservation Areas (UCA's) were the precursors to Heritage Protection Overlay Zones (HPOZ).

3c. A brief history of the site

The Cape settlement in the early 1700's was contained by a watercourse in the West, Buitenkant Street in the East and Buitensingel in the south with Green Point and de Waterkant being waste land on the edge of the town. The town was set out on a regulated perpendicular grid running from the ocean towards the mountain. The original grid pattern layout of the 17th Century gradually expanded to the NW and 1772 the Buitengracht canal was dug, formalising the watercourse and defining the town's north western boundary. The Buitengracht wall was constructed pre-1862.¹¹

Early maps of the settlement area show the City block set out on a simple rectangular grid with the Company's Gardens as a focal point. Early development in the Bo-Kaap area are shown on post 1820/30 survey maps. Land in this area was demarcated for farming and settlement related to farming activities are recorded on the SG diagrams and Deeds. The site under discussion was however not part of the earliest of land parcels set out on the outside of the canal as can be seen in the Thompson Map of 1826.¹² (Ref Figure 8). The Thompson map clearly shows the water course which runs to the Buitengracht which is also indicated on the early survey drawings for the parent land parcel (1808) for this site.

The municipal surveys of W.B. Snow (1862), Wilson (1878) and W. Thom (1898) are useful as spatial framework references for analysing historic built form as these maps show how land to the NW of Buitengracht developed over time.

Chiappini Street was originally set out higher up the slopes of Lions Head Mountain. Like Rose, it was set out early in the 19th Century when Schotschekloof was developed to accommodate the town's artisans and tradesmen in the terraced houses many of which survive as the Bo-Kaap. The emancipation of slaves in 1838 also led to settlement of freed slaves in the Bo-Kaap area.

¹¹ CoCT EGIS Survey notes refer. "The Buitengracht wall and post-box are visible on Snow 1862".

¹² Worden notes this map to be the first properly surveyed street plan of Cape Town (Thompson, *Travels and Adventures in Southern Africa*, London 1826). Worden, van Heyningen and Bickford-Smith, pg 114. Cape Town, The Making of a City.

The site under discussion, is shown on Wilson's map as being part of and situated on the edge of a farm. A semi-detached building with two residential units is shown on this site.

The first built form visual image of this residential unit can be dated to Millard c1859 via the ClfA Building of Cape Town 1983 survey which notes "flat roof and parapet being clearly visible".¹³ The first subdivision's off the original parent farm land parcel took place in 1834 which is 25 years earlier than the earliest record of built form on this site. In 1834, the row of properties now located on Buitengracht where subdivided off from the farm – presumably for farm workers accommodation. Interestingly, part of Erf 172004-RE was retained with the farm in the 1834 subdivisions and subdivided off later in 1839. (Ref Figure 15)

The site of 212A Buitengracht (Erf 172004-RE) is shown on all three of the Snow, Wilson and Thom survey maps (1862 to 1898). All three maps show the canal/gracht and the latter two show the canal bridge at the head or Orphan Street. All three maps show the site off-alignment with Orphan and no permanent development on the adjacent site located on the corner of Buitengracht and Orphan.

- Snow shows two residences of unequal size set alone on the edge of a larger demarcated piece of land.
- Wilson shows the outline of a farm with the two unequal sized units set alone on the corner of the larger piece of land. This correlates with Snow. Other residential units are shown to the south along the Buitengracht.
- Thom shows two semi-equal sized units with four trees in front of an open stoep area facing onto Buitengracht. It shows a small temporary structure on the land adjacent on the corner of Orphan and Buitengracht.

Later subdivisions and consolidations occurred post 1960 where part of Erf 172004-RE is consolidated with the now new corner site on Orphan Street. In 1961 the site on the corner of Buitengracht and Orphan Street with its splayed corner was subdivided off completely. In 2006 it was consolidated with the land containing the two semi-detached units and shortly thereafter subdivided off and sold to the present owner. This convoluted land ownership and subdivision/consolidation history is presumably as a result of the attached structure which is evident on the CoCT 1955-66 survey map and the proposed redevelopment of the site intended by the then owners of the property, Mr and Mrs Dixon. Diagrams illustrating the history of land divisions are presented in Figure 15.

General early 20th Century City development in the city was marked by the introduction of land use controls which envisaged the qualities of a modern American 1920/30's city. The CoCT Town Planning Scheme, adopted in 1941, sought to regulate land-use and the form of development by zoning and a General Business Zone applied to the CBD influenced the form and nature of future inner city development. A number of subsequent revisions to planning controls have taken place and the 1941 Town Planning Scheme (renamed the Zoning Scheme in 1990) is today managed in terms of the Municipal Planning By-Law in 2014.

The 1950s economic sump coupled with rapid development in the sub central regions (Foreshore and fringe areas such as the area under discussion) caused the CBD to decline rapidly. Many buildings located in the Central City and the fringe areas were poorly maintained,

¹³ The Buildings of Cape Town (BoCT): Phase Two, Vol Three, Catalogue and Classification survey undertaken in 1982/83 and published by the Cape Institute of Architects (ClfA) follows on from the 1978 Volumes One and Two. Undertaken by T Louw in conjunction with J Rennie and G Goddard. This survey was the first in-depth survey of Cape Town's buildings.

adapted and altered by economically stretched tenants and with little or no heritage controls in place. Buildings were neglected and valuable old fabric has been lost. This preceding description of development on the edge of the City illustrates the pattern of development seen with these two dwellings at 212A Buitengracht. Various owners made haphazard changes to suit manufacturing and office arrangements and though the exterior of the building remained reasonably intact, many changes were made internally. In the late 1990's and mid 2000's, the then owners, Mr and Mrs Dixon first developed the adjacent property (no. 212 Buitengracht, Erf 172005) and then in 2006/8 proposed a redevelopment of this and the adjacent sites which was never realised. Ref Figure 24.

The CoCT 1944 to 1956 survey shows the site adjacent on the corner of Orphan and Buitengracht as largely undeveloped. There are two structures shown on this map; one adjacent and built hard up against 212A Buitengracht and one on the corner of the site. The corner is not splayed on this map, though it is shown so on the 1961 Surveyors General diagrams. Ref Figure 15. The corner splay displays of the many of the negative 70/80's urban design trends with respect to road widening, traffic and vehicle access domination and is particularly unfortunate in that the building built on this site in the 1990's has not in any way responded architecturally to the corner.



Figure 9: Snow 1862 Survey Map of Cape Town
Source – CoCT.

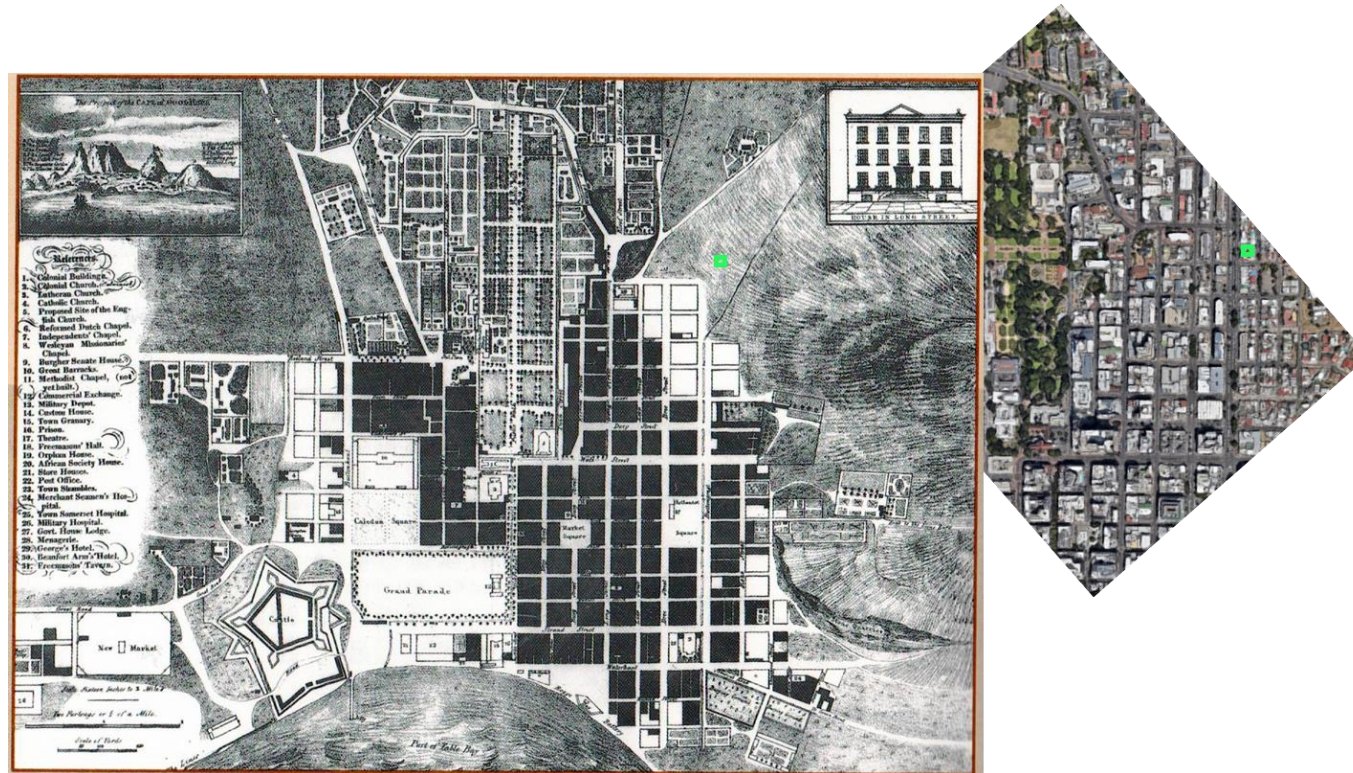
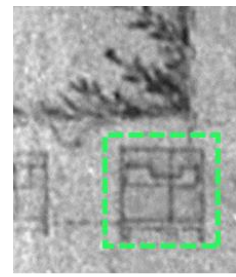
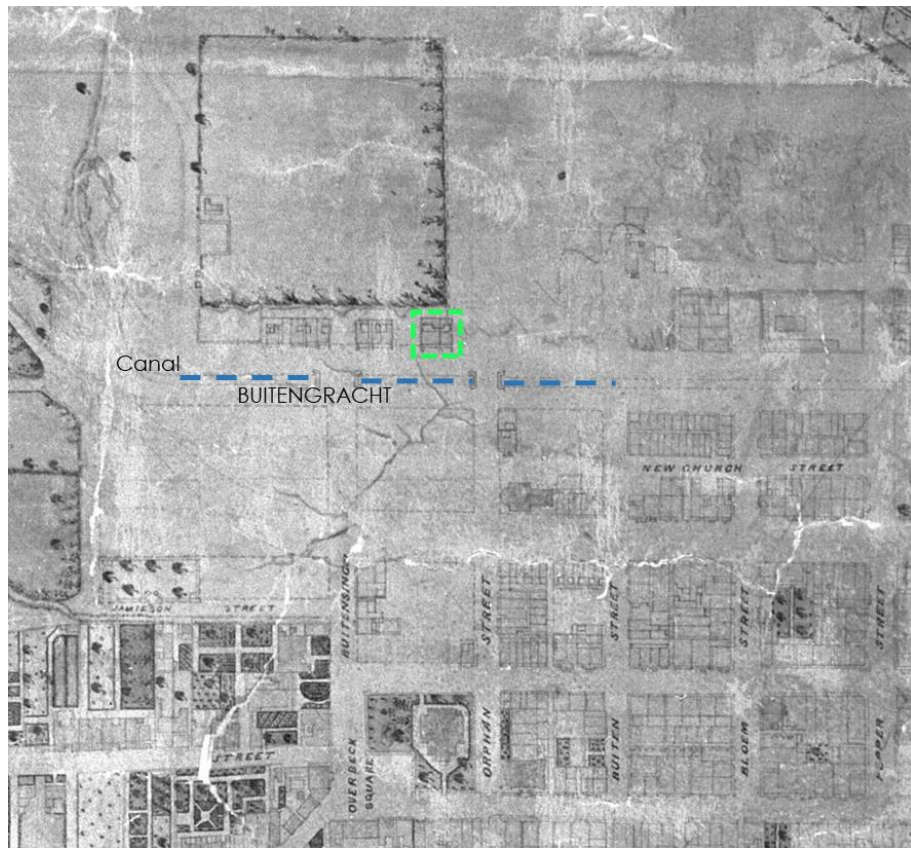
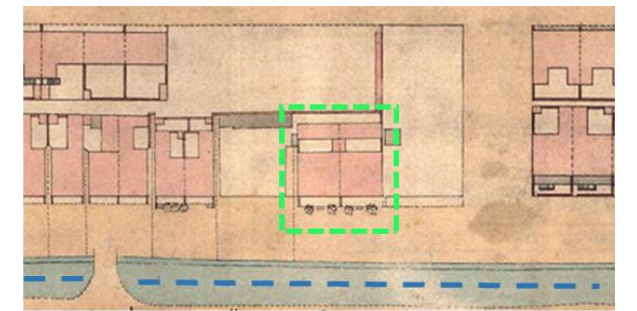
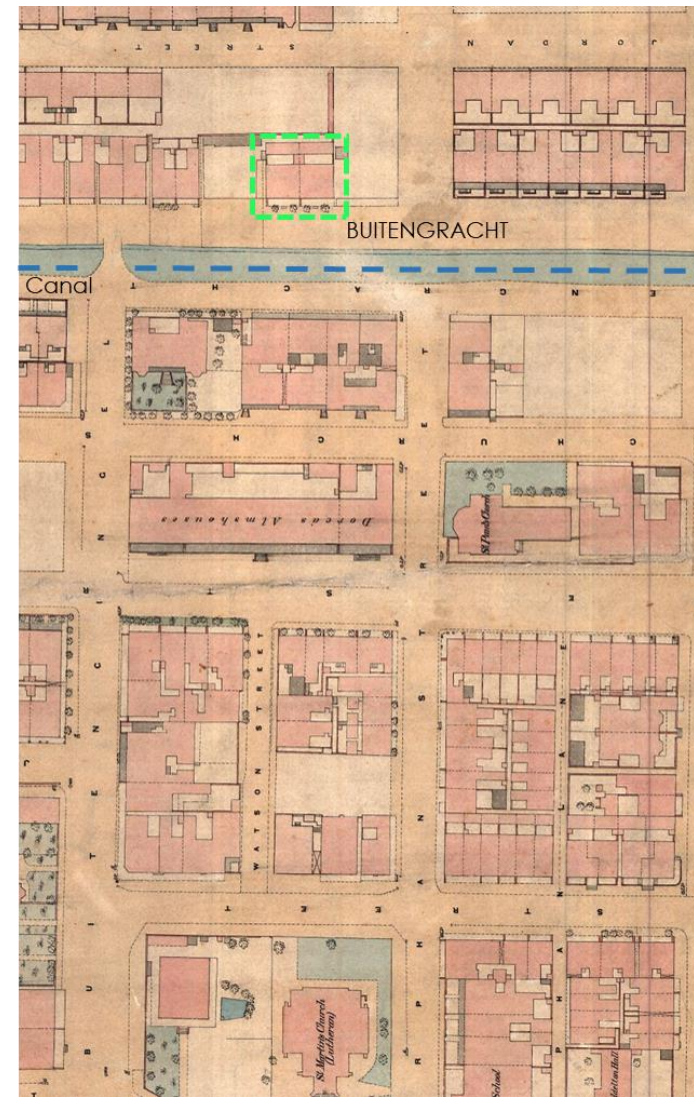


Figure 8: Thompsons 1826 Map of Cape Town
Source - Thompson, Travels and Adventures in Southern Africa, London 1826 via Worden, van Heyningen and Bickford-Smith, Cape Town - The Making of a City.



Extract from Wilson Survey - 1878



Extract from Thom Survey - 1900

Figure 10: Wilson 1878 Survey Map of Cape Town
 Source – University of Cape Town. Survey shows the farm first identified on the 1808 Deed and the subdivisions which took place between 1834 and 1839 where parcels of land on the Buitengracht were subdivided off the farm land.

Figure 11: Thom 1898 Survey Map of Cape Town
 Source – CoCT.

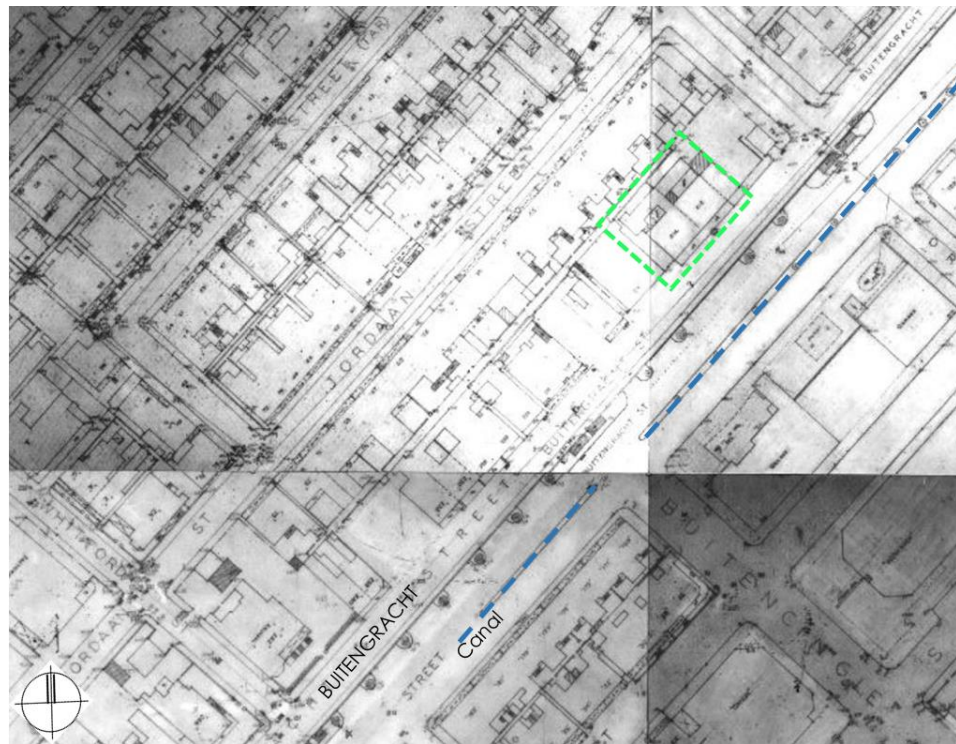
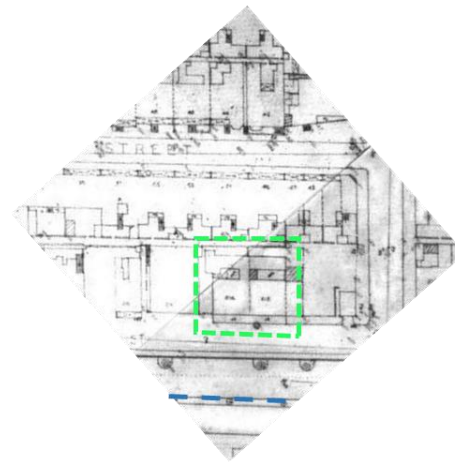
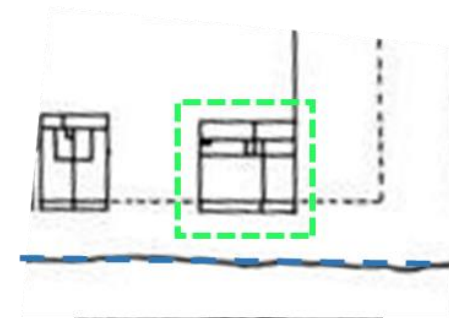


Figure 12: CoCT 1944 – 66 Survey
 Source – CoCT. Shows the new parcel of land on the corner of Buitengracht and Orphan Street as part of the 1961 Surveyor General Diagram no. 7306/61 (Erf 3094) and then again on SG Diag no. 1912/61 (Erf 3093). Note corner is not shown as splayed on CoCT Survey map.

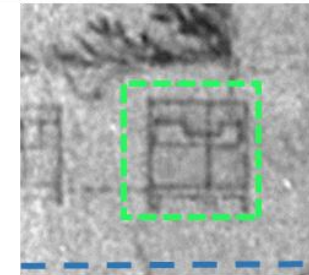


⊗ Extract from CoCT Survey – 1955-66

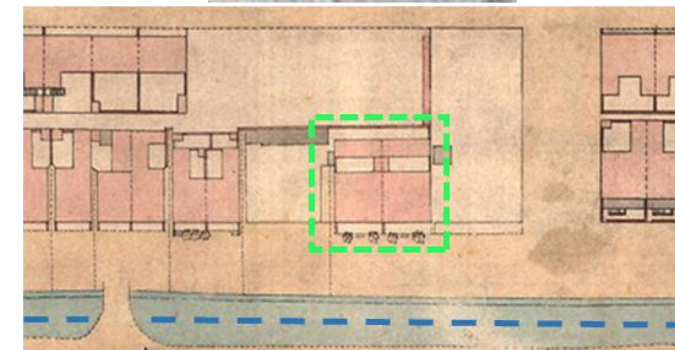
Stad's Buiten Sloot



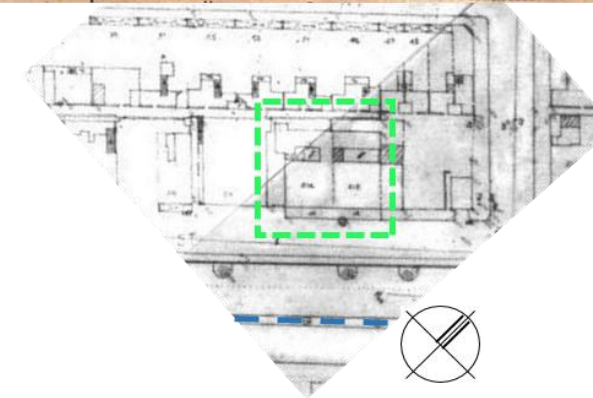
Extract from Snow Survey - 1862



Extract from Wilson Survey - 1878



Extract from Thom Survey - 1900



⊗ Extract from CoCT Survey – 1955-66

Figure 13: Snow, Wilson, Thom and CoCT 55-66 extracts aligned for comparative analysis.
 Source – URA+HP. Indicates common footprint and form which correlate with visual images from Millard 1859 and Elliott 1865 of a two bay semi-detached residential unit.

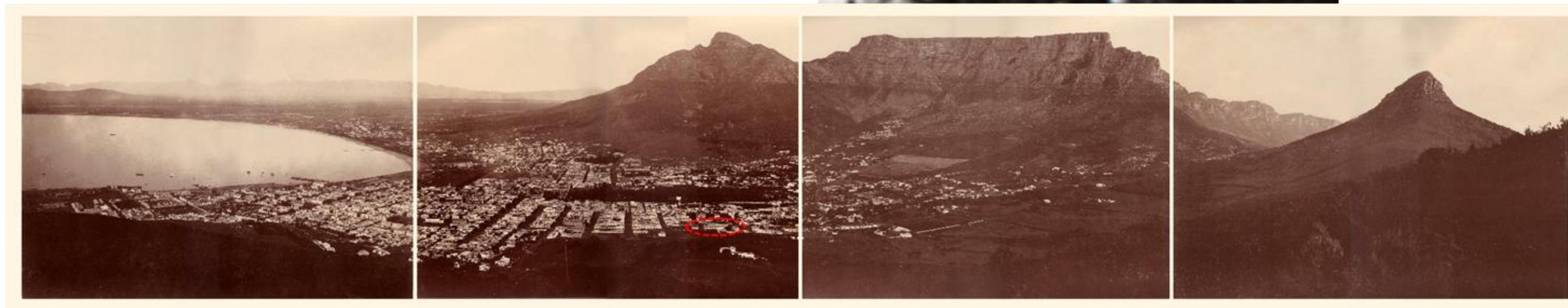
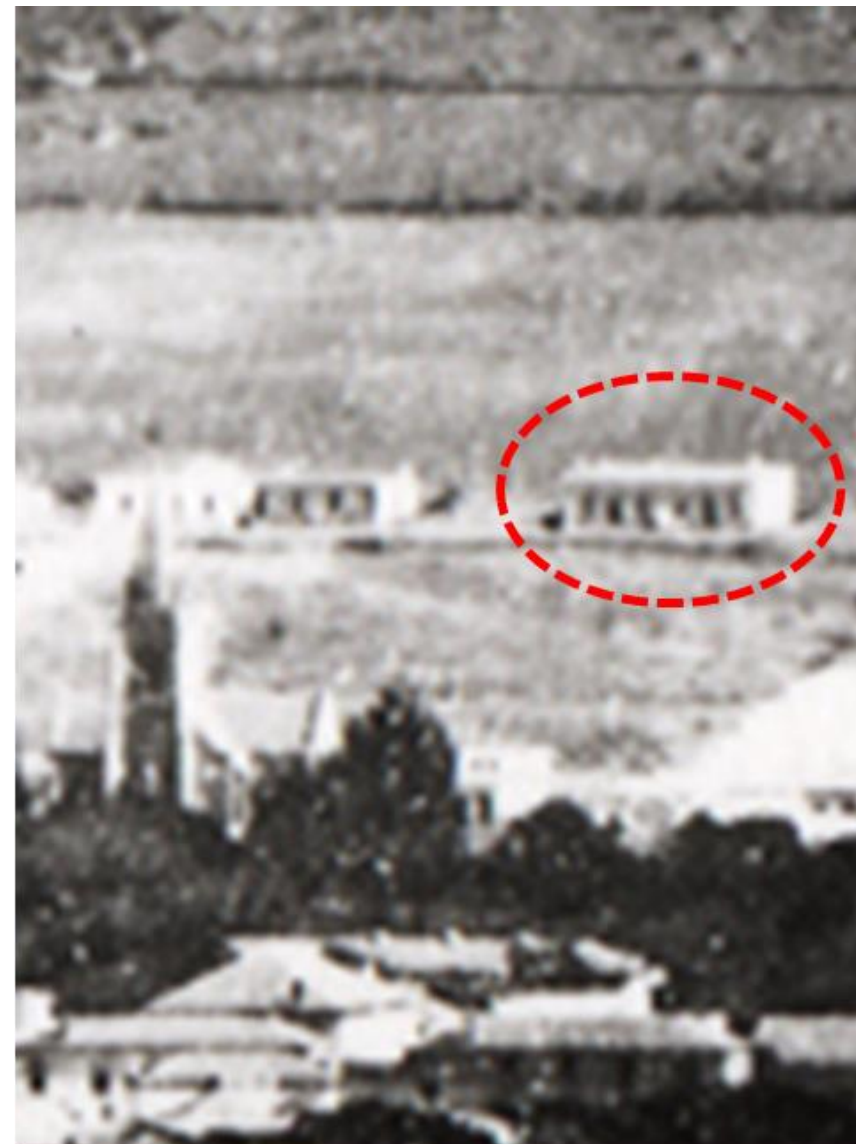
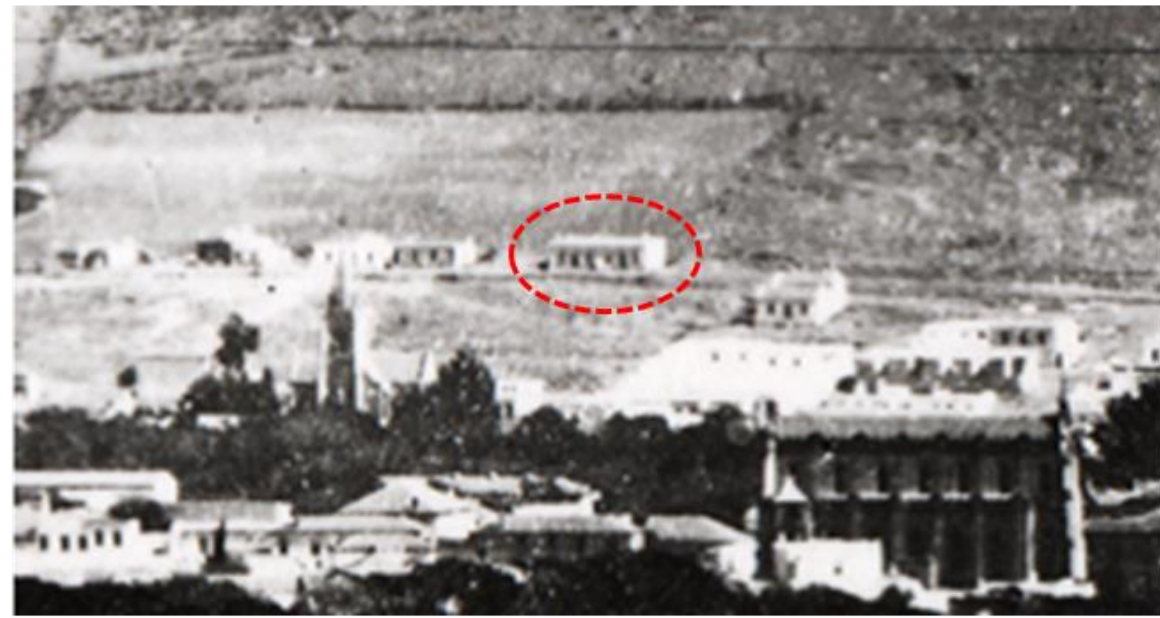


Figure 14: Elliott 1865 and Pocock Panorama 1884
Source - Roeland Street Archive and John Rennie personal collection.

Dotted line and shaded area denotes:-
 Figure in Table Valley between the land of A. Cruywagen and the "Stadt's Sloot"
 at the foot of "Leeuwenbergs gelegen".
 Size 2 Morgen, 460 Quadraat Roeden.



Notes translated and diagram formulated from SG Diagram No. 57/1808

Figure 15: Diagrammatic details of land grants /subdivisions /consolidations 1808 to 2006
 Source – URA+HP. The following diagrams illustrate the positioning of Erf 172004-RE (bright green) in relation to the original land grant parcel and the Stad's Buitensloot and the various subdivisions /consolidations of land parcels between 1834 and 2006. All information extrapolated from SG Diagrams and Title Deeds.

Dotted line and shaded area denotes:-
 Annexed figure of 166 Sq roods of land situated near the western extremity of
 Cape Town between the produced Buitengracht and the Property of Mr and Mrs
 Brink and Son, extending NW to said property, NE towards Stone Quarries, SE to the
 produced Buitengracht and SW to Government Land



Notes from SG Diagram No. 16/1834

Figure 15: Diagrammatic details of land grants /subdivisions /consolidations 1808 to 2006
 (Continued...)

Dotted line and shaded area denotes:-
 The diagram represents Two Morgen 439 Sq roods and 36 Sq feet of land, situated between the lands now or lately the Property of Ad Cruywagen and the Town Canal at the declivity of the Lions Rump. The diagram represents part of the property transferred to Mr and Mrs Brink C. Son and is taken from the Original laid down on the Title deed granted to F. C. Bresler on the 15th June 1808



Notes from SG Diagram No. 327/1839

Figure 15: Diagrammatic details of land grants /subdivisions /consolidations 1808 to 2006 (Continued...)

Dotted line and shaded area denotes:-
 The figure represents 11 Sq Roods and 36 Sq Feet of Land in the Division of the Cape in Cape Town in Buitengracht Street being portions of the land granted to JC Braslan, 15th June 1808 and of the land transferred to A Brink C. son on the 14th February 1834, and last transferred to Baard on the 9th August 1889, forming Lot No. 1. Bounded Northwesrwd by Private Property, North Eastwd by Municipal land, South Eastwd by Buitengracht Street and SW'd (sic) by Lot No. 2.



Notes from SG Diagram No. 1201/1891

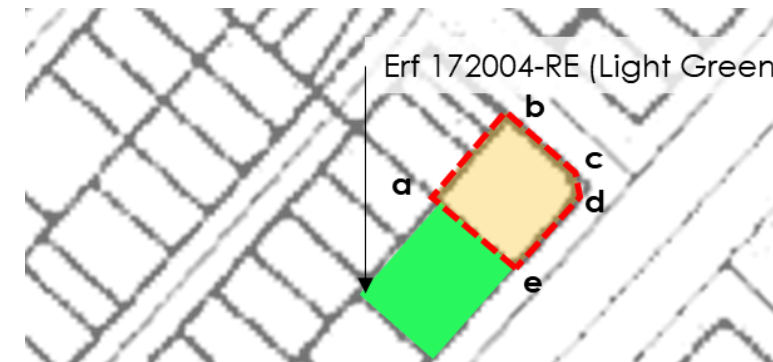
Figure 15: Diagrammatic details of land grants /subdivisions /consolidations 1808 to 2006 (Continued...)

Dotted line and pink shaded area denotes:-
 1. The figure a,b,c,d,e representing Portion 3 of Lot BOJ in extent 3292 Sq Feet.
 Diagram no. 1912/1961 annexed to D/T 1962
 2. The figure h,k,e,g, representing Land D/T dated 23rd Dec 1891 in extent 1620 Sq Feet,
 Diagram No. 1201/1891. D/T 1891-77-6296.
 The figure a,b,c,d,e,g,h,k represents 4,912 Sq Feet
 Note: lg is a party wall. Vide D/T.1891-77-6296



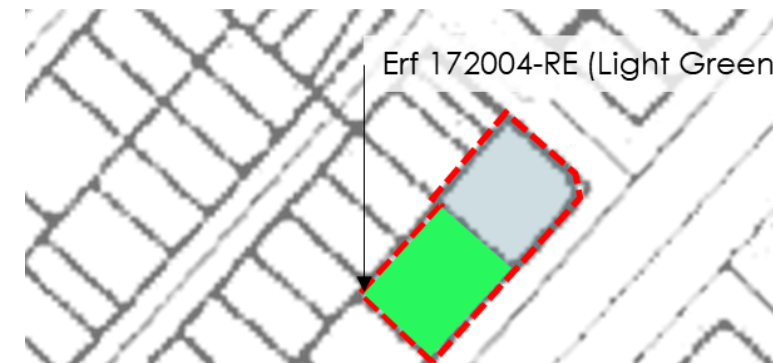
Notes from SG Diagram No. 7306/61

Figure 15: Diagrammatic details of land grants /subdivisions /consolidations 1808 to 2006 (Continued...)



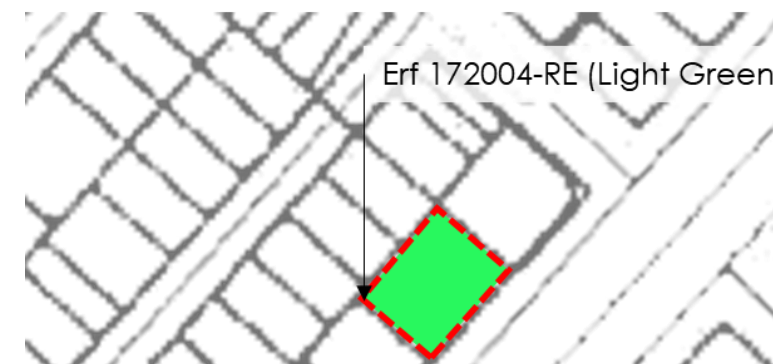
Dotted line and shaded area denotes:-
 a,b,c,d,e as Portion 3 of Lot BOJ measuring 3,292 Sq Feet

From SG Diag. 1912/61



Dotted line and shaded area denotes:-
 Erf 172004 measuring 702 Sq Metres of land

From SG Diag. 5097/2006



Dotted line and shaded area denotes:-
 Erf 172004-RE measuring 374 Sq Metres of land

From SG Diag. 5097/2006

Figure 15: Diagrammatic details of land grants /subdivisions /consolidations 1808 to 2006 (Continued...)

3d. Land ownership and occupancy

Occupation by year

Year	Occupant	Ownership
1834		Andries Brink Cornelius Son
1839		Thomas Frederik Dreyer Sr.
1862	Onions	
Addresses on Buitengracht Street - Mid 1890		
	126	124
1891		John Charles Gandy
1897	Baard S.B.H	Gandy J.C.
1900	Baard S.B.H	Gandy J.C.
Addresses on Buitengracht Street - 1905		
	214	212
1905	Baard S.B.H	Gandy J.C.
1910	Wellf, Jno.L	Gandy J.C.
1915	Wellf, Jno.L	Madden, E.
1919		Bierstecker, Chimney Sweep
1926	Wellf, Jno.L	Zacconi, Mrs J.
1930	Voges, Plumber	Thompson
1935	Voges, Plumber	Adams, S.M.
1940	Voges, Plumber	Adam,s M.
1950		Mrs Zuidema
1973	Farquhar and Amos Advertising	
1983	Shown as 61-112 in Buildings of Central Cape Town (1983)	Shown as 61-111 in Buildings of Central Cape Town (1983) Dixon Electronic
1985	Dixon Electronic	Dixon Electronic
1990	Dixon Electronic	Dixon Electronic
1995	Dixon Electronic	Dixon Electronic
2000	Dixon Electronic	Dixon Electronic
2005	SAHRA	SAHRA
2010	Vinopolis	Phoenix Creative
2014		Fellingham/Sze
2016	Fellingham/Sze	Bisognio, M. Beautician
Current address on Buitengracht Street		
	212a	212a

Figure 16: Land Occupancy and Ownership information
Source – KFA plus URA+HP.

This table illustrates occupancy and ownership along the northern part of Buitengracht near to the Orphan Streets corner over a period of just over 180 years. The information has been obtained from Directories and Almanacs at the National Library of SA and Title Deeds. The study was carried out by KFA and has been checked, verified and expanded by URA+HP.

3e. Built form changes over the past 70 years

No original drawings of the building exist other than those footprint layouts on survey maps. The earliest record drawing in the CoCT archive shows alterations to the existing dated 1947. This drawing shows internal changes, changes to fenestration and built form change to the rear of the site to accommodate manufacturing facilities of some sort. Occupation during this period is recorded in the table presented in Figure 16.

Drawings from 1959 show the incorporation of a structure on the adjacent neighbouring property into what are clearly manufacturing premises (Ref Figure 19). An inset drawing show details for a concrete slab over the neighbouring building to form additional upper level floor space. It is likely that this work was carried out as the next set of drawings on record (1973) show the adjacent building as a smaller footprint storey structure named 'drawing office'.

The original building on Erf 172004-RE was again altered in 1973. The two residential units were now one unit utilised as office spaces for Farquhar and Amis, Advertising. The Architects JMA Langley produced a mediocre plan and one section which show eight office spaces, with bathroom facilities and a store leading off a court. A conference room with stair leads up to a "lounge over". A small kitchen unit is shown off the conference room and partly underneath a second stair which is located in the same position as the present day existing bedroom wing timber stair. (Ref Figure 20)

Building of Cape Town 1983 Survey notes document an extensively altered mid-century 3-bay flat roofed structure behind a parapet wall. Refer to Figure 21 and Figure 25.

In 2006, Mr and Mrs Dixon, then owners of the two adjacent erven located on the corner of Orphan Street had the properties surveyed for consolidation and in 2008, four components of land were consolidated as Erf 172004. (Ref SG No. 5097/2006 Figure 23 and Certificate of Consolidated Title T 000034542/2008)

A set of circa 2008 architectural drawings for a proposed redevelopment for the then owner, Mr Dixon, have been located in the archive. These drawings were prepared by Architects Heinrich Gersner Harding show the complete gutting of the semi's with intention to use this space as parking for a proposed three storey residential development.

The building on the corner was constructed off drawings prepared in 1991 as office accommodation for Mr R W Dixon. As built drawings were submitted as 'As-built' drawings in 1994.

The most recent development on Erf 172004-RE has taken place post 2014 when Erf 172004 was subdivided and the original two semi-detached units were sold to K J Fellingham and W W Y Sze in 2014. Alterations have subsequently been implemented by the Architects KFA.

The following timeline study as an amalgamation of information above was developed by KFA in the initial stages of their research into the property which Kevin Fellingham owns. It illustrates development along the Buitengracht between Orphan and Whitford Streets over a period of approximately 160 years (1856-2020). The illustrations have been prepared from information obtained and extrapolated via various sources (Snow, Wilson, Thom, Pocock Panorama, Elliott photographs plus various Directories and Almanacs at the National Library of SA). The study was carried out by KFA and has been checked and is verified by URA+HP.

It presents a graphic realization of the changes over time from small scale accommodation for working families located on the edge of a farming precinct outside of the city and the Buitengracht to present day and a potential visualization for the year 2020, where much needed accommodation combined with studio working spaces is provided on the edge of the city and the Bo-Kaap for working families. The new proposed development structure fills an obvious underutilised space along the Buitengracht edge of the City between several bulkier buildings.

Figure 17: KFA Timeline Study – Built Form Development 1856-2020
Source – KFA. See the following pages

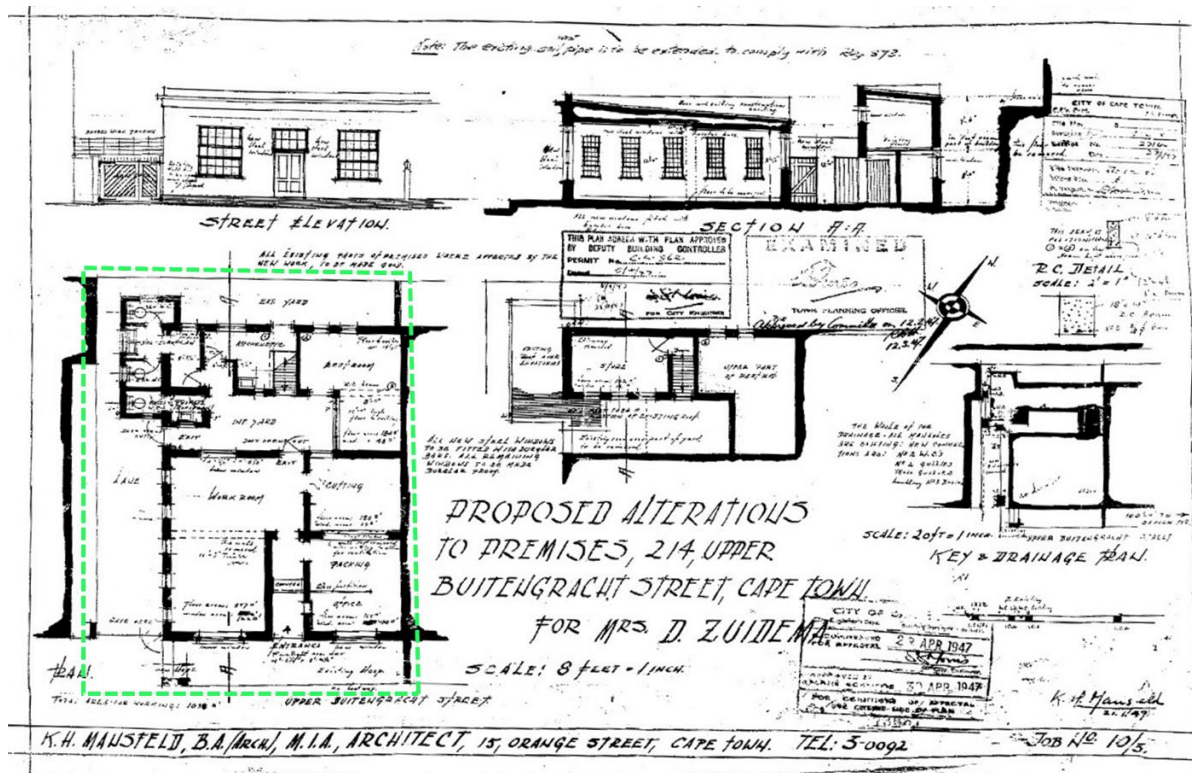


Figure 18: CoCT 1947 Record drawings of '214 Buitengracht'
 Source – CoCT. Shows alterations to premises for Mrs Zuidema. Usage is manufacturing (annotations show workroom, cutting, packing). The two storey rear portion of the building is separated by an internal courtyard. Front room/backroom internal wall is shown as demolished. The upper level is shown as a store. Windows on the façade and SW elevation are annotated as new steel windows.

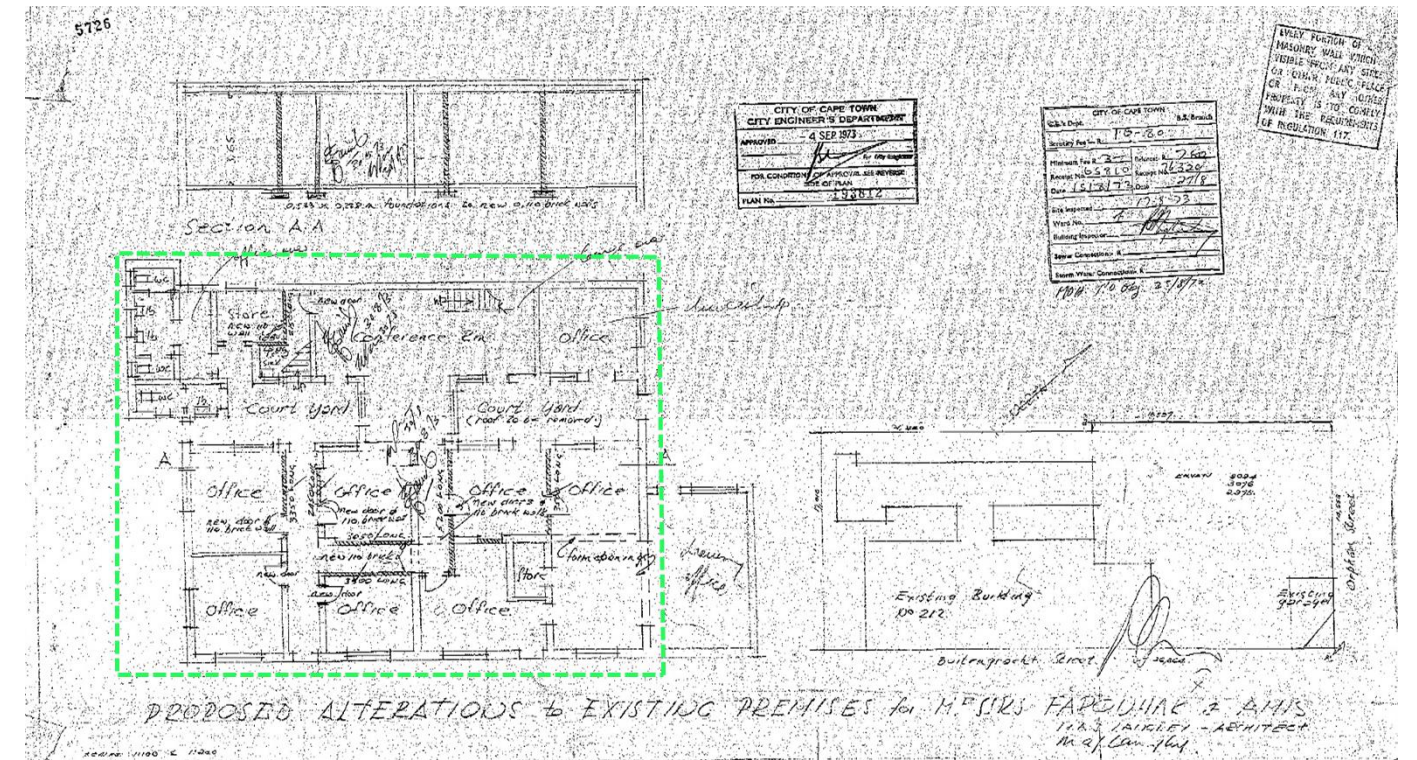


Figure 20: CoCT 1973 Record drawings of proposed alterations to 212A Buitengracht
 Source – CoCT. Shows drawings for office spaces for Farquhar and Amis, Advertising.

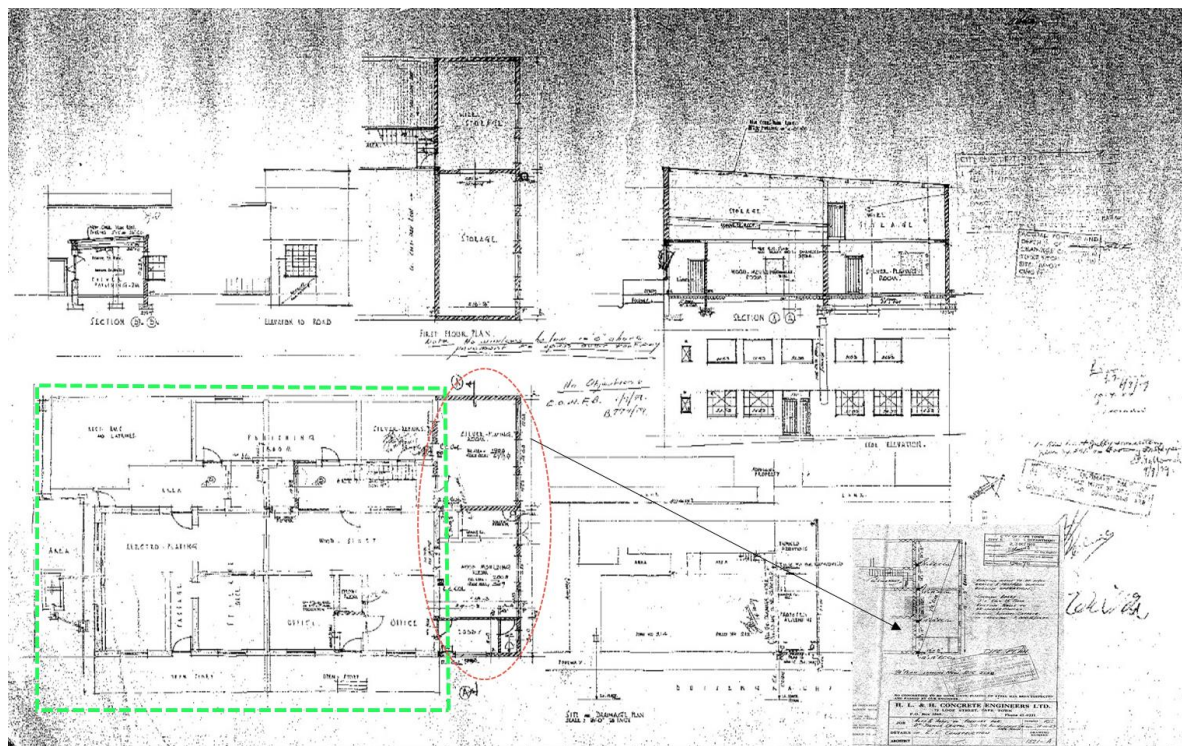


Figure 19: CoCT 1959 Record drawings of '212 and 214 Buitengracht'
 Source – CoCT. Shows incorporation of adjacent structure on neighbouring property for utilisation as manufacturing premises.

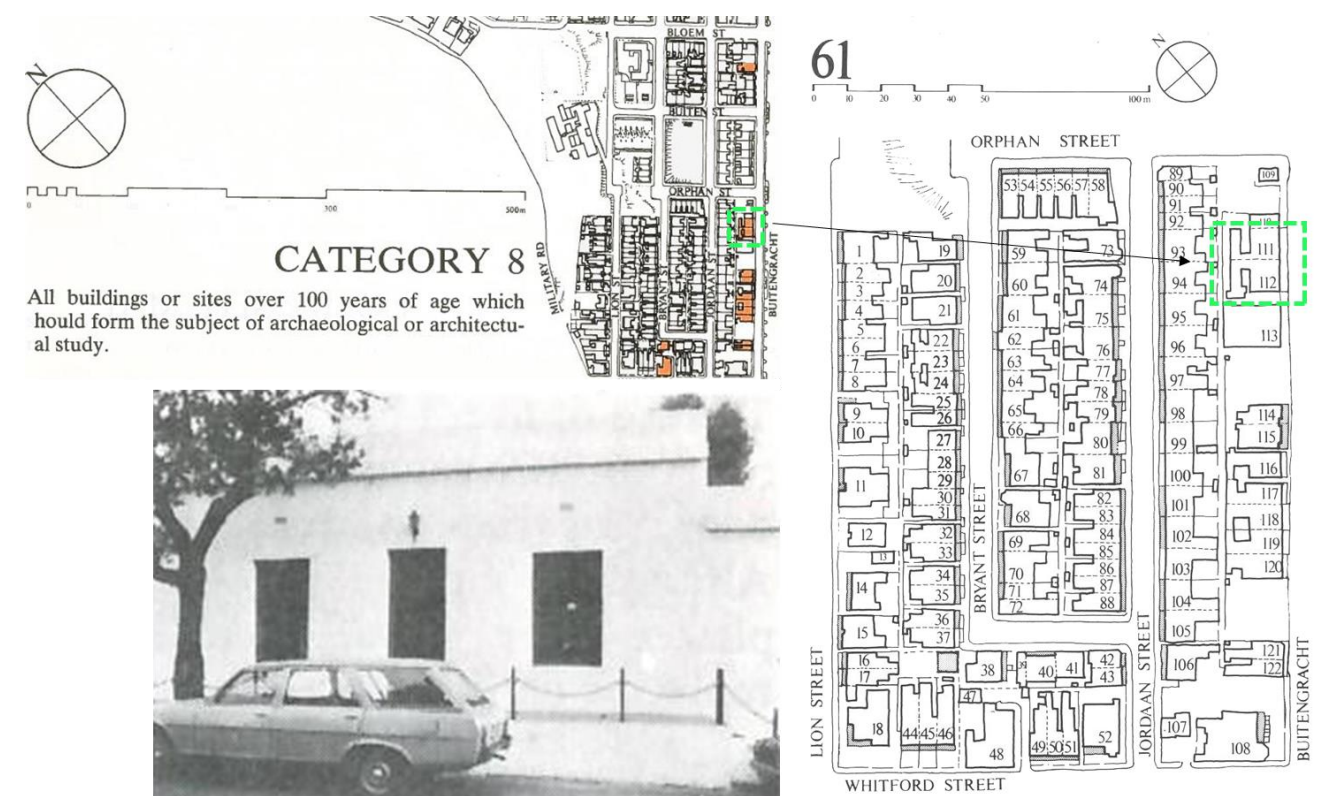


Figure 21: The Buildings of Cape Town: Phase Two 1983, Map and photograph
 Volume Three: Catalogue and Classification of the survey undertaken during 1982/3

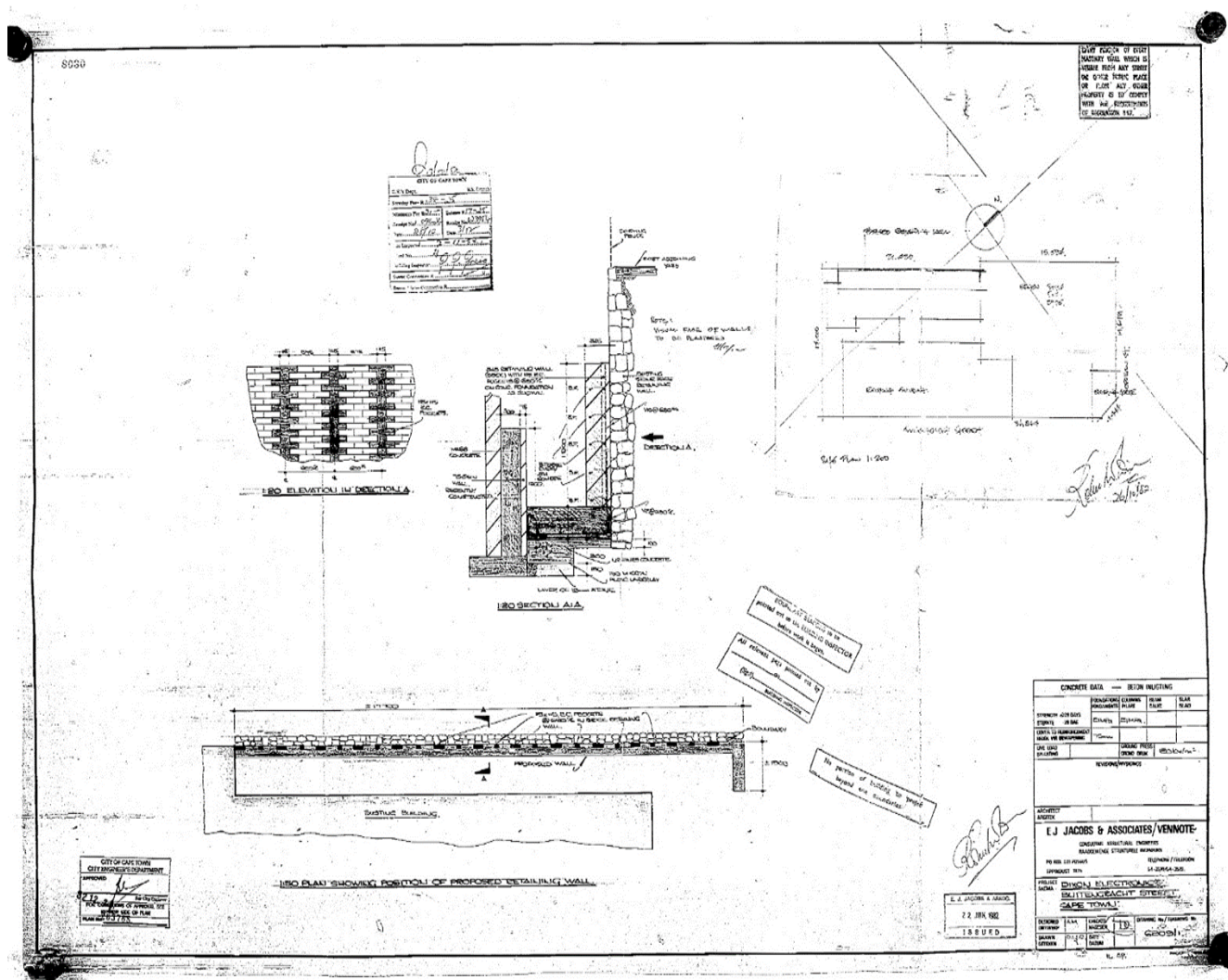


Figure 22: Rear retaining wall detail drawings
 E J Jacobs detail drawings for new retaining wall set in front of existing neighboring stone wall at the era of the property

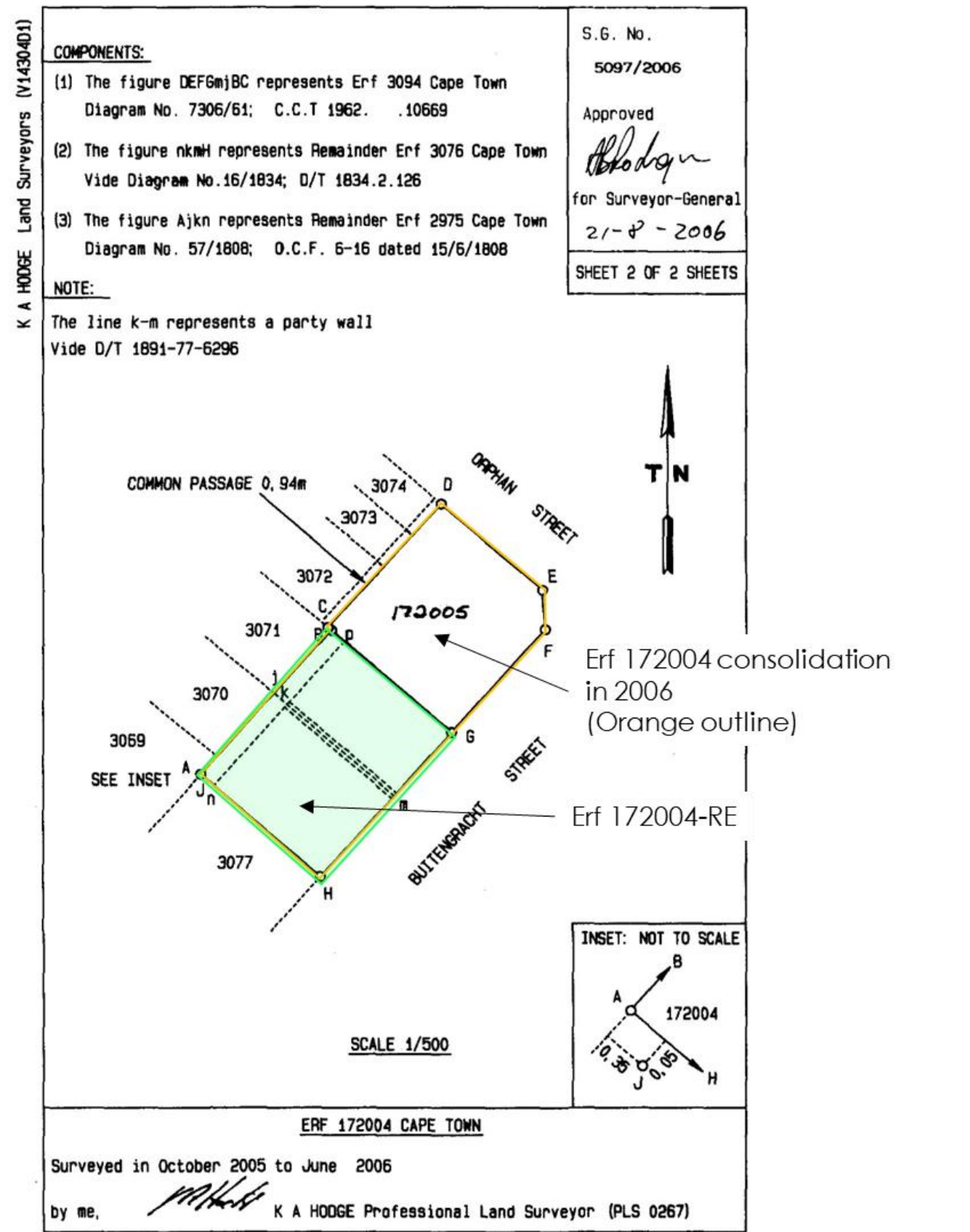
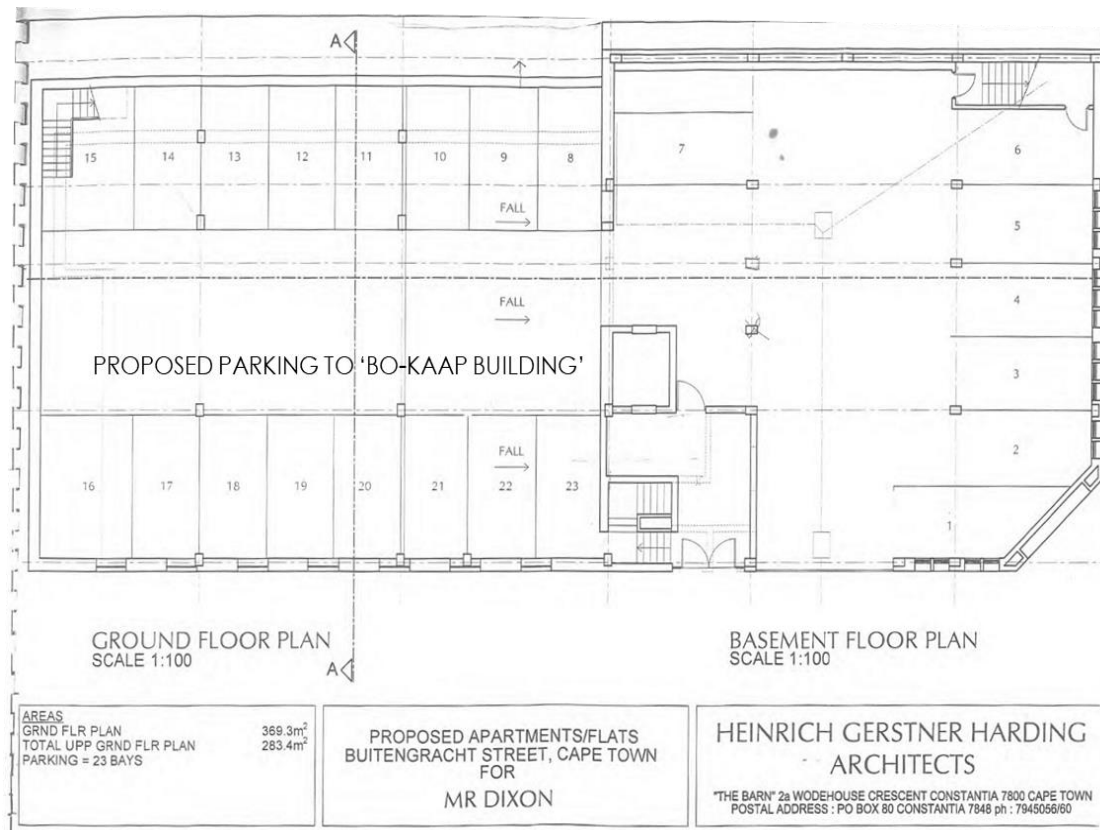


Figure 23: Surveyor General Diagram 5097/2006
 Source – SG Offices. Shows the consolidation of four portions of land intended for redevelopment by Dixon.



Copies of all drawings obtained via the CoCT archive are presented in Section 3e.

3f. An analysis of Built Form Significance

The following extract from the ClfA Buildings of Cape Town (BoCT): Phase Two, Vol Three, Catalogue and Classification survey of 1982/83 is the last reliable survey record of the historic structure and hence is used to benchmark recent changes.

61.112 DIXON ELECTRONIC

erven : 3094, 3094, 3094, 3076, 2975
 prop. ref. : WD 23D 16, 16, 16, 14, 15
 inspected : June 1983
 record : 61.109, 61.110 : Thom c1895-site undeveloped
 61.111, 61.112 : T126/14-1834 transfer deed, sites recorded as undeveloped in 1839
 Millard c1859-flat roof and parapet, clearly visible
 Snow c1862-site developed
 CA (E 8137), c1865-facades visible

61.111 and 61.112 : Extensively altered, mid 19th-century, 3-bay. Flat roof and parapets, probably contains old wall fabric. Raised stoep, quarry tiles, modern steel chain and post railing. Modern sashes, glazed door and fanlight, old bead mould beams, new pine ceiling boards, metal roof sheeting. Plastered string course replacing moulded cornice.
 61.110 : Plastered brick addition, steel windows, modern timber sash on Buitengracht.



Figure 25: Extracted text from The Buildings of Cape Town: Phase Two 1983 Volume Three: Catalogue and Classification of the survey undertaken during 1982/3

The changes post the BoCT 1982/3 survey are summarised as follows:

1982	Drawing by E J Jacobs Engineer	Refer Figure 22
New rear retaining wall		
2006	SG Diagram and Deed of Transfer	Refer Figure 23
Consolidation of four erven		
2014-2018	Drawings by KFA	Refer Appendix B
Alterations by KFA		

The existing building is illustrated in the photographic essay contained in Appendix A.

Drawings obtained from KFA for the post 2014 alterations are presented in Appendix B.

Figure 24: Proposed 2008 Dixon development for the consolidated Erf 172004 Source – KFA. Shows a development proposal which was never built entailing the complete gutting of the semi's with intention to use this space as parking for a proposed three storey residential development.

3g. Built form Morphology

The following illustrations illustrate the Built Form Morphology from 1862 to 2020 (imagined). The plan forms show changes made which radically affected the existing built form between 1940 and 2014 where internal walls were demolished and the units were used as one space for business purposes.

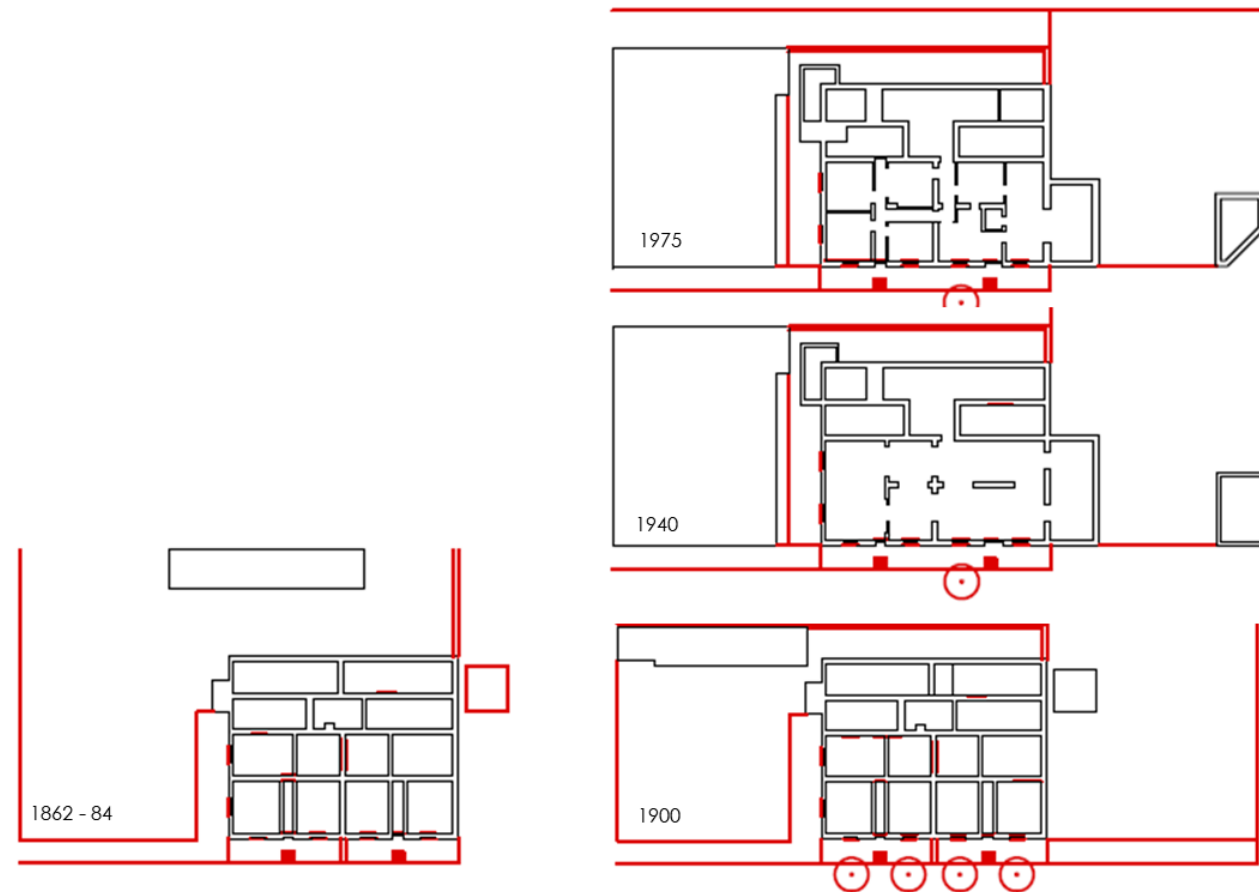


Figure 26: Plan diagrams showing changes over time 1862 – 2014. Source - Source – KFA. Information extrapolated from drawings obtained via the CoCT archive which are presented in Section 3e.

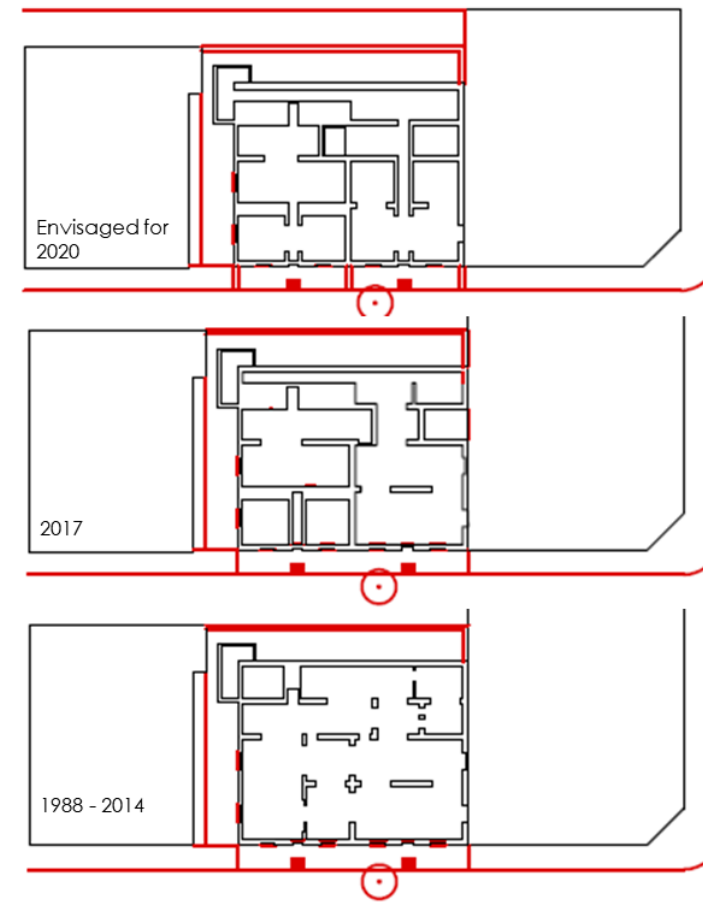
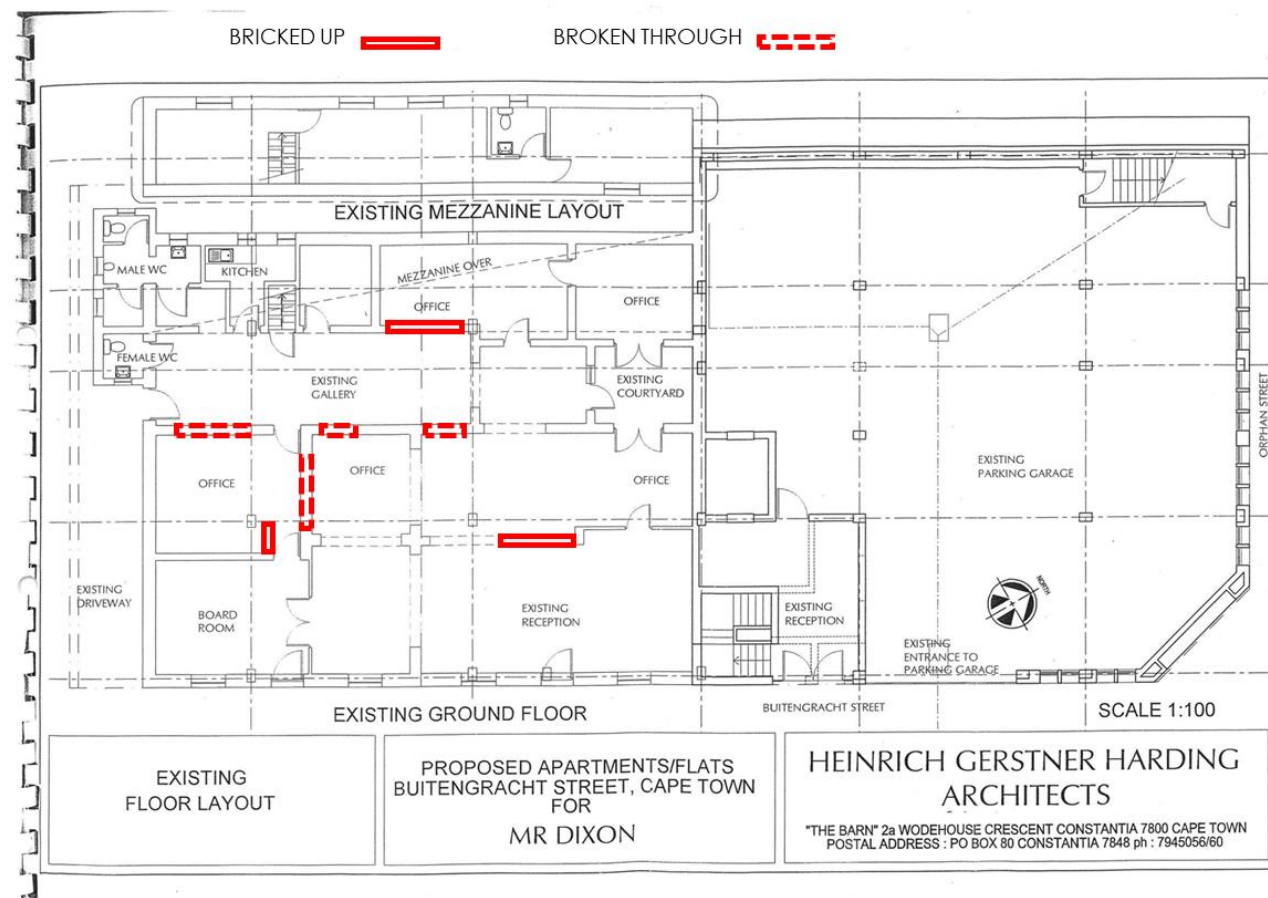
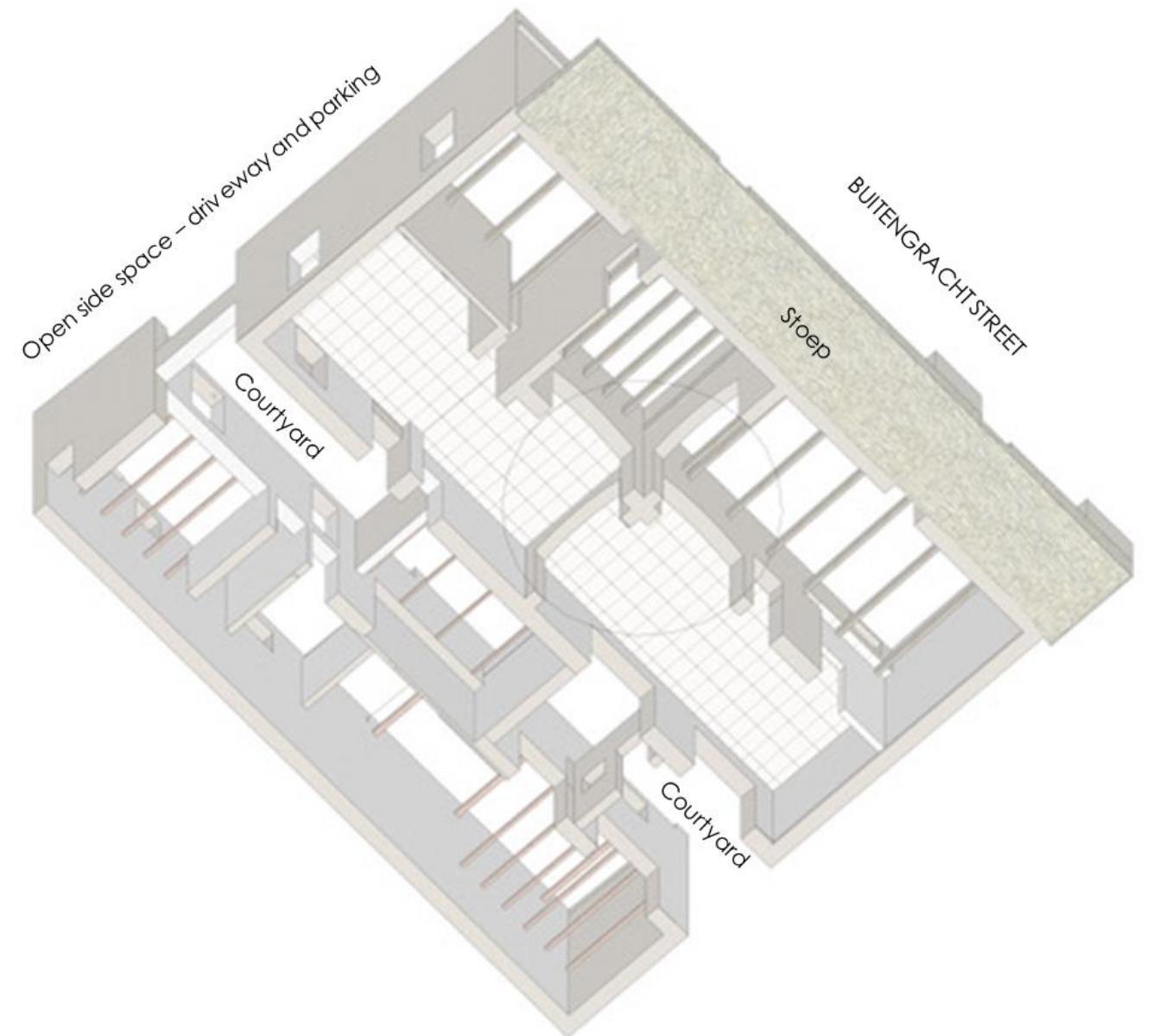


Figure 27: Plan diagrams showing changes over time 2014 to 2020 (imagined). Source - Source – KFA. Information extrapolated from drawings obtained via the CoCT archive which are presented in Section 3e.

Changes made post 2014 up to and including 2017 were implemented by Kevin Fellingham.



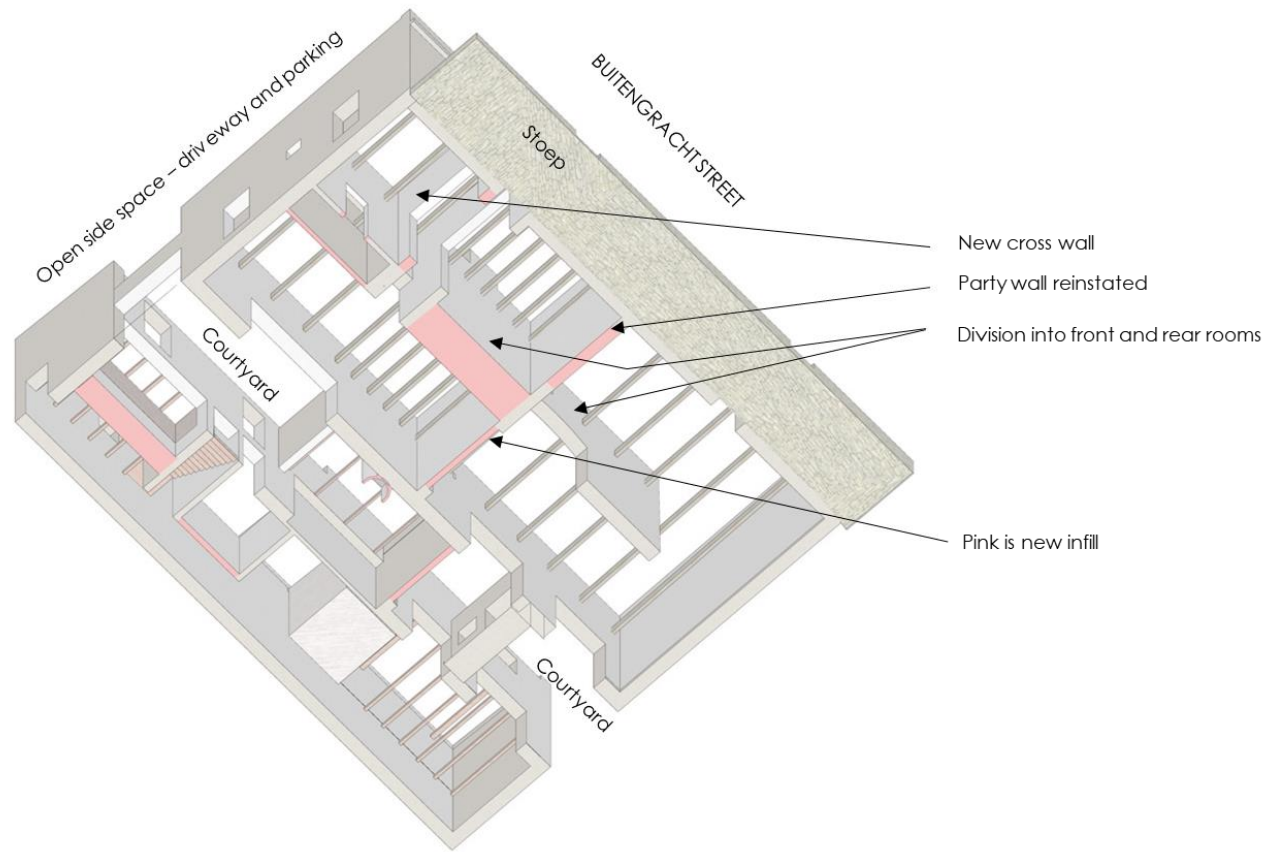
RECORD OF 2014 'AS-BOUGHT' PLAN LAYOUT – PROVIDED BY K. FELLINGHAM
(ADAPTED FROM RECORD DRAWINGS PROVIDED BY DIXON THE SELLER)



RECORD OF 2014 'AS-BOUGHT' LAYOUT – VIEW FROM BELOW
Showing wall positions and openings and ceiling beams.

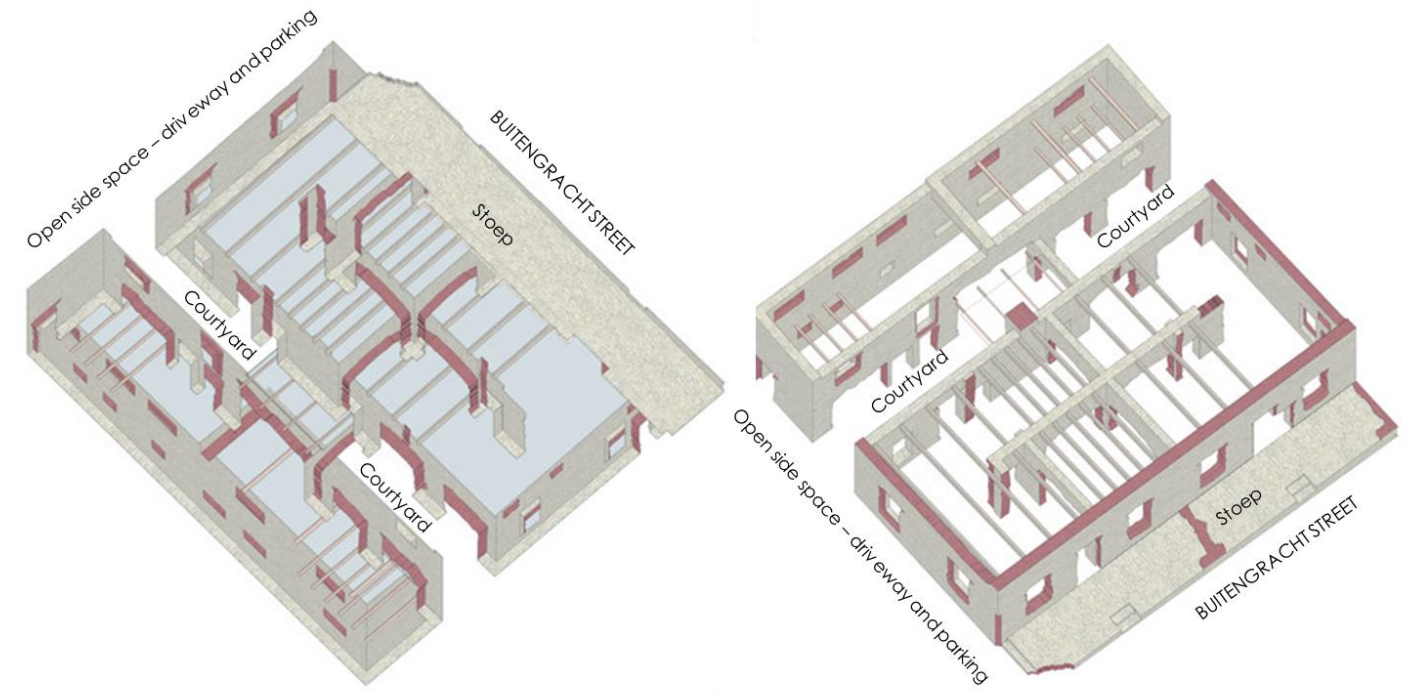
PREPARED BY K. FELLINGHAM

Figure 29: 2014 Record of "As-bought" layout – view from below
Source – KFA.



RECORD OF 2014 'AS-IS' LAYOUT – VIEW FROM BELOW
 Shows wall positions, beams and openings with ceiling beams. Pink is new infill.
 Party wall reinstated with division into front and rear rooms with new cross wall in "Hallway" in front bay
 PREPARED BY K. FELLINGHAM

Figure 30: 2014 Record of "As-is" layout – view from above
 Source – KFA.



Red denotes all demolition of original fabric as derived from KFA survey of fabric whilst renovating.
 Read in conjunction with timeline study of CoCT record drawings which record various stages of alteration over a period of 65 yrs. (1947 to 2014)

RECORD OF 2019 'AS-BUILT' LAYOUT – VIEW FROM BELOW

RECORD OF 2019 'AS-BUILT' LAYOUT – VIEW FROM ABOVE
 PREPARED BY K. FELLINGHAM

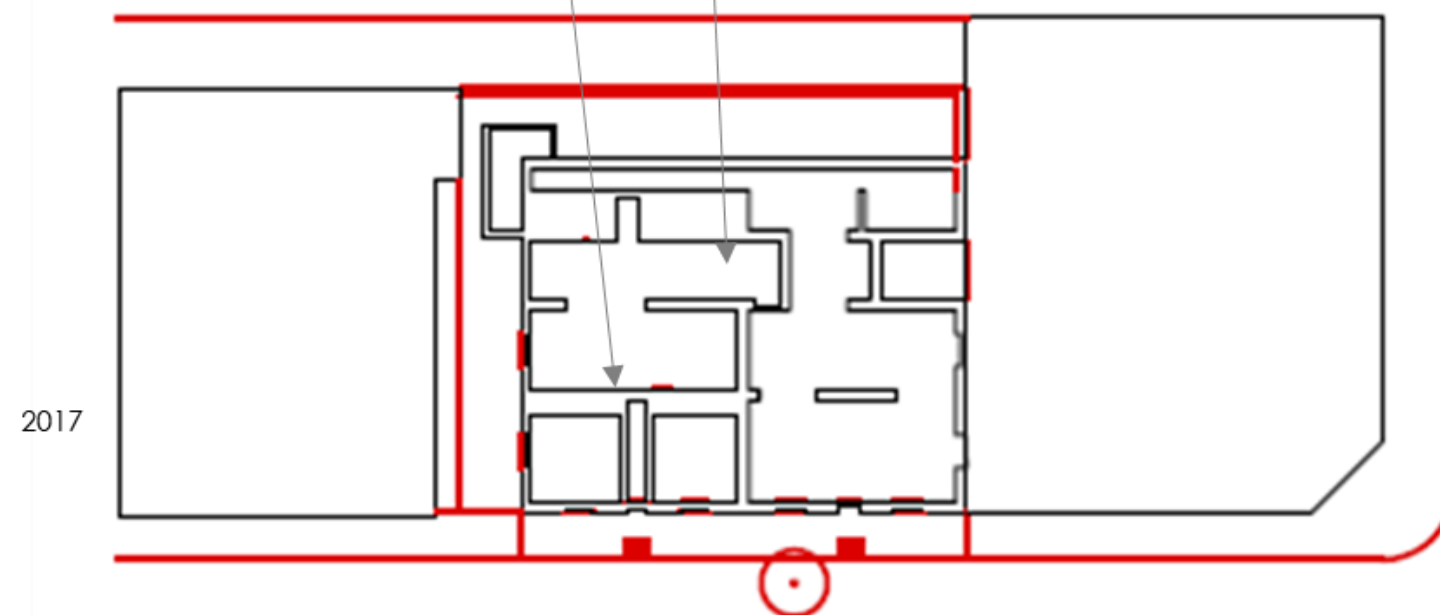
Figure 31: 2019 Record of "As-built" layout – views from above and below
 Source – KFA

NOTES FROM K. FELLINGHAM RE POST 214 ALTERATIONS – PRESENTED HERE AS THE 2017 LAYOUT

- Because we could neither afford to, nor are in any way interested in restoring that which has gone, but understanding that the type form brings with it a burden of prejudice, which Rossi called collective memory, I chose to design the entrance sequence in such a way as to produce in anyone familiar with the Cape building tradition a sense of recognition akin to *deja vu*. This required reinstating the symmetry which had been lost.
- I rebuilt the cross wall to the hallway based on the marks on the ceiling showing where it has been.
- This means that the rest of the place, which is mostly 'make do and mend' incorporating a large amount of 1970s and 80s rubbish windows, doors, handles, and the really cheap fit out we could afford, is framed by the visitors preconception as worth looking at.
- Its the same trick I was hoping to perform with the facade- not old versus new, but new seen through the lens of the familiar. Chipperfield's Neues Galerie also uses this strategy - I believe it to be the finest piece of heritage work since Asplund's Gothenburg Law Courts from the 1930s,

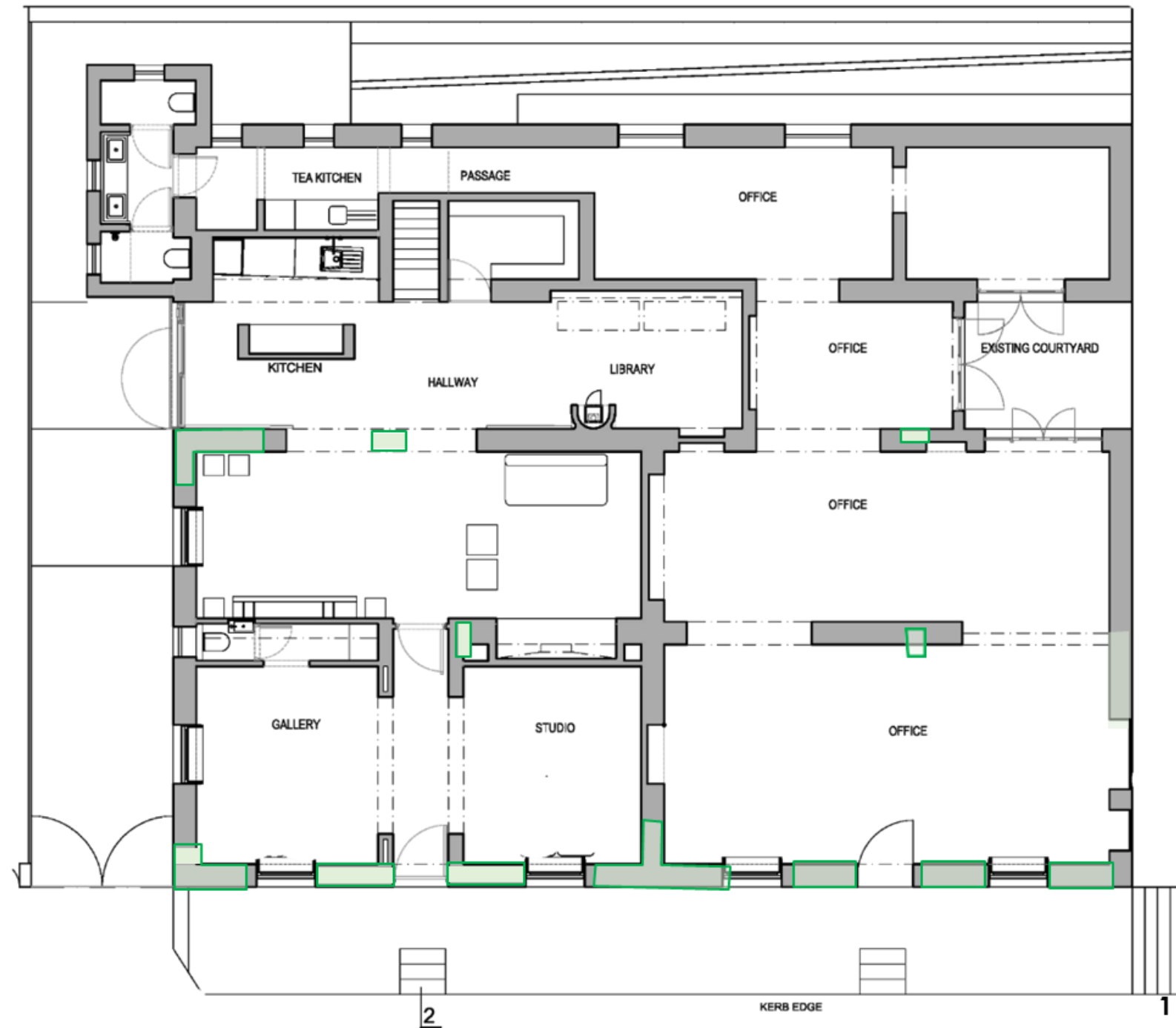
- I in-filled the party wall and divided the front from the back with new walls based on understanding what that building would originally have been - cellular with a central axis.
- The division walls between front and rear are not where they would originally have been, as there was one new wall in place set forward of the old line of structure - the wall in the other bay follows that alignment, not the original line of structure, which remains behind it.

- We plastered the infill walls, and skimmed but did not paint them- instant patina.
- Similarly the floor, The brick paving is the cheapest extruded brick for RDP housing, laid over the old screed by driveway pavers, The bricks are really soft and uneven in colour and are already weathering outside, and even inside. Also instant patina. These will have to be ripped up if we do any more building. If the experiment works we will use them again.



- We replaced the door frame into the house from the office with one we found with its fanlight buried in the wall to what had been the courtyard, which I believe to be from the 1973 rebuilding of the interior.

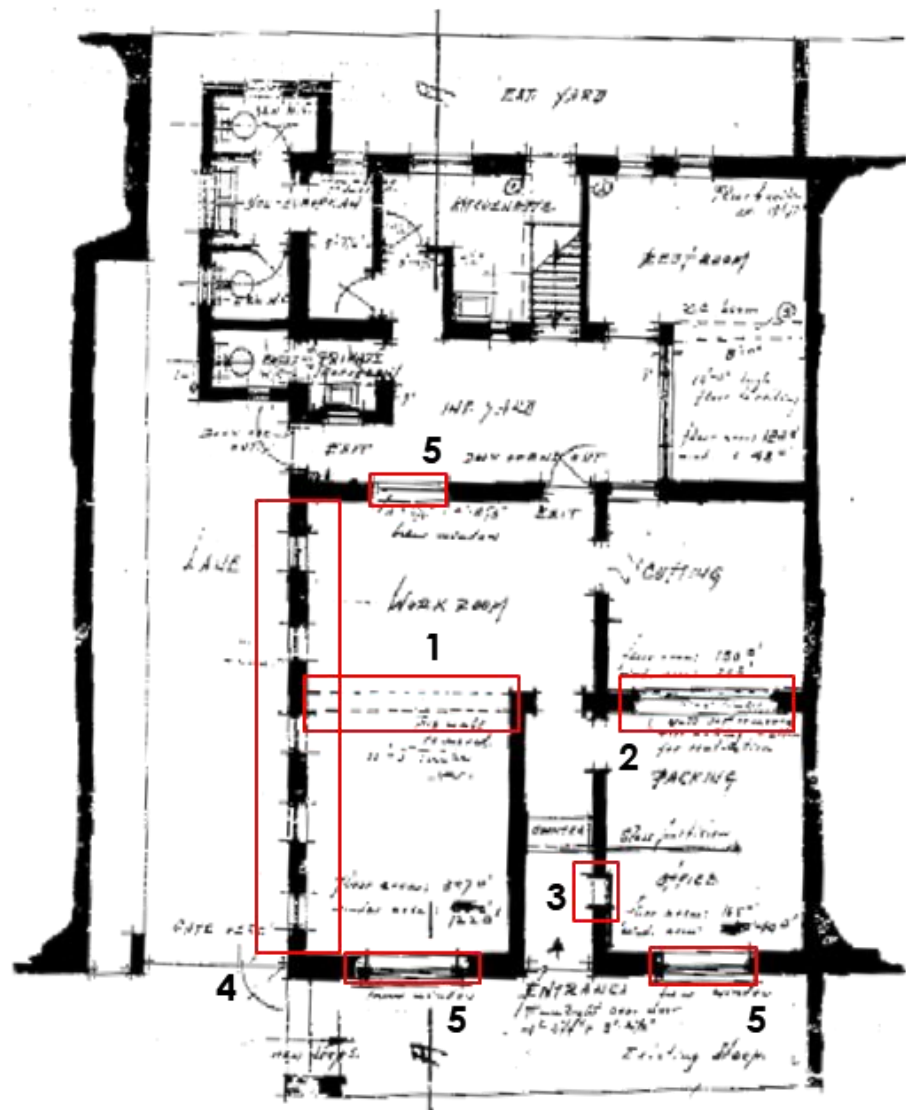
Figure 32: 2019 Annotated Record of "As-built" layout
Source – KFA



An assessment of CoCT Record drawings from 1947 to 2014 representing 65 years' worth of alterations have been analysed in order to understand where possible pre 1947 fabric may exist. The green highlights on this 2018 As-Built floor plan show results from the following study which tabulates and illustrates all changes over the 65 year period.

2018 Possible pre 1947 fabric

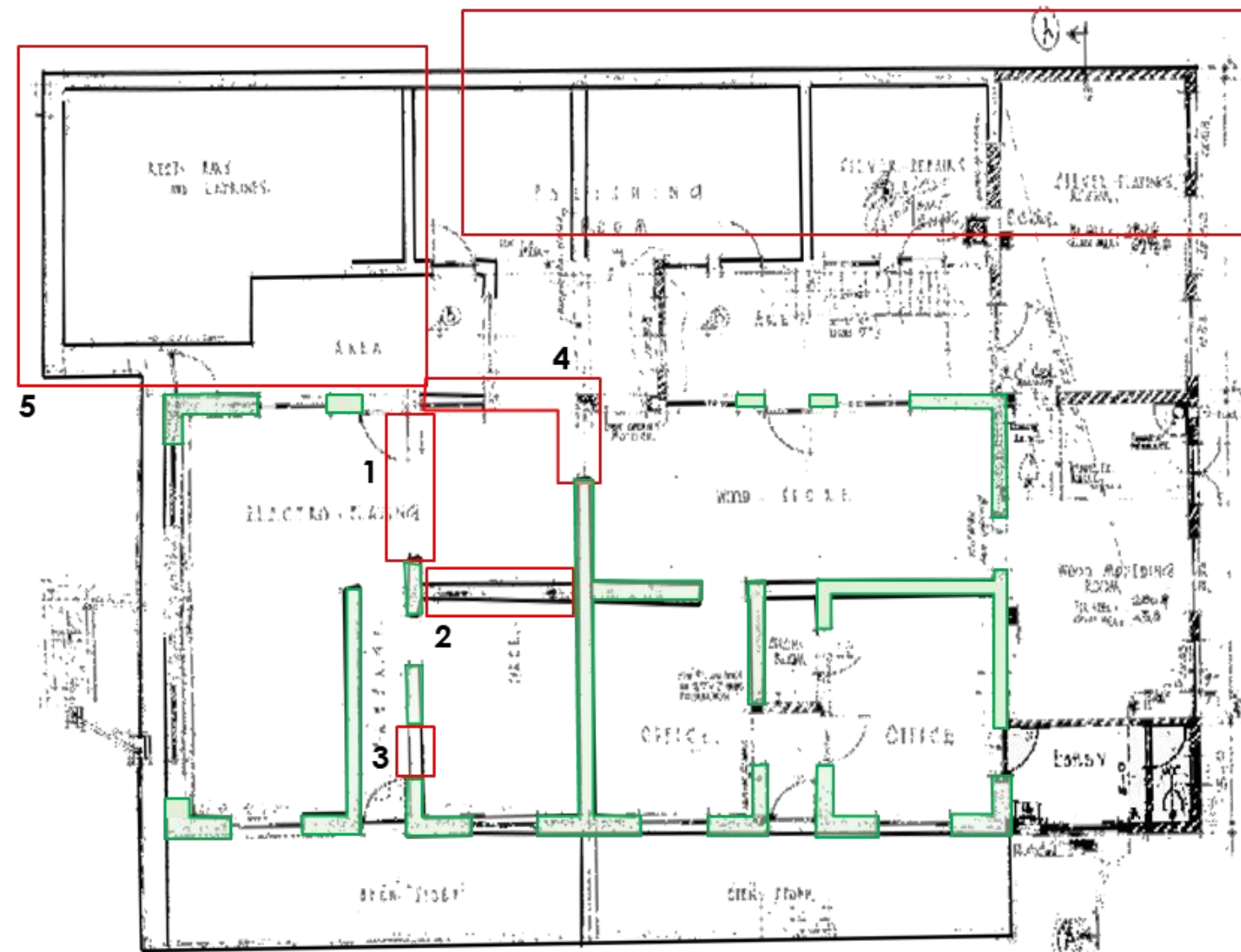
Figure 33: Analyzing 65 yrs. of alterations (1947 - 2014) to determine possible pre 1947 fabric
Source – KFA and URA+HP



Alterations – information extrapolated from drawing records

1. Cross wall demolished
2. Opening created in cross wall
3. Opening in longitudinal wall
4. Five window openings
5. Altered windows (new windows are wider)

1947



Alterations – information extrapolated from drawing records

1. Longitudinal wall demolished
2. Cross wall opening enclosed
3. Longitudinal wall enclosed
4. Longitudinal rear and cross walls demolished, corner remains intact
5. Presumed inaccurate representation

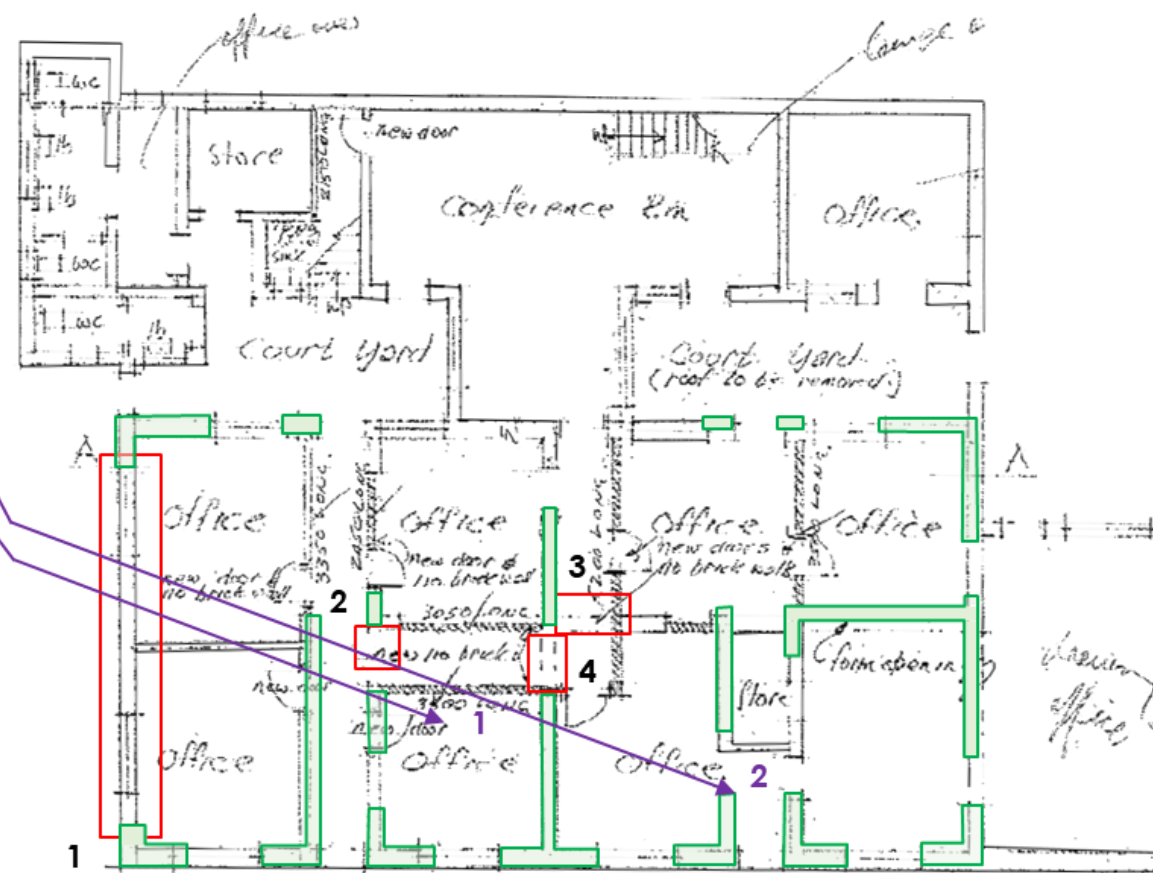
1959

Possible pre 1947 fabric

Figure 33: Analyzing 65 yrs. of alterations (1947 - 2014) to determine possible pre 1947 fabric (Continued...)

KFA Notes

1. This wall position is evident on the ceiling- internal walls run up to , and not through the ceilings, regardless of their age
2. This wall position is also evident on the ceiling



Alterations – information extrapolated from drawing records

1. Five window openings previously (1947)
2. Demolition to enable access (1973)
3. Demolition to enable access (1973)
4. Demolition to enable access (1973)

1973 Possible pre 1947 fabric

Figure 33: Analyzing 65 yrs. of alterations (1947 - 2014) to determine possible pre 1947 fabric (Continued...)

KFA Notes

This WC was demolished pre 2014 – probably in order to make space for a second car to park in the side space.

ASSESSMENT NOTES:

Major demolition and built form changes occurred between 1973 and 2005/2008.

The Buildings of Cape Town: Phase Two 1983, Map and photograph Volume Three: Catalogue and Classification of the survey undertaken during 1982/3 state the following:- “an extensively altered mid-century 3-bay flat roofed structure behind a parapet wall.”

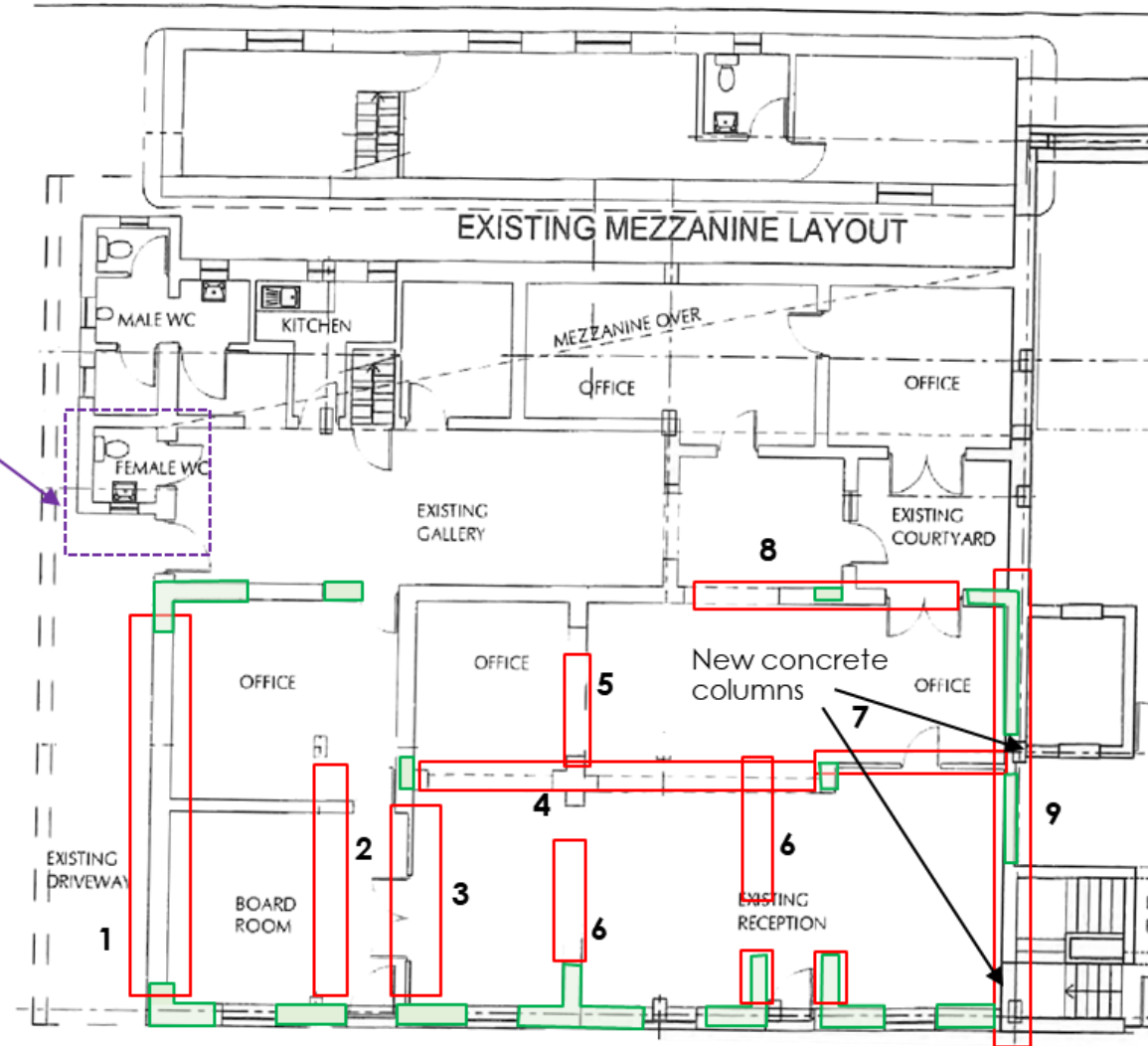
At this time, the building was occupied and utilised as one unit as office spaces for Farquhar and Amis, Advertising.

The 1973 Architects JMA Langley’s plan and section shows eight office spaces, with bathroom facilities and a store leading off a court. A conference room with stair leads up to a “lounge over”.

A small kitchen unit is shown off the conference room and partly underneath a second stair which is located in the same position as the present day existing bedroom wing timber stair.

An assessment of ceiling materials indicates that it is most likely that the ceilings date from about 1973 or shortly thereafter and the openings shown on the 2005/2008 plan were made at that time (and there were possibly more changes made that weren’t recorded).

The 2005/2008 layout appears to be a record layout of unrecorded 1973 or post interventions. Marks on the ceiling from circa 1973 partition walls correspond consistently to the 2005/2008 layout.



Alterations – information extrapolated from drawing records

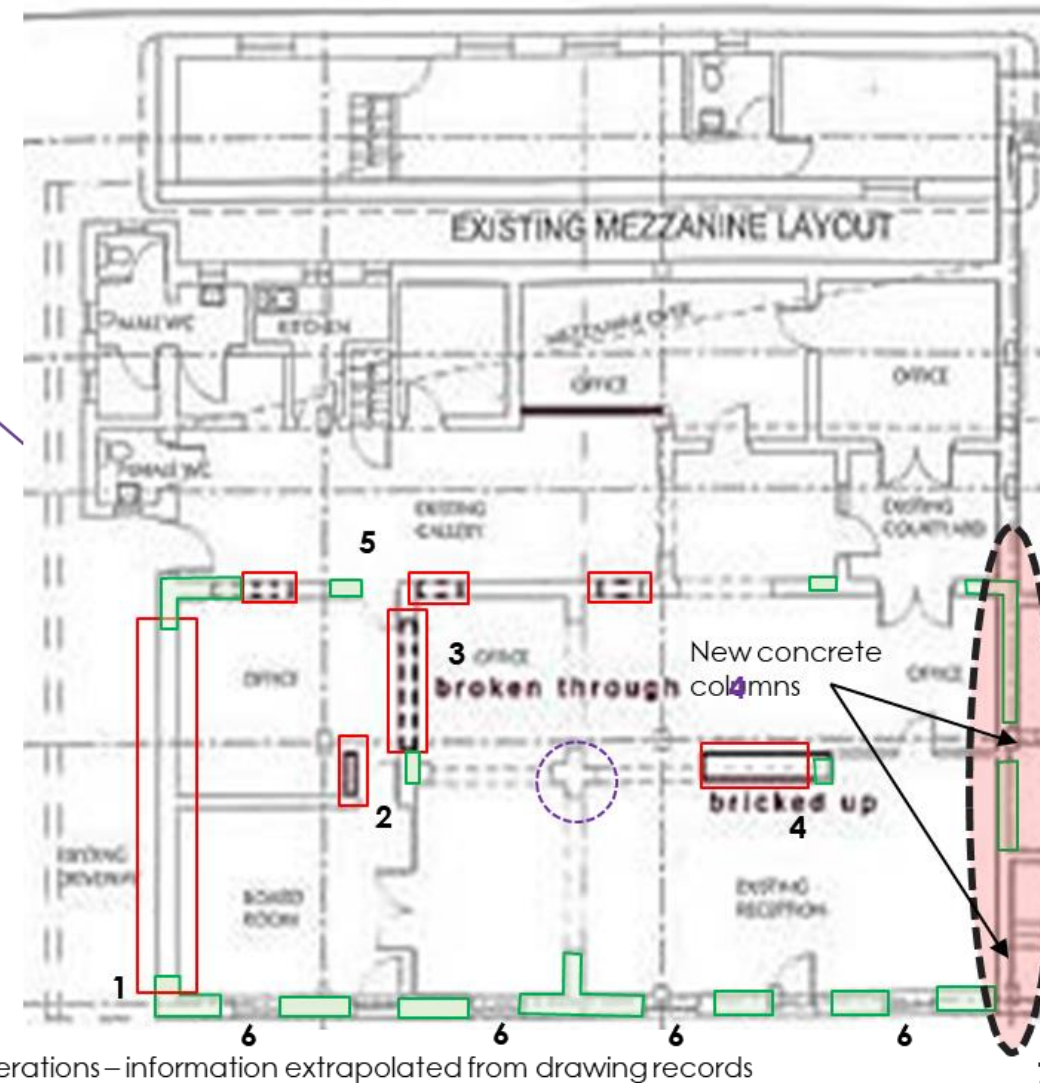
1. Five window openings previously (1947)
2. Demolition to enable larger boardroom space (2005/2008)
3. Demolition and replacement with thinner screening element + doors (2005/2008)
4. Creation of arched openings (2005/2008)
5. Demolition to create open plan office space (2005/2008)
6. Demolition to create reception (2005/2008)
7. Demolition and replacement with thinner screening element + doors (2005/2008)
8. Demolition to create open plan office space with new double doors (2005/2008)
9. Introduction of concrete columns, suspended slab and stair for structure next door

2005/2008 — Possible pre 1947 fabric —

Figure 33: Analyzing 65 yrs. of alterations (1947 - 2014) to determine possible pre 1947 fabric (Continued...)

KFA Notes

These notes below (1 to 5) show the differences between the 2005/2008 drawings and the as-bought 2014 layout
 The additional brickwork shown at no. 4 was probably to get 4 even sized arches within the open plan space. There was a circular tile pattern centred on the pier bearing the arches.



Alterations – information extrapolated from drawing records

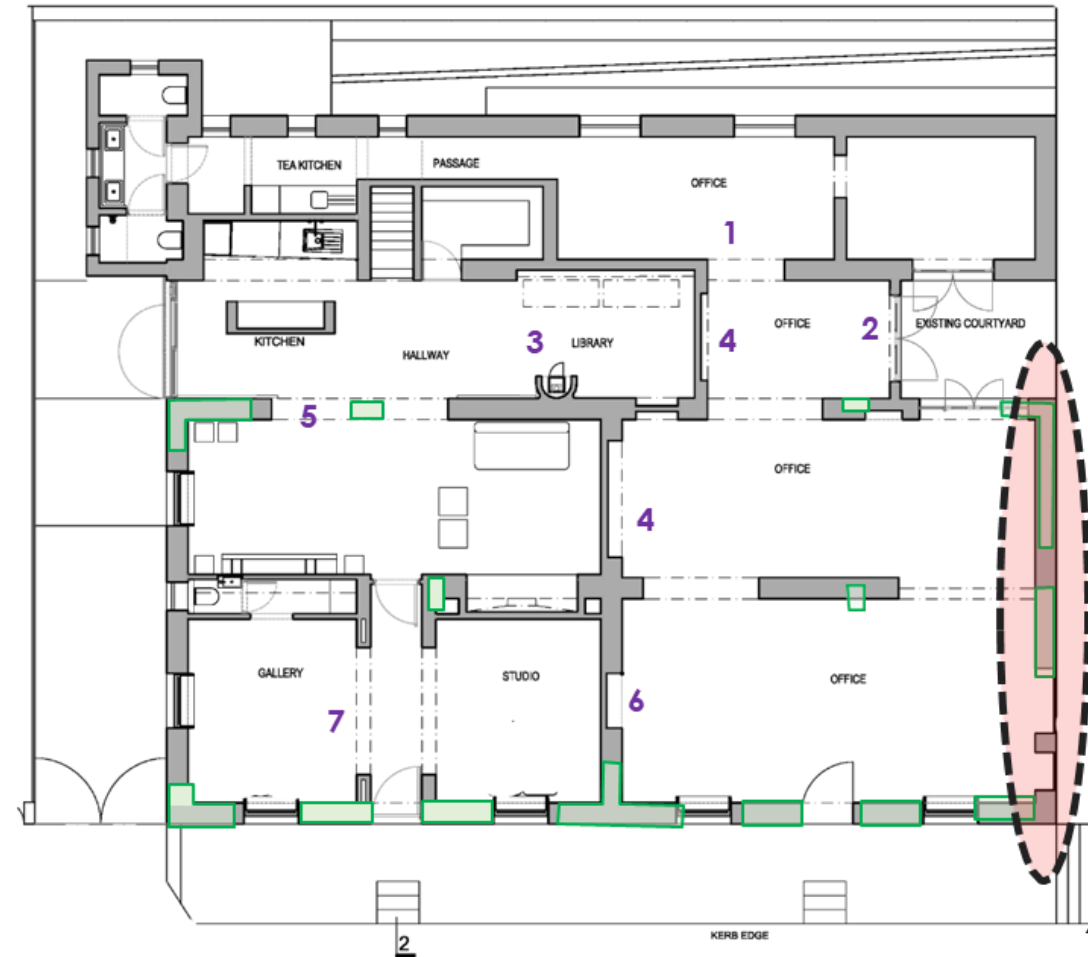
1. Five window openings previously (1947)
2. Bricked up post 2008
3. Demolished post 2008
4. Bricked up post 2008
5. Demolished post 2008
6. The windows are post 1973 – narrower than the 1947 steel windows (see notes on dwg) and not the originals - but made to fit the modern sash.
7. This is unlikely to be pre 1947 fabric – a five storied building on the adjacent site was constructed in 2006/2008. Both erven were consolidated and owned by Dixon. The structure is concrete framework, column and beam with a suspended stair. It is unlikely that any pre 1947 fabric would have survived this type of construction intervention

2014 Possible pre 1947 fabric

Figure 33: Analyzing 65 yrs. of alterations (1947 - 2014) to determine possible pre 1947 fabric (Continued...)

KFA Notes

1. We put in the double steel beam to stabilise the central wall and deal with the kick in the ceiling where the flat part (rhs) meets the sloping part (lhs). It ties in with the ceiling marks and the courtyard cross wall and meant we could leave the front room unchanged.
2. We moved the door from the Boardroom to this position and installed the little window above the lintel.
3. The curved wall was built to prop the hanging chimney breast
4. We bricked up one skin within these arches
5. We installed a beam to stabilise this wall and removed the small bit of stone wall remaining. New brickwork to bear the beam was built up on the lh and rhs of the 2005/2008 opening so as to avoid underpinning/demolishing older walls
6. We bricked up two skins with the 2005/2008 arch and formed a doorway which is closed off with drywall
7. We built new nibs with lintels overhead



KFA post 2014 intervention – extrapolated from drawing records

1. This is unlikely to be pre 1947 fabric. The five storied building on the site next door was constructed in 2006/2008. Both erven were owned by Dixon Electronics at that time. The structure next door is a concrete column and beam structure with a suspended stair. It is unlikely that the pre 1947 fabric in this area would have remained intact or survived this type of construction intervention

2018 Possible pre 1947 fabric

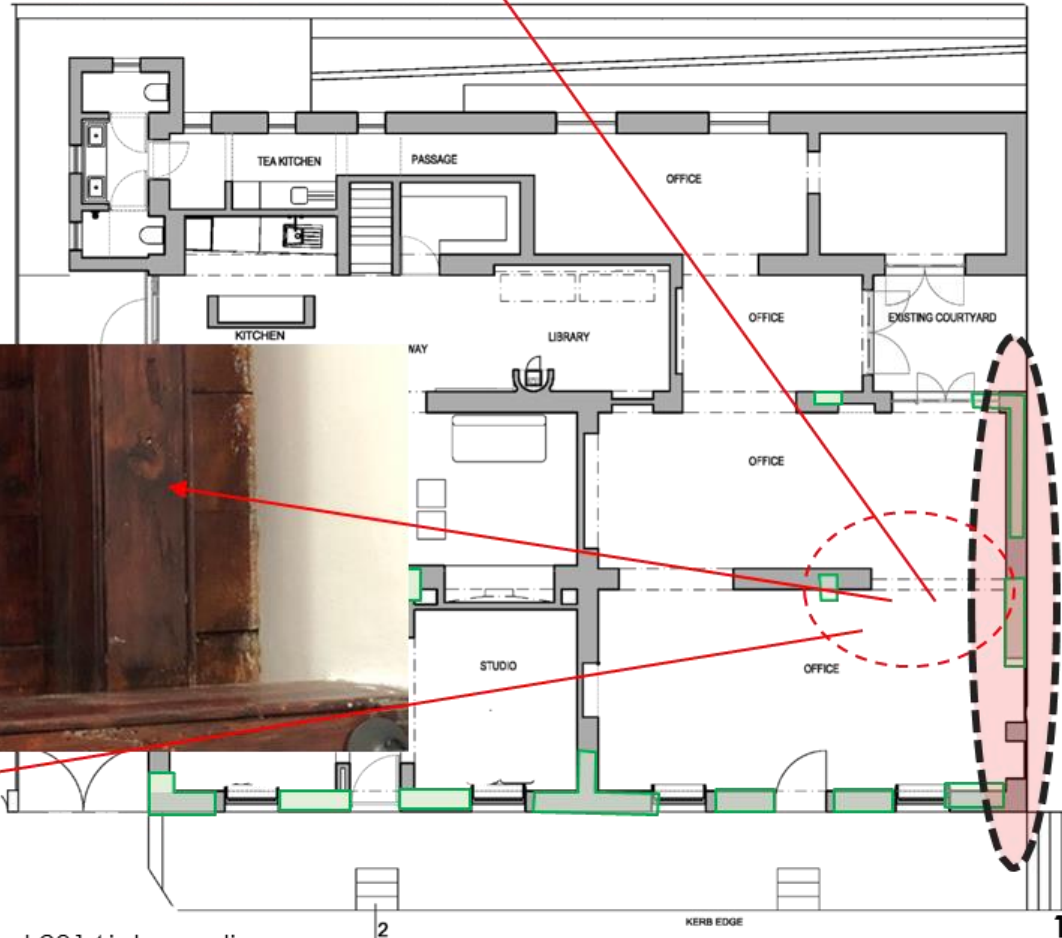
Figure 33: Analyzing 65 yrs. of alterations (1947 - 2014) to determine possible pre 1947 fabric (Continued...)

CEILING NOTES

1. These photos of the ceilings are taken in the area circled in the red dotted line. The ceiling runs through flush and the portion in the rear office is unstained, the portion in the front is stained, and the stain overlaps the board where the drywall must have run through.
2. There is no sign of a wall on the ceiling, so it must postdate the 1973 intervention. What is visible is a line from the thin drywall partition.
3. The dark stain is recent- in the office section it overlaps onto the first board of the yellow pine ceiling, suggesting that in fact none of the ceilings are old.
4. The current study space was broken through after 1959, there was a party wall of which there is no evidence on that ceiling, suggesting that it is newer than that. These ceiling boards match the rest of the front portion therefore suggesting the entire ceiling is at most 60 years old.

In conclusion:-

It is most likely that the ceilings date from 1973 when the building became an Advertising Agency, and the openings shown on the 2005/2008 plan were made (and there were possibly more changes were made at that time that weren't recorded. The 2005/2008 layout appears to be a record layout of unrecorded 1973 or post interventions). Marks on the ceiling from circa 1973 partition walls correspond consistently to the 2005/2008 layout.



KFA post 2014 intervention



1. This is unlikely to be pre 1947 fabric. The five storied building on the site next door was constructed in 2006/2008. Both erven were owned by Dixon Electronics at that time. The structure next door is a concrete column and beam structure with a suspended stair. It is unlikely that the pre 1947 fabric in this area would have remained intact or survived this type of construction intervention.

2018 Possible pre 1947 fabric

Figure 33: Analyzing 65 yrs. of alterations (1947 - 2014) to determine possible pre 1947 fabric (Continued...)

3h. Heritage significances

Structure specific Built form heritage significance:

Elements of significance have been retained and enhanced in the 2014-2018 alterations. The most significant of these being the return of the site to residential usage.

No changes have been made to the façade since the 1983 BoCT survey which noted extensive altered mid-19th-century 3 bay structure. Post 1983 alterations have been listed above and are considered to be no invasive and enhancing.

The building remains redolent and significant in its location, albeit dwarfed by the consequences of poor and insensitive decision making and actions in the early to mid-century.

Built form heritage significance in the context of Buitengracht, Orphan and Whitford Street is mapped on the following diagram and listed as per information noted from the CoCT EGIS survey notes.

Some very recently completed and current redevelopment applications in the Bo-Kaap area have attracted substantial attention of late and some of these are mapped here below for location reference purposes. It is not within the ambit of this report to discuss the merits or demerits of these applications, however the location of the sites are highlighted in respect to the site under discussion merely for interest and to orientate the reader.



3B : 242 Buitengracht – Arundal
Late C19th Victorian. Good arch example. Potential landmark quality, mature planting, good street interface



3B : 232 Buitengracht



3B : 230 Buitengracht – Lembyn 1880 HEM
Legible typologies despite loss of fabric, good street interface

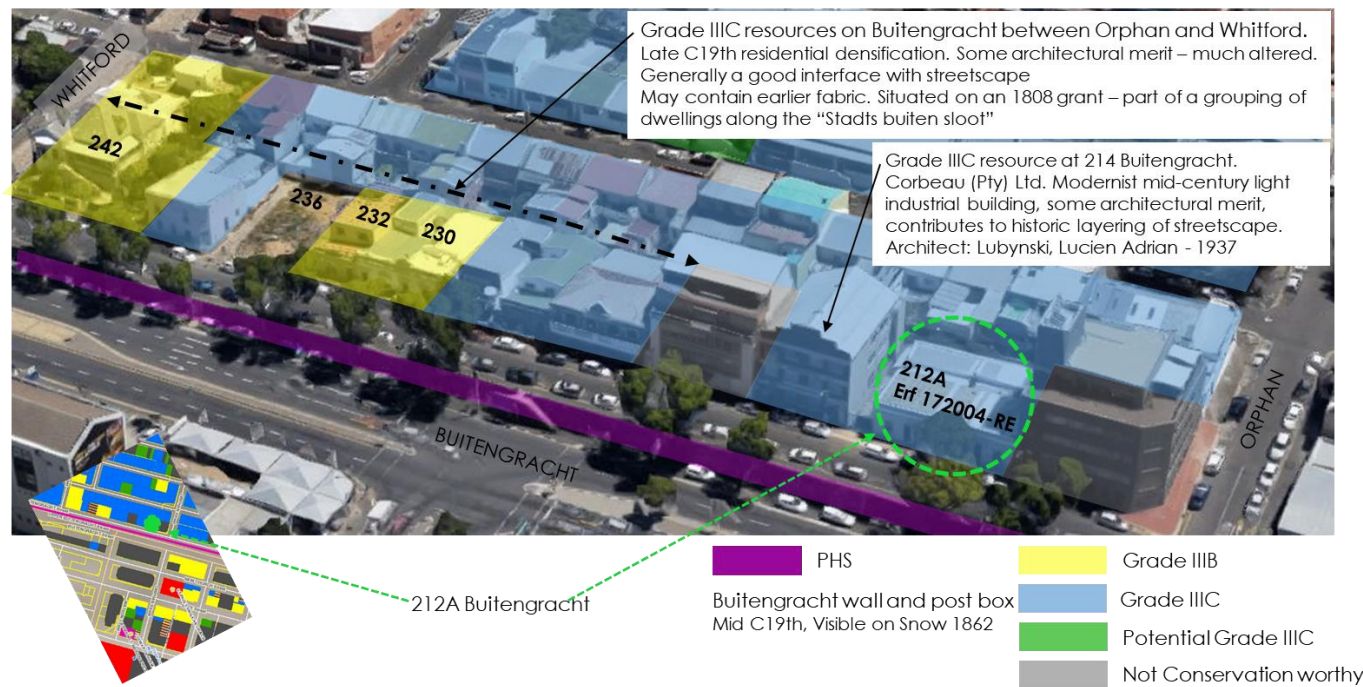


Figure 34: Built form heritage significance in the Buitengracht/ Orphan /Whitford locale
Source – URA+HP. Shows recorded built form heritage resources within the context of the site.



Figure 35: Existing newly developed built form in the context of the Bo-Kaap
Source – URA+HP.

A pictorial assessment of the Buitengracht, Orphan and Whitford Street locale and the urban context follows and has informed the following observations in respect of the heritage significance of the site. In addition, and some urban context reflections have led to the following synthesis and site analysis.

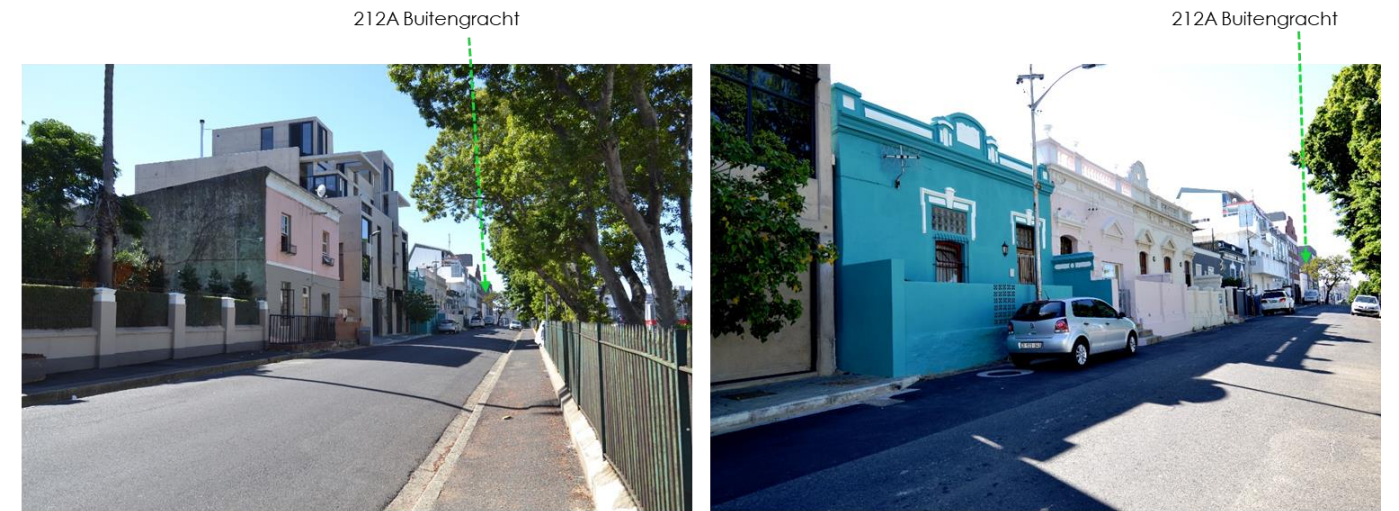


242 Buitengracht – Arundal
On the weekend – no cars

NE views on Buitengracht Street

BUITENGRACHT STREET – View 1

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)



238 Buitengracht and 236 Buitengracht – Team Architects.
On the weekend – no cars

NE views on Buitengracht Street

BUITENGRACHT STREET – View 2

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)

Figure 36: The Buitengracht, Orphan and Whitford Street locale
Source: URA+HP



236 Buitengracht – Team Architects, 232 Buitengracht, 230 Buitengracht Lembyn 1880 EHM.
During the week – with cars

SW views on Buitengracht Street

BITENGRACHT STREET – View 3

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)



218 Buitengracht.
On the weekend – no cars

NW and NE views on Buitengracht Street

BITENGRACHT STREET – View 4



214 Buitengracht.
On the weekend – no cars

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)

212A Buitengracht



During the week – with cars

NW and NE views on Buitengracht Street

BITENGRACHT STREET – View 5

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)

212A Buitengracht



On the weekend – no cars

212A Buitengracht



On the weekend – no cars

SW views on Buitengracht Street

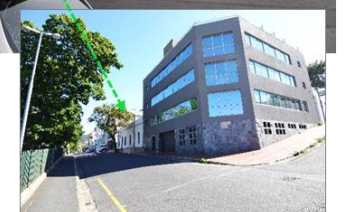
BITENGRACHT STREET – View 6

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)

212A Buitengracht



212 Buitengracht on the corner
During the week – with cars



212 Buitengracht on the corner
On the weekend – no cars



212 Buitengracht, looking NW up Orphan Street.
During the week – with cars



210 Buitengracht, looking NE.
During the week – with cars

NE and NW views on Buitengracht Street

BITENGRACHT STREET – View 7

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)

212A Buitengracht

212A Buitengracht



On the weekend – no cars



SW views on Buitengracht Street

BITENGRACHT STREET – View 8

Figure 36: The Buitengracht, Orphan and Whitford Street locale
(Continued...)

3i. Contextual synthesis and site analysis

The following diagram represents the process of contextual analysis which informed the development proposal. The process of design development has been an iterative process and further amendments may be implemented as outcomes from the assessment process which is presents recommendation in this report. Refer to Section 6 – Conclusion and recommendation.



Figure 37: Initial conceptual analysis with height indicators
Source – URA+HP and KFA

3j. Statement of significance as a Heritage Statement

Built form Statement of Significance:

Originally circa 1859, site recorded as undeveloped on 1834 transfer deed (Ref BoCT). Substantially altered and with usage changed from two semi-detached residential units to one workshop manufacturing facility to office space and then back to residential with studio work spaces more recently post 2014.

All windows and doors, floor surfaces and most ceilings have been replaced on more than one occasion. Roof covering and internal plaster have been replaced. External plastered parapet moulding has been substantially altered to a flat projecting band.

Some authentic wall structure fabric is visible where plaster has been removed internally on non-altered external façade walls (490 to 500mm thick). Bead moulded roof beams evident in the four front rooms are post 1973 repurposed fabric. Ceiling heights are 3,5m.

The openings shown on a 2005/2008 drawing were most likely made and deliberately not recorded post 1973 when the building was used by Advertising Agency for their office premises. The 2005/2008 layout is therefore deemed to be a record layout of unrecorded 1973 or post 1973 interventions during which time extensive demolitions occurred.

Post 2014 internal refurbishments by Kevin Fellingham Architects have reinstated residential usage coupled with studio work spaces. Detailing is sensitive and original spaces are re-defined and articulated. The building remains redolent and significant in its location in the locale albeit dwarfed by its neighbours, both built in the mid-century period of intended economic regeneration in the City's edge space.

The buildings location offers opportunity for further sensitive and imaginative residential redevelopment with the original stoep and a remaining tree activating the space on Buitengracht.

Context Statement of Significance:

Originally an area of small semi-detached and free standing residential units, the context presents today as an inner/outer edge space to the central city with a pattern of haphazard development – a variety of buildings from different periods, some very recent, are found side by side in the blocks around Orphan Street facing onto Buitengracht. Architectural and urban qualities are lacking in early/mid-century built form - building height alignments are not evident, no common height reference lines prevail, and most ground-floor street front interface has been severely compromised. Most built form is utilised as office and manufacturing space. Very little residential space exists to activate the urban space. There is some contribution to the urban environment by virtue of some residential properties yet the context contrasts quite starkly in comparison to the inner predominantly residential Bo-Kaap area. The variety of developed building heights on this edge close to the very bulky unarticulated Orphan Street corner building can only be enhanced and tempered with the introduction of a beautifully designed set-piece inserted into a gritty locale.

A development in this space must stand its own, set onto the site boundary line where it can compete and outshine its neighbour's unconsidered presently dominant bulk. The context cries out for a balance of power where the old can adaptively and ingeniously be re-used to claim new life bringing residential spaces in this context.

It could be argued that an opportunity exists for an architectural solution to this site that serves as an opportunity, a resource for inventively restoring some sense of place in the edge space along the Buitengracht overlooking the City.

If so, what Heritage and Urban design indicators and informants must be employed in order to achieve this?

In summing up, the heritage value of the context is both in its overall pattern of development and in the retention of some historical individual buildings significant. New development must both enhance the streetscape and provide residential accommodation near to the city, thereby bringing back life to the area in the forms of children playing in the street and not simply by adding cars during the week which result in desolate empty streets over the weekend. The space must be brought back to life.

It would be a lost opportunity if the existing building were not developed in such a way as to positively enhance the environment.

3k. Heritage design indicators and informants

The site under discussion is identified as having good potential to upgrade and enhance the precinct.

Conservation worthy elements in the context of the site are:-

Built form:

- Discussed and noted in text and associated visual studies in Section 3e (An analysis of Built Form Significance) and 3f (Heritage Significances).

Urban context:

- 212A Buitengracht and other original buildings in the context follow the tradition of 'building to line' in the central city and edge areas of Cape Town. This is typically desirable. The bulky corner building on the Orphan street corner follows similarly yet is subject to an unsightly and underutilised cut-off corner. (Underutilised because this could have been used to create a corner entrance to the building).
- Office and warehouse type early/mid C20th century structures bookend the existing single storey structure. One is ugly and bulky with fenestration proportions and orderings ill at ease with its surrounds. The other, the 1937 Corbeau Building to the SE is a three storied 4-bay concrete framed light industrial structure with red hard face brick infill. A pitched roof sits behind a stepped parapet.¹⁴
- The high Townscape and Streetscape qualities of the central Bo-Kaap areas where a predominantly residential usage is found are depleted in this environs.
- a range of building types, zero building lines and a predominant fine building grain, with emphasis on corner access and single or double storey buildings are found one block up from Buitengracht.

¹⁴ The Buildings of Cape Town: Phase Two 1983, Volume Three: Catalogue and Classification of the survey undertaken during 1982/3, Pg 408.

- the block between Orphan and Whitford is possibly the most varied in terms of building prototype and usage and the newest insertion of 236 Buitengracht sits and could be seen to act as a catalyst for further hybridised activity.
- reference is made here to philosophical concepts around new spaces in hybridised environments with some heritage significance:

New space must be seen and presented as being different to the existing. It must not mimic the old. New form should ideally and traditionally be set back from the old. However, in this instance, such a setback is arguably NOT required for two important reasons:

One: the merits of the heritage resource in this instance are not significant enough to warrant a set back as the façade detailing has been so substantially altered (windows and doors replaced, parapet moulding altered).

Two: the introduction of a setback in this instance would enable the complete antithesis of its traditional intention – that being to allow breathing space to the surrounding context to ‘show off’ the heritage resources in the context. In this instance a setback is NOT recommended for the reason that the space bookended between the existing higher buildings (one which has no heritage significance at all) must be maximised by the insertion of a beautifully designed building.

As such, design methods must be employed to mitigate new building bulk and volume and allow it to stand its own in the potentially overwhelming or overburdening current environment. New exceptional design should offset mediocre.

The philosophy of intent:

The new built form should be articulated to read as a repeated pattern of solid and void planes in filling the gap space created by the two flanking existing somewhat significant ((SW) building and the completely non-significant and bulky and unarticulated (NE) bookend buildings.

In addition, the new built form should add a complementary and elegantly detailed element as a new layer to the environment. It should not mimic the existing Building. It should complement the extant as a ‘set piece’.¹⁵

Reference is made here to the philosophy of Aldo Rossi to *progressive built form conservation* (architecture as a dynamic process of tradition wherein buildings are given new life by continually being re-adapted to suit new uses over time, in response to new requirements that society throws up) versus *pathological built form conservation* (antagonistic towards the idea that architecture is a part of a living tradition)¹⁶

The conceptual imagining of such an intervention would/could/should enhance the visual and public experience of this part of the Bo-Kaap HPOZ.

There are significant informing elements in the HPOZ and it is reasoned here that bulk, massing, scale and form considerations, as proposed herein and extrapolated via the preceding analysis of the locale, are appropriate in informing the Heritage Design Indicators (HDI's). The locale

¹⁵ Set piece meaning: A realistic piece of stage scenery constructed to stand by itself. An often brilliantly executed artistic or literary work characterized by a formal pattern.

comprises of stock of vastly varied scale, bulk, building type and building age as noted in the preceding assessment and statement of area significance.

The CoCT Urban Design Policy (2013) encourages new development to respect and enhance the heritage, character and unique identity of the city and its neighbourhoods. This extract defines the importance of character of space and place.

The qualities which come together to give a place a particular character or identity is what distinguishes one part of the city from another. This character or ‘sense of place’ is influenced by natural features, land use, landmarks, heritage and built form as well as layered, non-spatial qualities such as cultural practice and memory. Because character and identity are so important, these qualities need to be acknowledged, respected and enhanced through design and new development that is contemporarily appropriate and in harmony with the receiving environment. To achieve this it will be necessary to:

The UDP advocates respect for the heritage and cultural landscape of the city and states that new proposals must be integrated within their existing context by:

“...knitting developments into the historic grain and open space system of the area, retaining the key elements of the cultural landscape, and creatively adapting buildings of historic or architectural value, responding sensitively in terms of building height, massing and the placement of buildings on the site; continuing or introducing vertical and horizontal rhythms within the streetscape; and complementing the style and material palette of adjacent buildings in a contemporary manner, by using appropriate technologies and modern detailing.”

The conclusion is that new built form should present as an articulated volume of discreet mass and form which takes its cue from the environment, as opposed to a large mass atop the existing single storied building.

Furthermore, the proposed new built form should not mimic the existing, but should rather tread lightly as an exceptionally designed stand-alone object – a set piece.

Existing contextual deterrents in respect of the context:

- Some tracts of hostile built form/street edge spaces with garage doors openings to parking, service access doors and blind and flat facades with no pedestrian street level access and a lack of planting exist alongside some areas of very high historical significance and contextual advantage.
- Adjacent bulky building heights overshadow the existing built form unlike the contrasting scenario found at 236 Buitengracht. Here the higher building does not

¹⁶ South African Institute of Architects., *Architecture South Africa: Journal of the South African Institute of Architects*. Noero refers to Aldo Rossi, *The Architecture of the City* (Cambridge, MA: MIT Press, 1982).

- overshadow by virtue of its interactive façade and fragmented bulk, it almost enhances the adjacent heritage building.
- Some attempts to interact with the streetscape are made where upper level balconies and stoep areas face onto the street and provide 'eyes on the street' and this is to be encouraged.
 - Horizontal banding dominant in form and detail of new built form – specifically applicable to corner building on Orphans Street. This is to be avoided. Opening proportions to take their cue from the traditional proportioning system and existing tartan grids.
 - Lost linkage opportunities between several conservation worthy elements in the vicinity:-
specifically by the loss of foot traffic on the Buitengracht at the wall and up and down the steps as a linking element between the City and Bo-Kaap residential areas and particularly with the opening up of views down onto the city from upper levels – particularly an enhanced SE view directly to St Pauls Anglican Church, St Martin's Lutheran Church and possibly further afar to the Company Gardens and surrounds with added height.
 - Potentially pedestrian hostile deserted environment outside of working hours.

Contextual synthesis in respect of a new development intervention can be obtained by employing the Built form, townscape/streetscape indicators illustrated and listed here below.

Built form indicators:

In order to respond positively to the existing and surrounding significant built form, the development is required to realise the following:-

- An opportunity for the adaptive re-use of the existing structure as a successful contemporary insertion into a somewhat historically compromised environment which will enable an enhancing of the environment.
- An appropriate response is required to display a high degree of architectural refinement with high levels of detailing in order to distinguish itself from the somewhat bland early and mid-20th Century insertions on either side of this site.
- The architectural expression of new built form must be designed as a well-integrated, holistic solution which is site and context specific and which responds to the verbalised indicators and enhances the context.
- Enhance the townscape qualities in terms of a mix of uses on one site.
- Enhance the townscape with the insertion of tempered bulk and form which fills an unfortunate urban gap and currently diminishes the significance of the existing heritage built form.
- Maintain the tradition of 'building to line' as seen in the city and its edge spaces.
- Add additional residential accommodation above and NOT set back from the street to maximise impact on the streetscape and minimise the negative effects of the neighbour structure on the Orphan Street corner.
- The NO SETBACK approach is recommended for reasons for the following reasons:
Traditionally built form in the City areas were 'built to line' (i.e. built to cadastral line). The stoep provided a social interactive edge domain and a rear courtyard space provided private open space. If one sets-back new built form in this instance, 'courtyard' opportunities are lost and consequent lost floor area would most likely be sought by increasing overall height.

Neither the loss of 'courtyard' space or increased height are desirable in this instance as they would impact negatively and hence the recommendation for new built form to NOT be set-back.

Furthermore, a setback is ordinarily recommended to enhance the existing and adjacent heritage stock – to provide breathing space to important buildings. In this instance one wants to reclaim space and project to line to recover and salvage a sense of place which has been diminished by the dominant existing Orphan Street corner building.

- Apply a horizontal 'gasket detail' between old and new built form.
- Introduce components within the overall height by acknowledging the three relationships that a higher building has to offer to its surroundings:-
a) response to people on the street and in the public realm - podium/base,
b) response to other buildings in the area - middle / shaft
c) response to the sky line - top element.
- New architectural language should reflect the dominant grid of openings versus solid, yet not as a pastiche. The new work must be contemporary in design and new elements should not be falsified but should be sympathetic to the older elements and to specific distinguishing features/ rhythms of opening and so forth.
- Distinguishing original features to be retained – the stoep element, the tree, the openings facing onto Buitengracht and the altered plastered cornice (as acknowledgement to the concept of historical layering).
- Continue to maintain existing façade ordering devices and rhythm of openings (a distinguishing original feature) on new built form as an organisational mechanism for façade reticulation and the positioning of new openings.
- Proportion doors and window openings according to the proportions used in the existing building – i.e. tall narrow opening proportions (not rectangular horizontal).

Response to townscape/streetscape:

In order to respond positively to the local townscape/streetscape, the development is required to realise the following:-

- Enhance the pedestrian environment with the introduction of mixed use facilities (residential accommodation with full time occupants and studio work spaces for small locally based businesses).
- Restrict vehicular access to a minimum as per existing with max 2 parking bays and one point of ingress/egress.
- Open up balconies on upper level to provide 'eyes on the street' and encourage outdoor living.
- Mitigate the sidewalk space with planting and other means to create a suitable engaging urban edge and border zone elements in detail design.
- Select materials and colours according to the traditional materials and colours in the area.
- Avoid glazed balustrades to upper level balconies.
- Use overhangs as shading devices such as light filtering pergolas and shutters for sun control and security.

4. THE DEVELOPMENT PROPOSAL

4a. Architectural presentation drawings of the proposed development

The following series of three dimensional drawings illustrate the culmination of a design development process which has involved



Figure 38: Buitengracht Streetscape EXISTING versus ENVISIONED and ENHANCED
Source – KFA



Figure 39: 3D Images of the Development proposal
Source – KFA

A full set of architectural drawings as part of this application is submitted in Annexure E



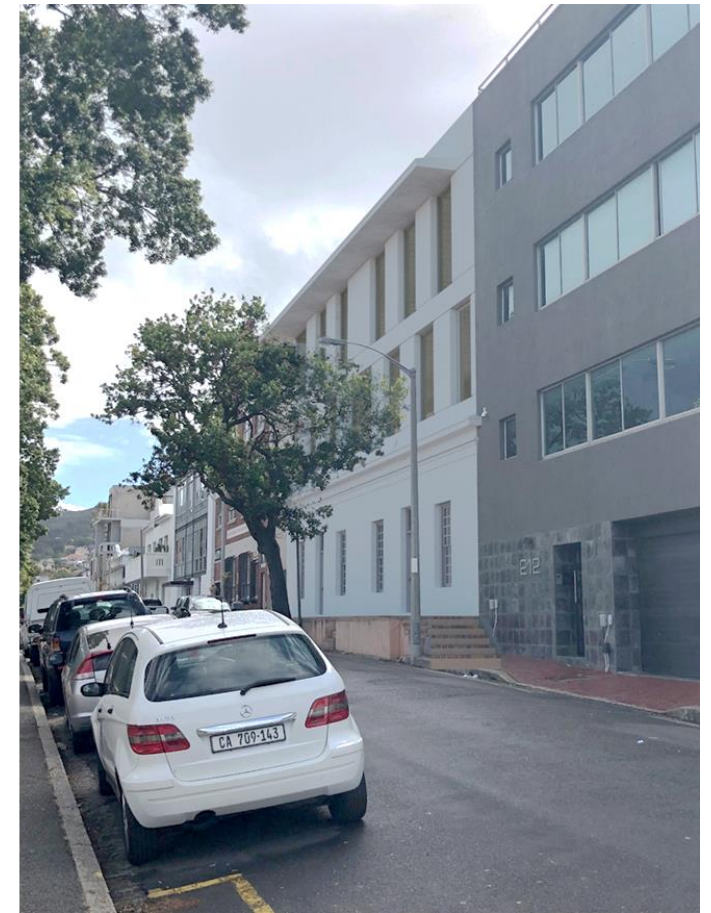
View from Buitengracht corner Orphan

Figure 39: 3D Images of the Development proposal (Continued...)



Views from no. 218 and no. 212 on Buitengracht

Figure 39: 3D Images of the Development proposal (Continued...)



Views from Orphan Street and Jordaan Street

Figure 39: 3D Images of the Development proposal (Continued...)





Aerial View looking NE

Figure 39: 3D Images of the Development proposal
(Continued...)



View from Military Road

Figure 39: 3D Images of the Development proposal
(Continued...)

4b. Architectural Design Development and KFA Strategy Statement

Refer to Figure 37 where diagrams illustrate the process of heritage significance and contextual analysis which have informed the development proposal which is illustrated in rendered 3D images clearly portraying its impact in the context of Buitengracht Street.

Thereafter, refer to the following Architectural Statement by Kevin Fellingham Architects which highlights important strategies and considerations which have defined the development process. These are drawn upon in the assessment and recommendations which follow hereon in Sections 5 and 6.

Note too that further refinements may be addressed following the outcomes of the upcoming participation and interrogation processes by interested and affected parties.

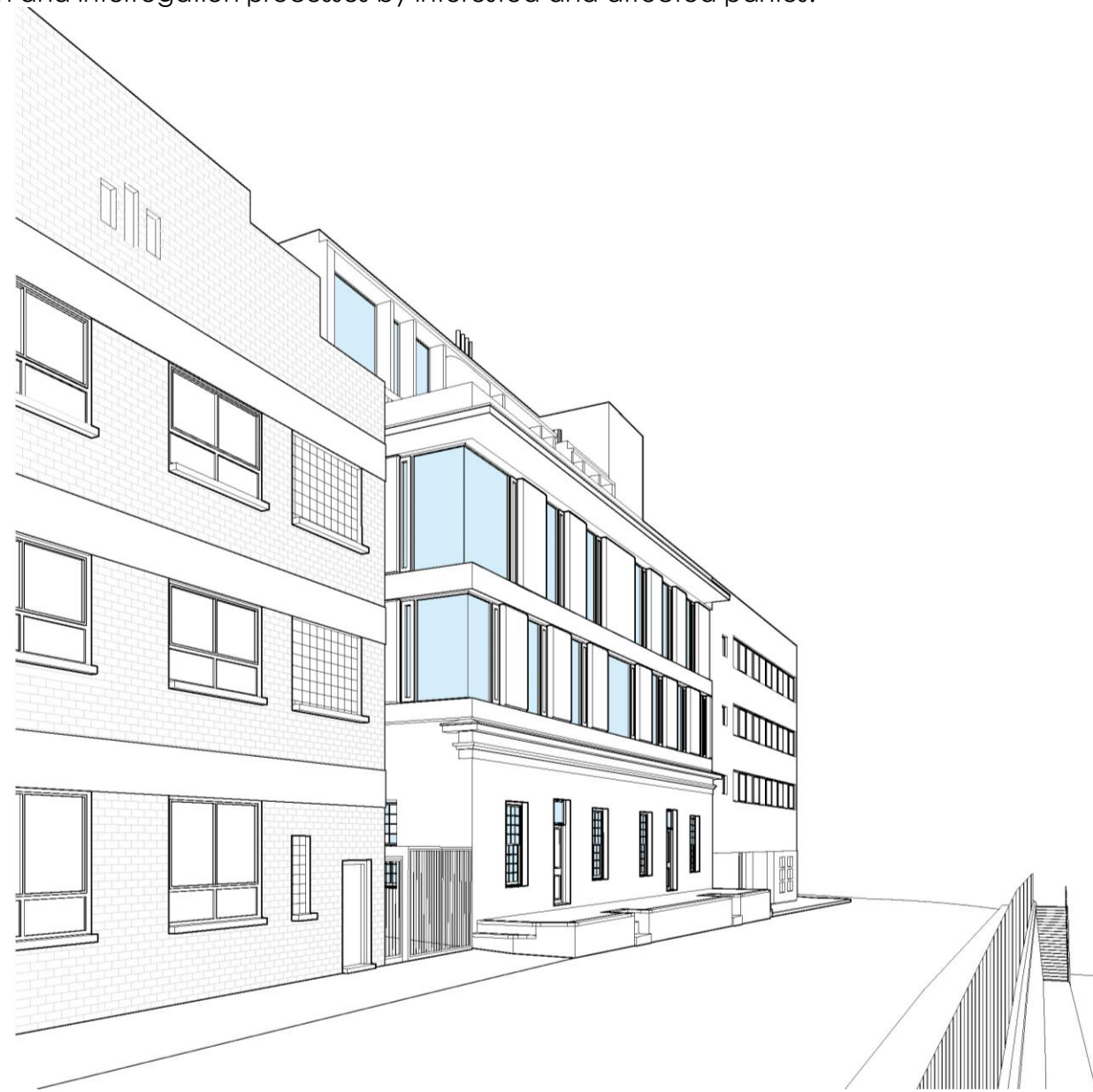


Figure 40: Development Proposal Perspective
View looking NE on Buitengracht

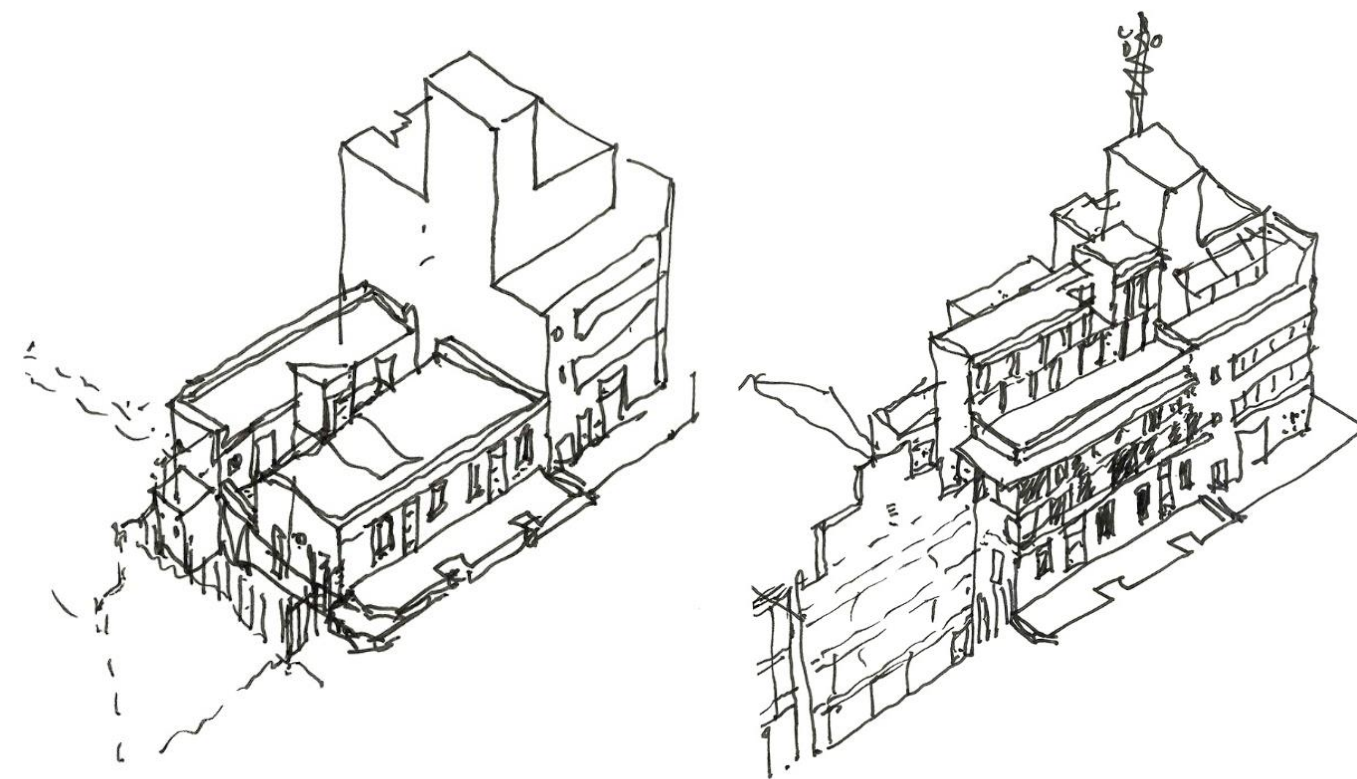
**212A Buitengracht Street
Architectural Strategy Statement**

Kevin Fellingham Architects

The architectural strategy begun before the design of the building was considered. The options existed to substantially demolish the rear portions of the building in order to provide on-site parking in a standalone building, or to sell on to developers who were eager to consolidate three erven in order to maximise the zoning envelope, and make a single large building retaining the facades of 212A and 214. This would have had a detrimental impact on the block, leaving no ground floor use other than parking all the way from the corner with Orphan Street up to and including 218. Thus, we made the difficult decision not to sell, but to develop the property ourselves in accordance with sound urban design principles, rather than the lower risk strategy of selling out.

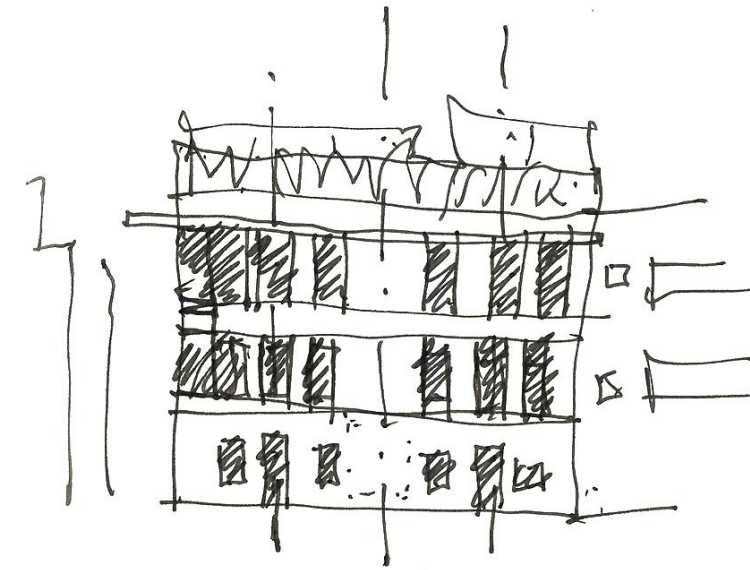
With this in mind the decision was taken to renovate the existing property with an eye to its retention and to devise a scheme which resolved the disparity in scale between the neighbouring buildings, in particular the prominent flank wall of 212, with its exposed lift shaft, ac units and minimal fenestration forming the dominant image of the northern end of the block when viewed both from the service road and from Buitengracht street itself.

The decision was taken to retain the existing footprint of the building, and its division into a street facing, formal block, and a secondary rear block linked together centrally by a service element—originally the kitchens and divided towards the perimeter by small courtyards. The existing building doesn't follow the pattern of narrow fronted huurhuisies, usually repeated, occasionally handed, forming a terrace. It is instead a semi-detached pair of double fronted houses, originally, and until relatively recently standing free on the sides, giving particular emphasis to the corners, and a negative emphasis to the centre of the facade, a double width blank panel. The subsequent construction of a larger building to the north leaves only the southern corner exposed due to the driveway space retained between the building and 214.

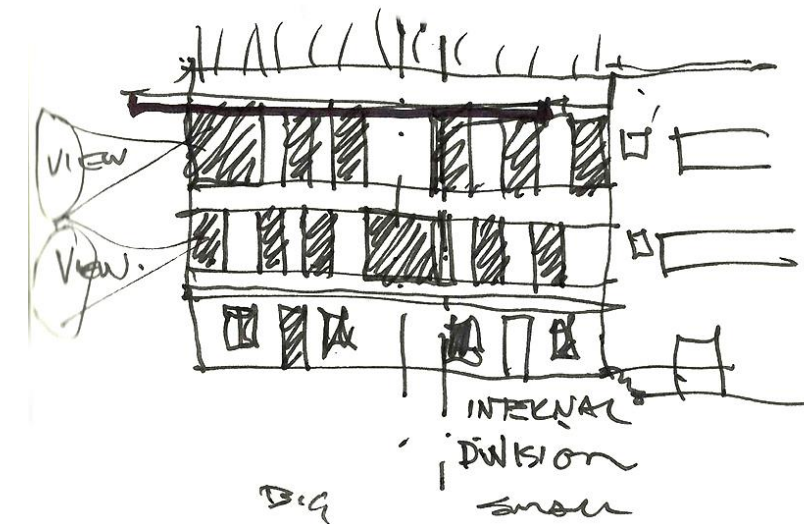


The existing building in context

The existing building with proposed addition in context



Equally semi-detached facade



Internal division weighted to emphasise corner and views

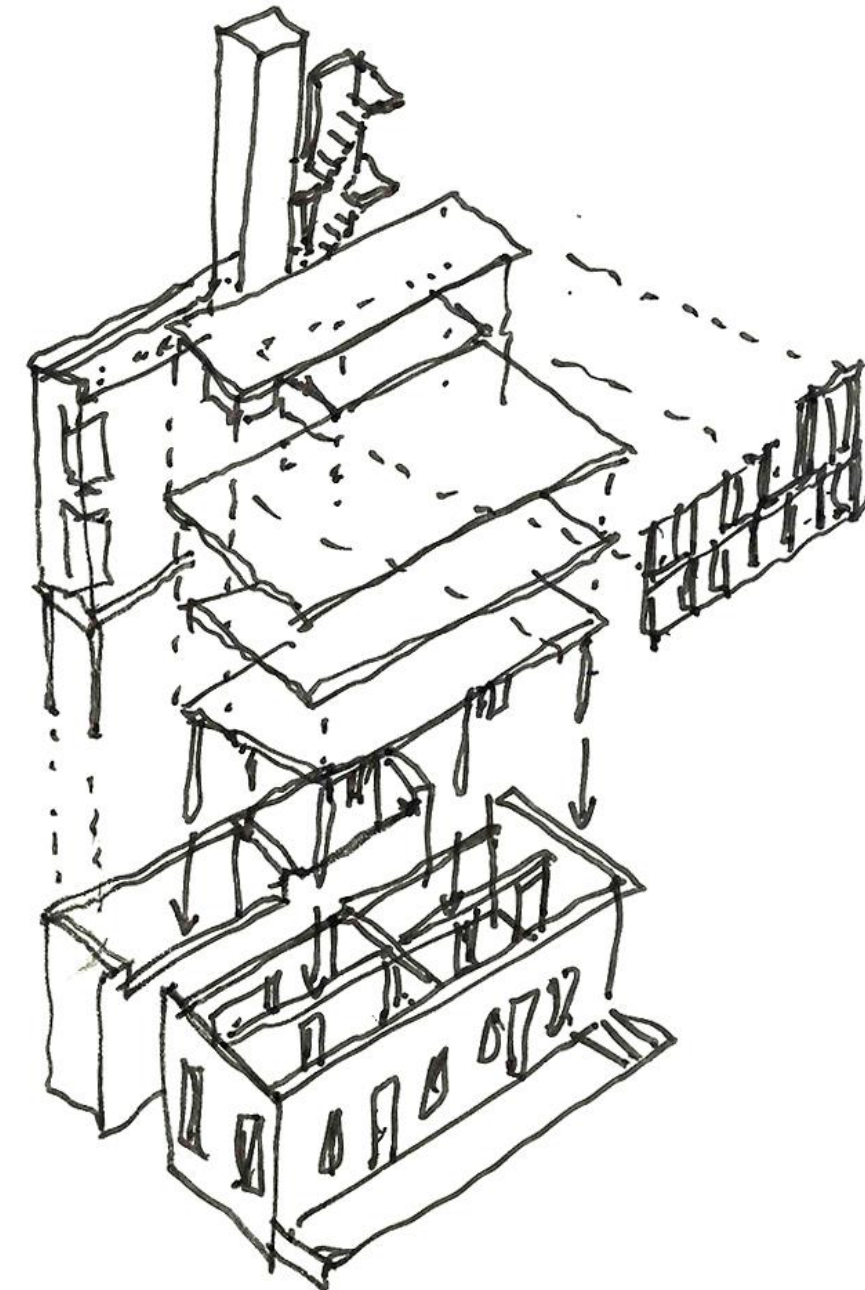
The options of setting back the new facade from the street line were explored. It would enable a terrace to run along the first floor frontage, but would leave exposed the tall blank flank of 212. In addition, it would require that the upper floors, rather than following the lines of structure below, and producing a flat front in the manner of so many older buildings extended vertically during the 19th and early 20th century, in a semi zigurat which would not hold the street edge in a traditional manner. Given that Buitengracht street and its service road are 29 metres wide at this point, and due to the presence of a petrol station on the other side, the building face to building face distance is 74 metres, the correct response seemed to be to align with the northern neighbours facade plane and parapet, whilst turning the corner to the south to provide a corner emphasis, particularly from the intersection of Buitengracht and Buitensingel Streets, the point of greatest visibility within the block scale context.



Corner emphasis

The design of the facade seeks to reconcile the simple internal program of two flats per floor with the symmetry and duality of the existing building and the asymmetrical diagonal emphasis. Internally, the southernmost flat on each floor will benefit from a corner window /Juliet balcony looking towards the mountain, and thus the decision was made to wrap the southernmost windows on both new street facing levels around the corner. The decision was also made to reverse the proportions of glazing to solid wall at the upper levels in order to visually lighten the facade as it ascended, to bring more light into what is of necessity a southeast facing building, and to allow generous views out over the city and Devils Peak. The decision to offset the windows emerged during the proportional studies for the facade. Placing a large window at the centre of the first level states the symmetry of the facade, and expresses that the internal layout is potential a single large apartment or two differently sized apartment, the larger located to the south where the better view and light will make it more valuable. The offset also conforms to the structural reality of the building, which is that a concrete table standing on columns located behind the existing walls makes a clean structural break between the floors, the wall becoming a screen rather than a structural element.

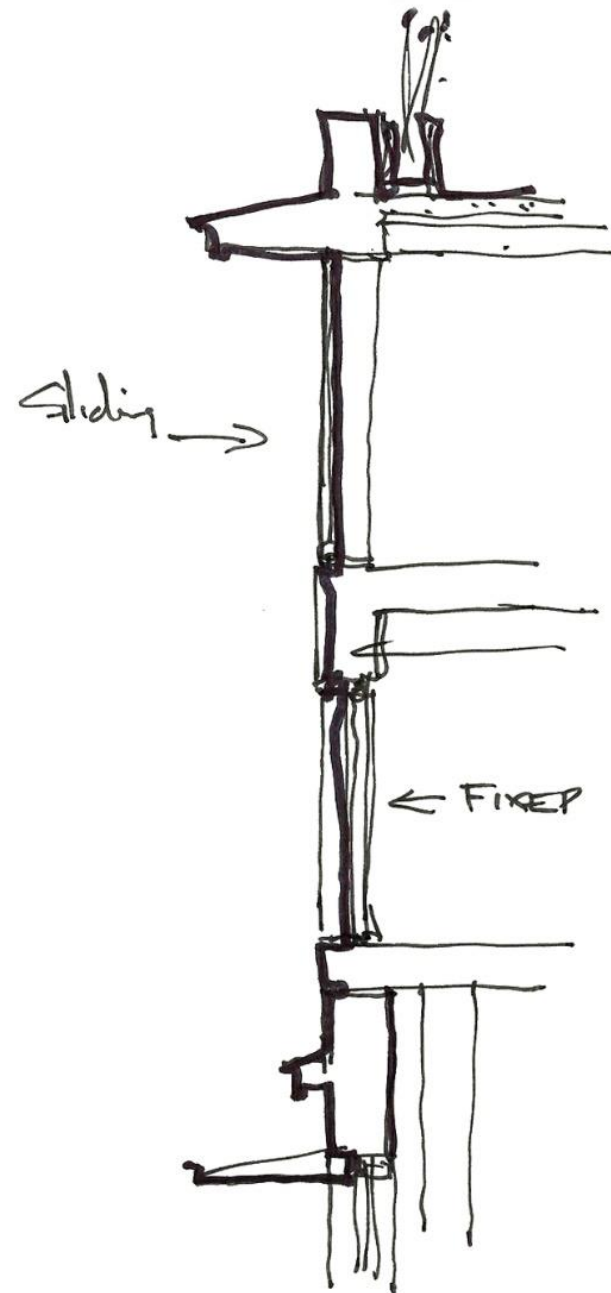
This separation could have been expressed in a number of ways, as a lightweight panelled facade, as horizontal slot windows, as a glass box, but we were interested in a subtler relationship between old and new. We have tried to design a facade which at first glance is a generic urban building of the sort which might have been built here under different economic conditions, as occurred for example at the further north along Buitengracht. When looked at closer it should be evident that the building was designed in the second decade of the 21st century, using contemporary techniques. On closer examination, we thought that the facade could pose a few questions as to what is going on behind it, structurally and spatially and even environmentally and that it should talk about the decisions which need to be made when making a facade. The design of the upper cornice for example both scales down the facade from close by, because it projects below the parapet line. This detail occurs all over Cape Town, particularly where brakdakke have received a corrugated roof, and in art-deco buildings where the structural slab projects as solar shading. This slab serves that purpose, but is pulled back from one.



Structural logic

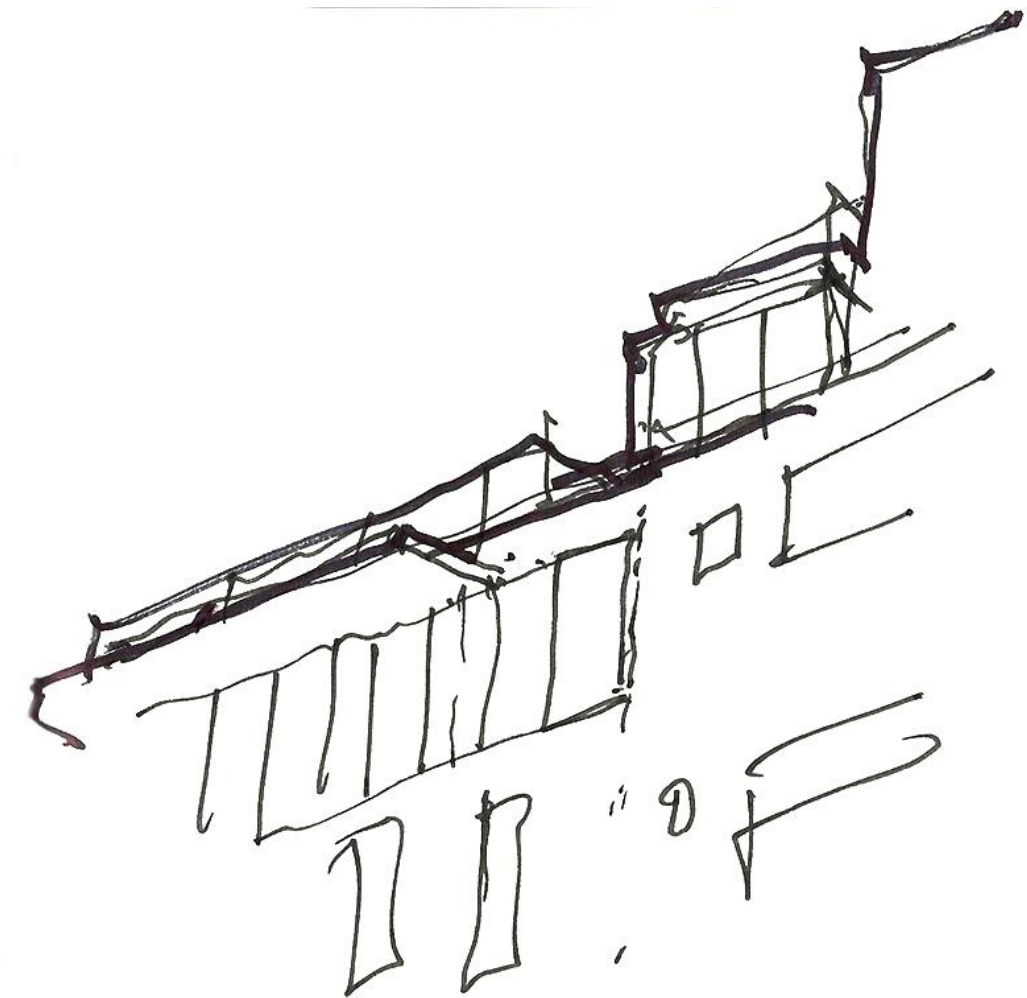
In detail the facade is articulated by a subtle variation in depth in order to allow for externally sliding windows, with internal balustrades to the Juliette balconies. The narrowing of the wall elements between the windows suggests that by the upper level, where the windows are the full height of the interior, the wall architecture at the base has become a columnar architecture. To reinforce this reading, the top and bottom of each panel is slightly recessed to suggest base and capital, and to reinforce the reading of the ring beams as the major structural elements.

We have explored replacing the lower projecting with a more articulated moulding, which would still play a secondary role in relation to the large cornice at the second floor level, removing it entirely, or simply giving it a conge moulding and a drip, which would restate the profile of the new cornice at a smaller scale. The latter would seem the most satisfactory in terms of the new composite facade reading as base (existing), middle (new flats) and crown (cornice and parapet).



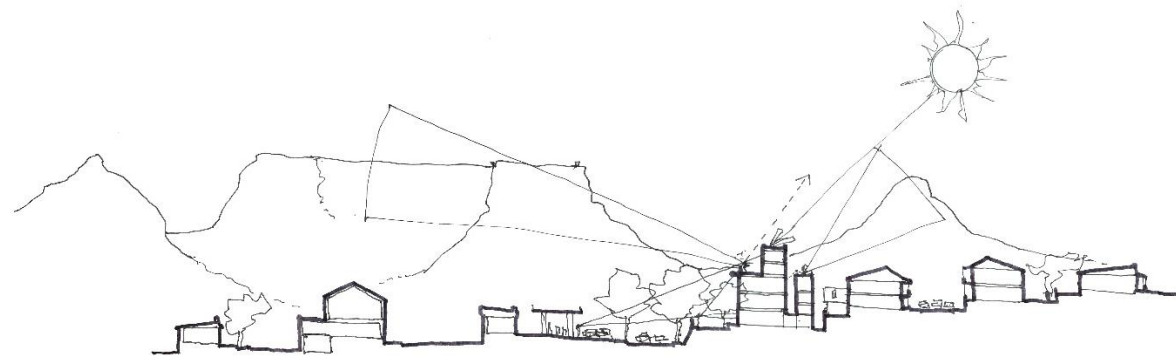
Facade detail section

Above this level the building steps back to align with the penthouse level of its neighbour. The facade changes in materiality and in articulation to a more sculpturally modelled system, still referring to a classical post and beam articulation, but closer in feeling to the brise-soleil facades of so many mid-century buildings in the city. The accommodation here consists of a tall living space at the southern end, with a mezzanine level opening on to it. The floor to ceiling dimension is kept to the legal minimum of 2.4 m with the closely spaced timber beams dropping below this. This results in a miniature scale colonnaded facade facing out to the city. At its upper edge this is cut away to allow for a terrace to the min bedroom, and to break the skyline. The portion directly adjacent to the neighbours lift core has been raised slightly to make an element of similar width to the tower, but lower and articulated as a symmetrical pavilion. The enclosure line of the facade is set back from the neighbours' wall plane, but the beams are set slightly forward, and the columns slightly more so in order to break the sheer line of the lift core when viewed in profile from a distance. We believe that these articulations help to integrate the rather aggressive massing of the neighbour into the wider streetscape.

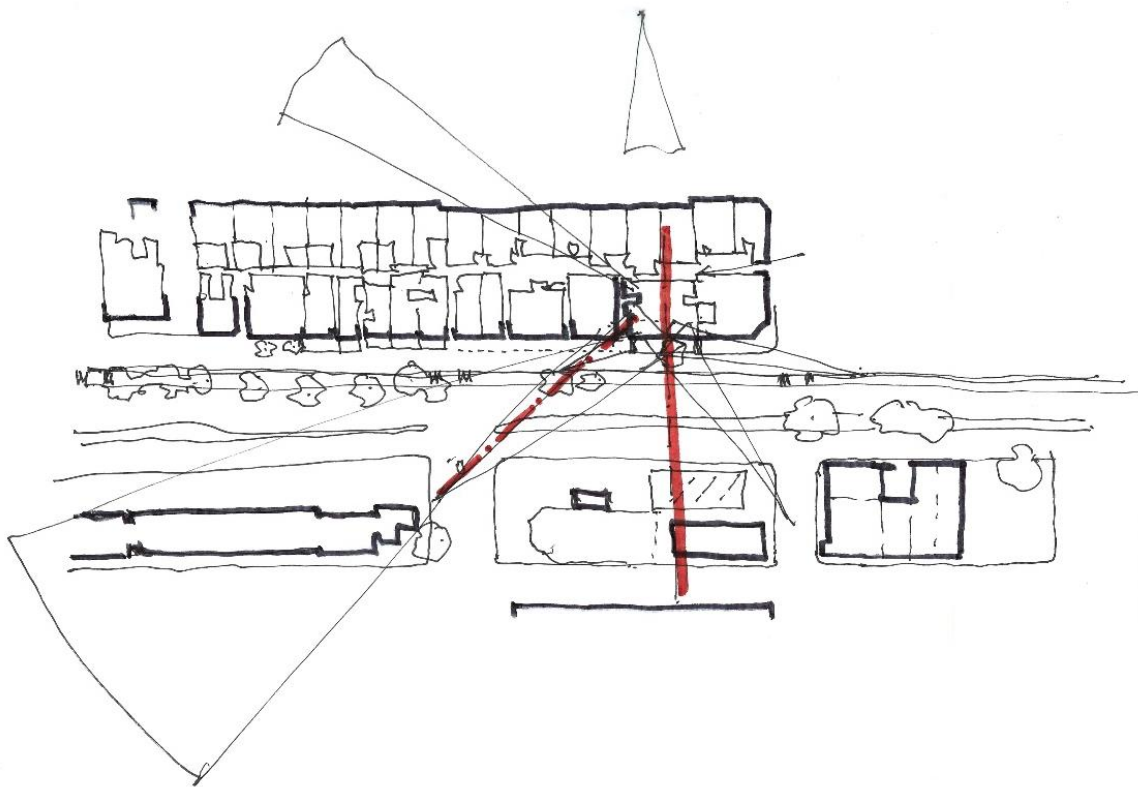


Skyline broken by terrace cutaway

In order to avoid a projecting lift core, the lift stops at the lower level of the penthouse, access to the mezzanine bedrooms being gained by a stair to the apartment. The lower level of this unit is given over to living, dining and study uses, opening on to a generous terrace. The edge of the terrace will be designed as a planter box set against the parapet, holding a variety of water-wise succulents which will hang over the edge, and restios which will blow in the wind making an animated skyline from the street below, and masking the lower parts of the view from the terrace, making a closer connection across the city bowl to the mountain slopes.



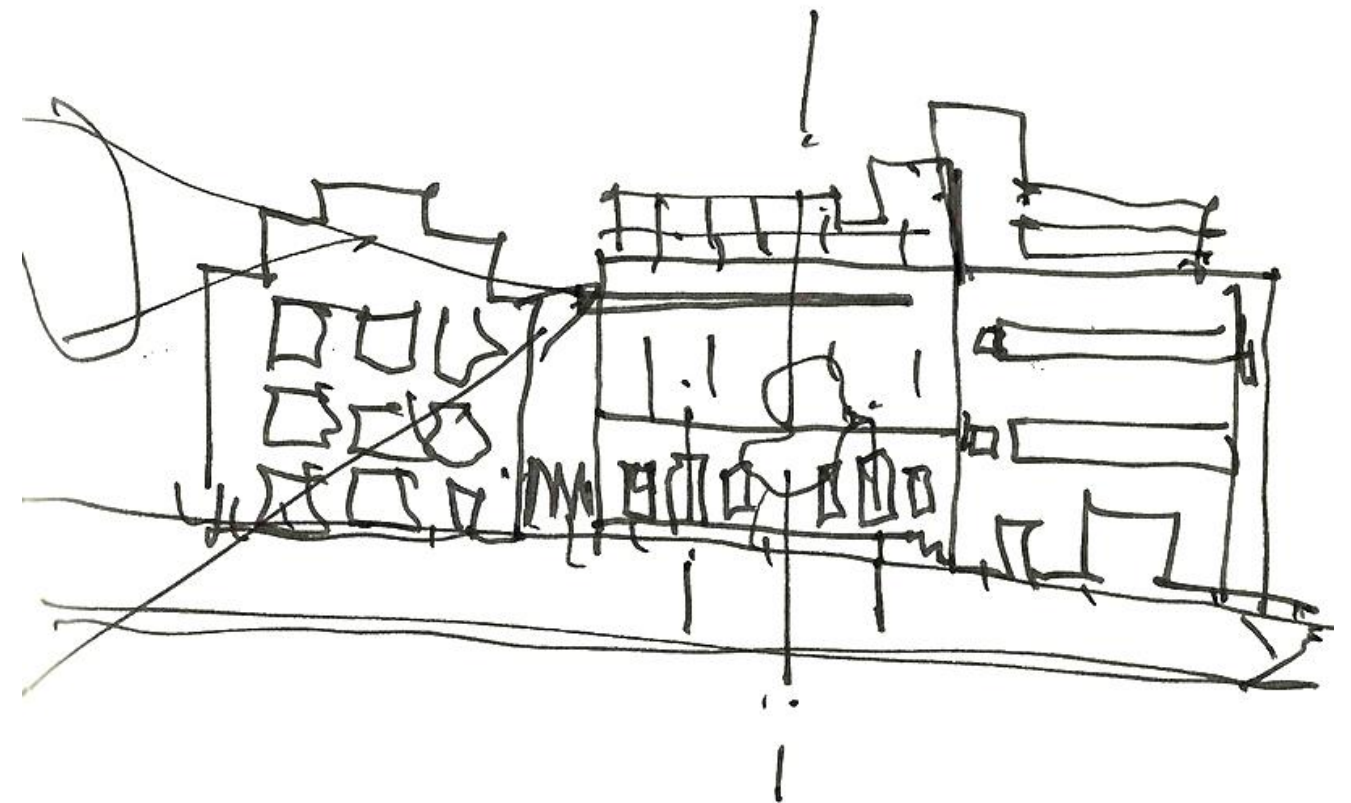
Section through Signal Hill slope



The rear portion of the building will be articulated more informally, with windows placed straightforwardly as required by the more fixed plan of bedrooms and bathrooms. It is intended to clad this element in corrugated metal sheeting, as it will be a lightweight timber construction, and the existing rear alley facades of many of the houses in the neighbourhood have a similar materiality.

The existing stoep at the front of the house will be retained, continuing its role as an extension of both the pavement and the house. However, a small portion on the south end will be demolished and a wheelchair ramp installed against the building for universal access. This ramp will be concealed from the street and will be built to match the existing materiality of the stoep.

The overall architectural strategy can be seen to be a dialogue with the context, picking up characteristics of the immediate and wider contexts and arranging them in a careful and contemporary way which does not draw attention to itself, but on reflection, or inspection reveals care for its own making, for its context, and for its future inhabitants. It will not be invisible, but will make every effort to be discrete, it won't maximise its bulk, fill out the empty portions of the site to the boundary, and will remain eight metres, or three floors below the height permitted by the existing zoning. It will bring new residents to a part of the street which has for over fifty years been in commercial usage and will improve the overall streetscape, integrating the existing neighbour into a continuous and varied street wall, articulated by alleyways and lanes. It will be developed by the resident owner and his family as a long-term investment in its place rather than a speculative venture by commercial developer for an absentee landlord. As such we envisage it to be a positive contribution to the local neighbourhood and the city.



A continuous and varied street wall

4c. Architectural presentation illustrating the MU2 zoning envelope

The following important presentations have been prepared for the CoCT Land Use Departure application which is part of the overall development application package. These images illustrate the Mixed Use 2 zoning parameters overlaid onto the development presentation perspective drawings, Section A-A and the SE Elevation.

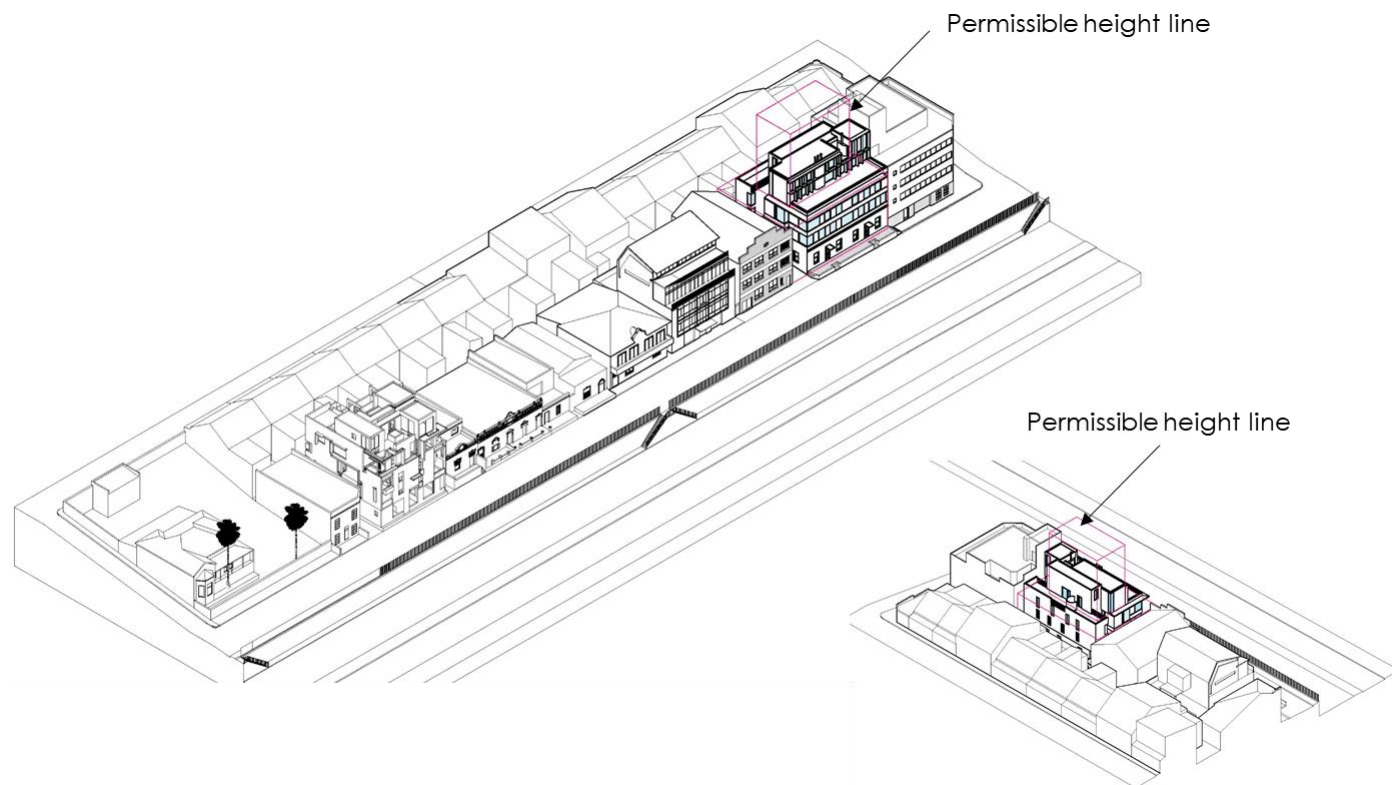


Figure 41: Isometric contextual illustrations
 MU2 zoning envelope shown in Magenta dotted line
 Source: KFA

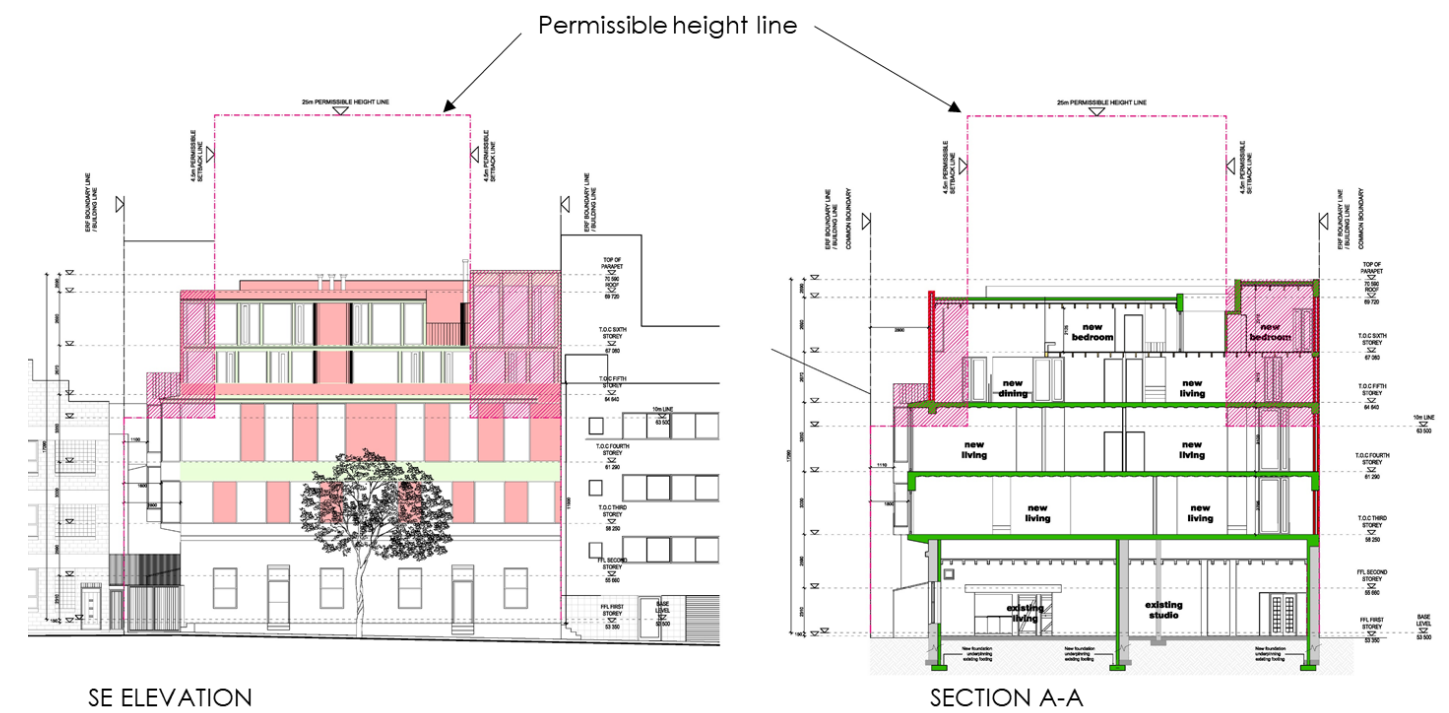


Figure 42: Buitengracht Elevation and Section
 MU2 zoning envelope shown in Magenta dotted line
 Source: KFA

4d. Engineering input: Construction Method Statement with Drawings

Refer to the following Engineers Report (Henry Fagan Consulting Engineers) which describes the proposed construction method to be employed for the development.

DATE 29.04.2019
OUR REFERENCE 19010



HENRY FAGAN & PARTNERS

Consulting structural and civil engineers
154 Bree Street Cape Town 8001
Telephone +27 (0)21 - 423 0 873
Web www.fagan.co.za

Messrs Kevin Fellingham Architects
212B Buitengracht Street
CAPE TOWN
80001

Attention Mr Kevin Fellingham

Dear Kevin

**PROPOSED ALTERATIONS & ADDITIONS 212A BUITENGRACHT STREET:
STRUCTURAL IMPLICATIONS**

As requested we have looked at the implications of adding the proposed additions to the above existing building in a manner that will have the least effect on the current appearance of the building and its heritage fabric. Herewith our proposed strategy for the project:

The existing building dated from the middle of the 19th century and is constructed in the traditional Cape vernacular manner of the time, with the foundations being of packed stone, the walls of rubble masonry with mud mortar up to window head level and mud brick above that. Old timber beams span to a central cross wall that supports a variety of old and new ceiling boards. Above this a galvanised steel IBR profile roof on purlins is supported by the timber beams.

The weight of the proposed addition cannot be supported by the existing foundations and walls without a risk of overloading these. We thus propose that an in situ slab concrete slab is built at first floor level, to support the new added loads above. This slab can be supported on new columns and foundations that are mostly set in from the corners of the rooms. This allows any disturbance of the existing fabric to be minimized, thus retaining its structural and formal integrity. We can then also design the new foundations so that they do not clash with the existing footings.

This concept of using separate columns off-set from the existing walls was successfully implemented at the Spanish Embassy project in Cape Town, for which we were the structural engineers.

We propose that the columns be cast using cardboard sleeves as shuttering, which would allow the existing ceilings and beams to be left in place where the columns extend past them. A service void can be left between the new slab and the existing ceiling. The shuttering might have to be left in place towards the front wall where access is difficult and it can be supported on the existing wooden beams. These would have to be propped from below until the concrete has reached sufficient strength.

To provide lateral support to the new structure, the proposed lift core will need to be built of reinforced concrete. It can be cast integrally with the concrete scissors stair shown in the centre of the plan layout. The stair can be cantilevered off of a central shear wall, with all these reinforced concrete elements providing stability against lateral loads (wind and seismic). A new footing which will be also be required in the former courtyard space.

PARTNERS HENRY ALLAN FAGAN PR.ENG HONS B.ENG M.ENG FSAICE MSAACE MSAISC AISTRUCTE
FRANCOIS JACQUES RETTIEF PR.ENG B.SC.ENG M.SC.ENG MSAICE
ASSOCIATES MARGARET ROBIN COLLINS B.SC.ENG BAS M.SC B.SC HONS B.SC
ANDREW JULIAN PARKMAN PR.ENG B.SC.ENG
ASSOCIATE CONSULTANTS SAMUEL JOHANNES ALBERTUS LAUBSCHER PR.ENG B.SC.ENG M.ENG MBA MSAICE IMESA WISA CIVIL AND MUNICIPAL ENGINEERING
JONATHAN LEVY PR.ING M.SC.ING B.SC.ING MSAICE MSAII HYDRAULICS, HYDROLOGY
MICHAEL VAN WIERINGEN PR.ING SCI.NAT M.SC.ING B.SC.ING B.SC.ING MSAICE MSAIBO GEOTECHNICAL ENGINEERING

For the rear portion of the building we propose using a different structural approach since the added dry construction loads would be much less. Due to the constrained plan and small rooms, we suggest that steel posts are located against the walls. The foundations will thus be eccentrically positioned below the columns. To deal with the eccentric loads we suggest that these footings are linked by diagonal strapping beams. A steel structure can be built onto the columns to support the upper two floors and walls, which will all be in lightweight construction, clad with a galvanised steel skin.

We understand that various construction solutions are currently being explored by the Architects for the upper levels, namely cross laminated timber construction (CLTC) throughout, a hybrid of CLTC and brick and concrete construction, and regular brick and concrete construction, with the external finish being painted plaster. We will design and detail the concrete structure at first floor level to be adequate to support the weight of the chosen solution for the new work added above.

We trust that the proposed structural configuration will allow the additions to be done in such a manner that the character of the existing building is least affected, whilst providing an economical and structurally sound solution.

Please contact us if we can be of further assistance regarding the above.

Kind regards

Henry Fagan & Partners

5. AN ASSESSMENT OF IMPACTS AND EFFECTS ON THE HERITAGE RESOURCE/S

5a. Assessment of proposal in terms of the Heritage and Urban Design Indicators

The following assessment of the proposed scheme is tested against the Heritage and Urban Design Indicators and informants presented in Section 3k.

Built form indicators:

In order to respond positively to the existing and surrounding significant built form, the development is required to realise the following:-

Built form indicator	Assessment comment
An opportunity for the adaptive re-use of the existing structure as a successful contemporary insertion into a somewhat historically compromised environment which will enable an enhancing of the environment.	Achieved.
An appropriate response is required to display a high degree of architectural refinement with high levels of detailing in order to distinguish itself from the somewhat bland early and mid-20 th Century insertions on either side of this site.	Achieved.
The architectural expression of new built form must be designed as a well-integrated, holistic solution which is site and context specific and which responds to the verbalised indicators and enhances the context.	Achieved.
Enhance the townscape qualities in terms of a mix of uses on one site.	Achieved.
Enhance the townscape with the insertion of tempered bulk and form which fills an unfortunate urban gap and currently diminishes the significance of the existing heritage built form.	Achieved.
Maintain the tradition of 'building to line' as seen in the city and its edge spaces.	Achieved.

Built form indicator	Comment
Add additional residential accommodation above and NOT set back from the street to maximise impact on the streetscape and minimise the negative effects of the neighbour structure on the Orphan Street corner.	Achieved.
Apply a horizontal 'gasket detail' between old and new built form.	Explore further in detailing.
Follow height cues from adjacent buildings.	Achieved.
Introduce components within the overall height by acknowledging the three relationships that a higher building has to offer to its surroundings:- a) response to people on the street and in the public realm - podium/base, b) response to other buildings in the area - middle / shaft c) response to the sky line - top element.	Achieved by means of setback on the higher level and material colour changes.
New architectural language should reflect the dominant grid of openings versus solid, yet not as a pastiche. The new work must be contemporary in design and new elements should not be falsified but should be sympathetic to the older elements and to specific distinguishing features/ rhythms of opening and so forth.	Achieved.
Distinguishing original features to be retained – the steep element, the tree, the openings facing onto Buitengracht and the altered plastered cornice (as acknowledgement to the concept of historical layering).	Achieved despite the enhancement of the parapet moulding which acts in this instance as a separating projecting 'gasket' detail.
Continue to maintain existing façade ordering devises and rhythm of openings (a distinguishing original feature) on new built form as an organisational mechanism for façade reticulation and the positioning of new openings.	Achieved.
Proportion doors and window openings according to the proportions used in the existing building – i.e. tall narrow opening proportions (not rectangular horizontal).	Achieved.

Townscape/Streetscape indicators:

In order to respond positively to the local townscape/streetscape, the development is required to realise the following:-

Townscape/Streetscape indicator	Comment
Enhance the pedestrian environment with the introduction of mixed use facilities (residential accommodation with full time occupants and studio work spaces for small locally based businesses).	Achieved.
Restrict vehicular access to a minimum as per existing with max 2 parking bays and one point of ingress/egress.	Achieved.
Open up balconies on upper level to provide 'eyes on the street' and encourage outdoor living.	Achieved.
Mitigate the sidewalk space with planting and other means to create a suitable engaging urban edge and border zone elements in detail design.	Achieved.
Select materials and colours according to the traditional materials and colours in the area.	Achieved. Liaise with CoCT wrt to planting options.
Avoid glazed balustrades to upper level balconies.	Not achieved. KFA have responded to note that the glazed balustrades are provided for personal safety reasons, entirely frameless and set back from the glazing line and therefore not dominant on the facade
Use overhangs as shading devices such as light filtering pergolas and shutters for sun control and security.	Explore further in detailing.

6. CONCLUSION AND RECOMMENDATION

The height of the proposed building is assessed as not having a significant impact at street level, nor will the building have a negative impact in the city edge town-scape environment. Visual impact is entirely consistent with the environs and takes its cue from the adjacent buildings.

The proposed building development addresses heritage and urban design indicators and furthermore enhances a residential use pattern typical of the historic inner-city Bo-Kaap area. The circulation core is located centrally and close to a rear boundary, thereby obtaining maximum wrap around use of active floor area facing onto the Buitengracht. Effort has been made to avoid a projecting lift core and the lift stops at the lower level of the penthouse apartment.

The architectural conceptualisation has achieved a residential environment of character as one would like see and experienced in this Bo-Kaap edge locale.

The heritage assessment highlights potential for new built form of exceptional architectural expression to references to the historic cadastral division of the erven with a continuation of the

tradition of 'building to line' and filling in an unfortunate gap space created in the mid-century when no-one was thinking about the consequences of their decisions. Refer to Architects Strategy Statement in Section 4b – specifically in their investigations into a semi-ziggurat form involving setbacks which was felt to no longer hold the street edge in its traditional manner due to the extraordinary width created by the location of the petrol station on the opposite side of the Buitengracht (74 metres from building face to building face).

Reference is made to the Bo-Kaap HPOZ Guideline document – particularly to Table Three (Pg. 11) where an extract from Baumann and Winter 2004 is used to illustrate generic management implications with respect to Buildings and/or precincts graded III C:-

Grade III C	City	Qualities of local significance noteworthy within a streetscape or its immediate context	<ul style="list-style-type: none"> Conserve Retain and rehabilitate historical fabric (exterior only) Conserve and enhance interface with the streetscape Adaptive reuse

An adaptive re-use principal is applied and historic fabric is retained and rehabilitated externally.

The architectural solution employs creative and revitalising strategies and techniques whereby solid and glazed planes, proportioned as per the existing, are reversed in a positive/negative placement arrangement which counteracts any repetitive pastiche or mimicry of the existing Buitengracht facade. A conscious decision was made to reverse the proportioning of glazed to solid wall on the upper levels of the building to visually lighten the façade and was developed out of proportional studies for the façade. The large central window on the first new level enforces a symmetry of façade, expresses the internal layout as differing from the lower level and conforms to the structural philosophy of a concrete table standing on slim columns located behind and up against existing walls. The external wall is thereby read as a screen rather than a structural element.

The open corner which faces the mountain contains a non-traditional wrap around window on the two new upper levels which both enhances the free corner of the building and enable views out towards the mountain. The existing building as a pair of semi-detached houses was until relatively recently standing free on both sides. It thereby possessed a particular emphasis to the corners and a negative emphasis to the centre of the façade as a double width blank panel according to KFA. Only one corner is now exposed and here the corner window can be seen as a claim to lost significance and therefore reads as a physical and philosophical counterbalance to the injustice or prejudicial presence of the imposing and presently dominant Orphan corner building.

In the assessment tables presented herein, it is evident that the proposal achieves all reasonable indicators with potential to achieve more in the design development and detailing phases of work following on from here.

Further reference is made to Item 6.1.1 as extracted here below from the same Guideline document which refers to inappropriate change of historical character.

6.1.1. Inappropriate change in historical character

Urban renewal is generally seen as a positive trend. Within the Bo-Kaap, the high demand for properties in close proximity to the CBD and the lure of relatively high sale price has led to the alienation of many of the properties in the Bo-Kaap to buyers who wish to maximise their investments. This can lead to scale and bulk which is inappropriate in the fine grained Bo-Kaap streetscape.

The loss of generational continuity as a result of gentrification is a threat which is faced throughout the metro and is particularly evident in the historically less affluent areas such as Bo-Kaap, Woodstock and Salt River which are in close proximity to the CBD.

Other issues which may lead to the change in the historical character of the Bo-Kaap include: the proximity of the Bo-Kaap to the CBD, land use change, the pressures relating to parking, commercial development and traffic congestion.

The issues of loss of generational continuity (and gentrification), the lure of a high sale price or inappropriately scaled development are not applicable in this application. As noted earlier, this application offers the antithesis in so far as the reversal of manufacturing/office space into long term residential accommodation and the reclaiming of space in the much changed urban environment.

Furthermore, the proposal responds positively to all of the directives found in the CoCT MPBL 2015, (*Consideration of Applications re: enabling informed decisions regarding an application for work in a HPOZ*), namely:-

- "the scale and design of the development";
- "the impact of the development massing"; and
- "the impact on surrounding properties"

Consequent to the findings in this report, the recommendation is for HWC and the CoCT to authorise this development proposal.

7. RESPONSE TO COMMENT - CoCT AND BO-KAAP RATEPAYERS ASSOCIATION

7a. COCT Engagement

First comments received from CoCT EHM 26 June 2019 (Refer to Appendix E)
First Response Re Comment Sheet 26/6/2019, emailed 4/7/2019 (Refer to Appendix E)
Second response – Draft II Heritage Report (specifically Section Six)

Relevant extracts in italics are extracted and responded to here below.

URA+HP Response is in red text.

Where text is inset and in quotation marks, it has been extracted from the Heritage Report.

Where text is inset, in quotation marks and in italics, text is extracted from K. Fellingham Architectural Strategy Statement or correspondence with URA+HP.

7a(i). General:

Comment is submitted outside of the 30 day period.

It is being made into the HPOZ (while reserving the right to comment into the formal HPOZ application when it is circulated to EHM)

Refers to URA+HP Report (2 May 2019), KFA dwgs (10 March 2019) and H F Eng Statement (29 April 2019)

Plans are conceptual and do not provide full detail and annotations.

Regard has been had of the site visit 14 May 2019

Differentiate between NHRA S34 and HPOZ

Section 34: assessment of potential impact on physical built form and extended to a broader context (Gees). Provision for grading is made in the NHRA

HPOZ primary assessment criteria is potential impact on the character (physical and experiential) and sense of place of a cultural heritage environment. HPOZ's are designated for their concentration of heritage buildings, sites, places.

HPOZ applications and their management are reliant on analysis of cultural, social and architectural character – particularly important as it gives recognition to a deeply layered cultural heritage quality and experience.

Unfortunate that inappropriate development has been permitted on the edges of Bo-Kaap. HPOZ gazetted and therefore "this wave can be curbed and tighter controls effected so as to enhance and protect this unique area".

Physically defined by Buitengracht wall. Inherited zonings and a glass half full approach rather than a glass half empty.

Notwithstanding the above - the Buitengracht/City edge presents differently today and the context which one finds today is defined as follows (as per the Context Statement of Significance contained in the Heritage report Executive summary)

"Originally an area of small semi-detached and free standing residential units, the context presents today as an inner/outer edge space to the central city with a pattern of haphazard development – a variety of buildings from different periods, some very recent, are found side by side in the blocks around Orphan Street facing onto Buitengracht..."

7a(ii). The perceived impression of existing Built form

The existing building which comprises two separate but attached cottages dating to 1860 displays a modest working class vernacular architecture so characteristic of the Bo-Kaap and rarely found in the area

Addressed in email correspondence to EHM (4/7/2019) refer to Appendix E:

The existing building which presents as two units today in fact contains very little original fabric other than that found in the external walls where the plaster has been removed and the ceilings and beams of four rooms.

What is seen on site is largely what was constructed by Kevin Fellingham post 2014. Prior to this the buildings were effectively gutted.

They retain their original envelopes and an easy reading of their internal domestic layout with original internal fabric and their simple facades, possibly even their original door and window openings positions, albeit of slightly altered proportions the rhythm and pattern remains

The two cottages have surprisingly survived over this time and on entering the building its age is immediately apparent and experienced eg 500mm thick mud brick walls and the original ceiling beams and planks

Addressed in email correspondence to EHM (4/7/2019) refer to Appendix E:

"The remnant internal walls are not mud brick, they are stone, with baked brick repairs and infill. The majority of the internal walls are 115 brickwork, sometimes two skins with a cavity, built to line up with the faces of the remnants by myself.

The clearly legible form is the result of my rebuilding and was based on understanding the type. The cross walls between front and back portions are not original, nor in their original positions. The party wall is a new construction along 80 percent of its length, and is not in its original position, as the building was not equally divided, three rooms being on one side, one room on the other in the front bay.

Four rooms have original ceilings and beams, eleven do not. The front room on the other side has a ceiling older than 60 years but is not original, it was adjusted to allow clerestory lighting when an addition was made to the side of the house." K. Fellingham

This account by K. Fellingham concurs with my assessments as presented in the Heritage Report which was submitted to the CoCT on the 6th May 2019.

The original in its form and footprint and possesses relatively high authenticity value.

The building is simply not original in its form and footprint, the walls are not mud brick, and the buildings did not possess a high authenticity value when surveyed in 1983 by Louw, Rennie and Goddard who recorded "an extensively altered mid-century 3-bay flat roofed structure behind a parapet wall".

What one sees today is the result of rebuilding based on understanding the type.

"By rebuilding I don't mean knocking down walls and making new ones, or rebuilding the building in totality.

I was referring to the rebuilding of the walls in the studio space, which Tamar noted as conveying a sense of age. This was noted in her report and I recalled her comment when she visited.

Because we could neither afford to, nor are in any way interested in restoring that which has gone, but understanding that the type form brings with it a burden of prejudice, which Rossi called collective memory, I chose to design the entrance sequence in such a way as to produce in anyone familiar with the Cape building tradition a sense of recognition akin to Deja vu. This required reinstating the symmetry which had been lost." K. Fellingham

7a(iii). The heritage status of the built form

It is also evident that the owner architect has taken a sensitive approach to the alterations and additions he has made to the building.

This is a rare remaining building of this typology and given its association with the working class, slave community it warrants a 3B grading.

Built form changes over the past 70 years is presented in Section 3e Pg.'s 16 to 20 with Figures 18 to 25. This chapter offers detailed date referenced descriptions with illustrations of the changes which were made to the configuration of the units prior to 2014 when Fellingham and Sze purchased the property.

At that stage the building's layout was as per the changes made in at least 1988 where the two units had been radically gutted and the structure was being used as an office space.

There are also a number of annotated photographs detailing the existing built form in Appendix A of the Report.

In addition, a detailed timeline study, as an amalgamation of 160 years of information developed by Kevin Fellingham Architects, in the initial stages of their research into the property, is presented in the report (Figure 17: KFA Timeline Study – Built Form Development 1856-2020). These illustrations, in both plan and elevation format, have been prepared from information obtained and extrapolated via various sources (Snow, Wilson, Thom, Pocock Panorama, Elliott photographs plus various Directories and Almanacs at the National Library of SA). The study was carried out by KFA and has been checked and verified by URA+HP.

The comments by EHM are not a true reflection of the heritage status of the building as has been extensively researched in the Heritage Report.

Nevertheless, in response to the request from EHM for additional information refer to Section 3g of Draft II of the Heritage Report (15th July 2019). The additional information requested is as follows:

- *a plan showing the morphology of the original cottages over time so that the changes can be read cumulatively; Refer to Figure 26 and Figure 27.*
- *show the extant surviving authentic fabric (walls); Refer to Figures 28 to 33 showing extant fabric pre 2014 to 2019.*
- *possibly some more plaster removal to determine materiality and positioning of original openings. Refer to comment below.*

7a(iv). The context

Architectural concept and statement falls short of giving due consideration to the HPOZ context.

The Heritage Report has taken a narrow assessment of context and the indicators do not speak to a broader streetscape, building typologies, heights, architectural design elements and heights.

The Report analyses Heritage Significances, provides contextual synthesis and analysis all of which have led to the formulation of Statements of Significance for both Context and Built Form.

The philosophy of intent is presented and Heritage and Urban Design Indicators are discussed in detail in the report. Refer to Sections 3h,3i, 3j and the Architectural Strategy Statement in Section 4b which outlines intent with respect to:-

- Resolving the disparity in scale between the neighbouring buildings, in particular the prominent flank wall of 212, with its exposed lift shaft, ac units and minimal fenestration forming the dominant image of the northern end of the block when viewed both from the service road and from Buitengracht street itself.
- Investigating the options of setting back the new facade from the street line which would enable a terrace to run along the first floor frontage, but would leave exposed the tall blank flank of 212 and create a semi ziggurat which would not hold the street edge in a traditional manner. Furthermore, this would not produce a flat front in the manner of so many older buildings extended vertically during the 19th and early 20th century.

And which speaks of:-

- Buitengracht street and its service road which are 29 metres wide at this site's position (due to the presence of a petrol station on the other side) with a building face to building face distance of 74 metres which calls for a response which aligns with the northern street edge neighbour's facade plane and parapet, whilst turning the corner to the south to provide a corner emphasis. This particularly from the point of greatest visibility within the block context which is the intersection of Buitengracht and Buitensingel Streets.
- A separation between old and new of a subtler relationship - one which at first glance is a generic urban building of the sort which might have been built here under different economic conditions, as has occurred for example at the further north along Buitengracht.

Furthermore, the Report notes and illustrates how the Buitengracht/Orphan Street environs is **distinctly unlike the description put forward in the Bo-Kaap Heritage Protection Overlay Zone Guideline Document** (CoCT - November 2015, updated January 2019).

Given that the site under discussion is located in one of the areas well recognised as being atypical and an exception to the norm, the analysis and developed indicators plus informing heritage, urban design and built form guidelines presented must address this particular edge space to the central city.

The statement of contextual significance describes:

"...a pattern of haphazard development – a variety of buildings from different periods, some very recent, are found side by side in the blocks around Orphan Street facing onto Buitengracht. Architectural and urban qualities are lacking in early/mid-century built form - building height alignments are not evident, no common height reference lines prevail, and most ground-floor street front interface has been severely compromised. Most built form is utilised as office and manufacturing space. Very little residential space exists to activate the urban space. There is some contribution to the urban environment by virtue of some residential properties yet the context contrasts quite starkly in comparison to the inner predominantly residential Bo-Kaap area. The variety of developed building heights on this edge close to the very bulky unarticulated Orphan Street corner building..."

7a(v). A setback from existing built form

EHM is of the view that a setback is appropriate in this instance to give recognition to this building as a conservation worthy resource with a particular aesthetic ...and to enhance the family of low scale residential buildings along this stretch of Buitengracht which should be the face of Bo-Kaap and its defining edge rather than the over scaled buildings that further cut-off the BK from the City.

New form is traditionally set back from the old in order not to encroach or detract from the significance of the heritage artefact. However, in this instance, such a setback is arguably NOT required for two important reasons:

One: the merits of the heritage resource in this instance (the existing building and the building's immediate context) are not significant enough to warrant a setback.

Two: the building under discussion is bookended between two existing higher buildings (one which has no heritage significance at all) and for this reason, the introduction of a setback would enable the complete antithesis of its traditional intention. A set-back would enhance the unattractive corner building and the Corbeau neighbouring building, and compound the detrimental effect on the streetscape.

For this reason, a setback is NOT recommended.

In this instance, skill must be utilised to design a special building which will stand its own in the potentially overwhelming or overburdening current environment. New exceptional design should offset mediocre.

The NO SETBACK approach is recommended for the following reasons:

Traditionally built form in the City areas were 'built to line' (i.e. built to cadastral line. The stoep provided a social interactive edge domain and a rear courtyard space provided private open space. If one sets-back new built form here, all 'courtyard' opportunities are lost and consequent lost floor area would most likely be sought by increasing overall height (given the current zoning parameters for the site). Neither the loss of 'courtyard' space or increased height are desirable as they would impact negatively and hence the recommendation for new built form to NOT be set-back.

Furthermore, a setback is ordinarily recommended to enhance the existing and adjacent heritage stock – to provide breathing space to important buildings.

In this instance one wants to reclaim space and build to line to recover and salvage a sense of place which has been diminished by the dominant existing Orphan Street corner building.

In this instance, a setback at a higher level which corresponds with and responds to other buildings in the area is recommended. This is achieved by means of the setback at the forth storey which corresponds with a material colour change and the broken skyline with terrace cutaway (Refer to KFA Architectural Strategy Statement extract here below)

"Above this level the building steps back to align with the penthouse level of its neighbour. The facade changes in materiality and in articulation to a more sculpturally modelled system, still referring to a classical post and beam articulation, but closer in feeling to the brise-soleil facades of so many mid-century buildings in the city. The accommodation here consists of a tall living space at the southern end, with a mezzanine level opening on to it. The floor to ceiling dimension is kept to the legal minimum of 2.4 m with the closely spaced timber beams dropping below this. This results in a miniature scale colonnaded facade facing out to the city. At its upper edge this is cut away to allow for a terrace to the min bedroom, and to break the skyline. The portion directly adjacent to the neighbours lift core has been raised slightly to make an element of similar width to the tower, but lower and articulated as a symmetrical pavilion." K. Fellingham

Several development models were prepared for presentation to the Bo-Kaap Ratepayers at the meeting held on the 2nd July. These illustrate options with respect to setback considerations. It was felt that these models clearly illustrated that the preferred development model was that which has been submitted. Refer to Figure 45 below.

Furthermore, a setback at the lower level will provide a resultant building form which directly contradicts the Bo-Kaap Ratepayers concerns with respect to light and shadow projections. If the new built form were to be setback on the rear common boundary, the potential for negative light and shadow impacts would be exacerbated. Refer to Figure 43, Figure 45 and Figure 46.

7a(vi). Conclusion

EHM is not supportive of the proposal submitted, both in respect of the S34 and the HPOZ application.

By adopting a meaningful setback additional floors can be achieved although a balance must also be achieved between new and old – ideally 2 additional floors

Additional information is supplied in terms of sectional sketches which illustrate impacts with setbacks. Refer to Figure 45 and Figure 46

Plaster removal will assist in ascertaining original openings.

"We can't find any pics (we lost records when two computers were stolen) and I'm loathe to start hacking plaster off walls I know to be new, old walls I know to be stone, and ones I don't know for sure, but can reconstruct pretty precisely from the drawings going back to 1949. All the pics I have are of the finishing up, not the stripping out." K. Fellingham

7b. Bo-Kaap Ratepayers Association Engagement

Bo-Kaap Ratepayers arranged for a public meeting for neighbours and ratepayers to be held at St Paul's Church on Buitengracht on the 2nd July 2019.

A record of the engagement and concerns raised was prepared and emailed to Jacky Poking. Refer to all correspondence in Appendix F.

Items of concern were categorised into two sections:-

7b(i). General development, City management and National Planning related issues:

- Issues related to Rateable values and the calculation of rates and impact of development in the Bo-Kaap
- Environmental impacts and general issues regarding light and views (including solar path diagrams and studies)
- Traffic
- Land use rights and zoning parameters
- Land ownership rights and responsibilities (awareness with respect to land control measures which are set in place by the City, comments regarding window openings on boundaries being obscured by neighbour development and non-conforming structures built by neighbours which encroach onto neighbours land)
- Issues related to land reform

The issues noted above that have been raised are important despite that they are not heritage related issues. Environmental impacts such as views paths and shadow studies have been addressed and these are included herein.

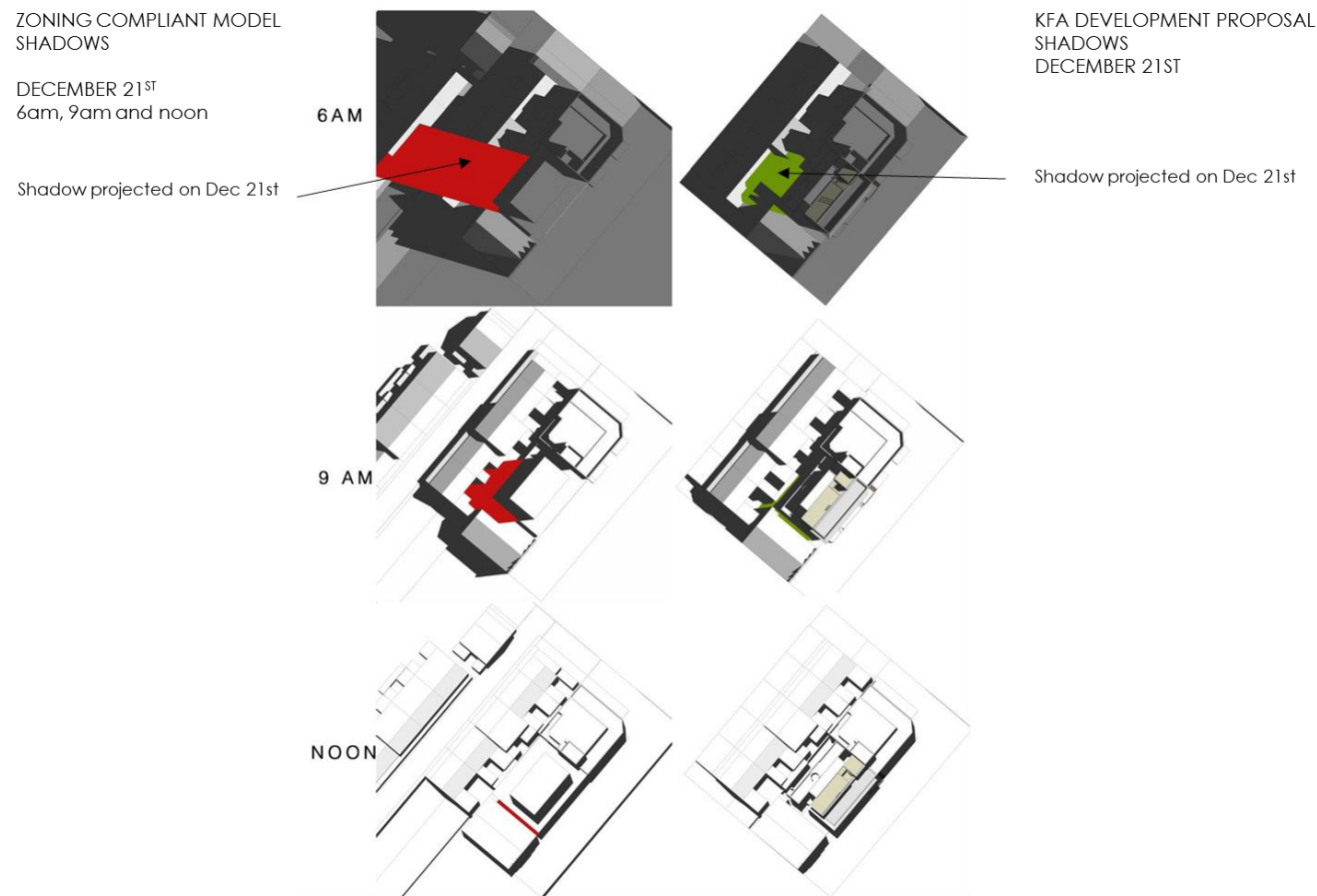


Figure 43: Model diagrams illustrating shadow impacts
Source – KFA

This figure shows the shadows cast by the by the development proposal in green in Summer only. In winter, sunrise is so far north that the shadow is cast only onto Corbeau next door. The difference between the zoning compliant model and the proposal is marked because the reduced height means the setback casts its shadow largely within the site

There is some impact between 6am and 9am in summer on the two properties immediately behind, more particularly on the one further south (who has built over the boundary). There is no impact on the house of the neighbour immediately behind on the NW. There is some impact on the Corbeau building, between 9am and noon in winter. After noon, there is no impact to the neighbours who lie to the NW and SW respectively

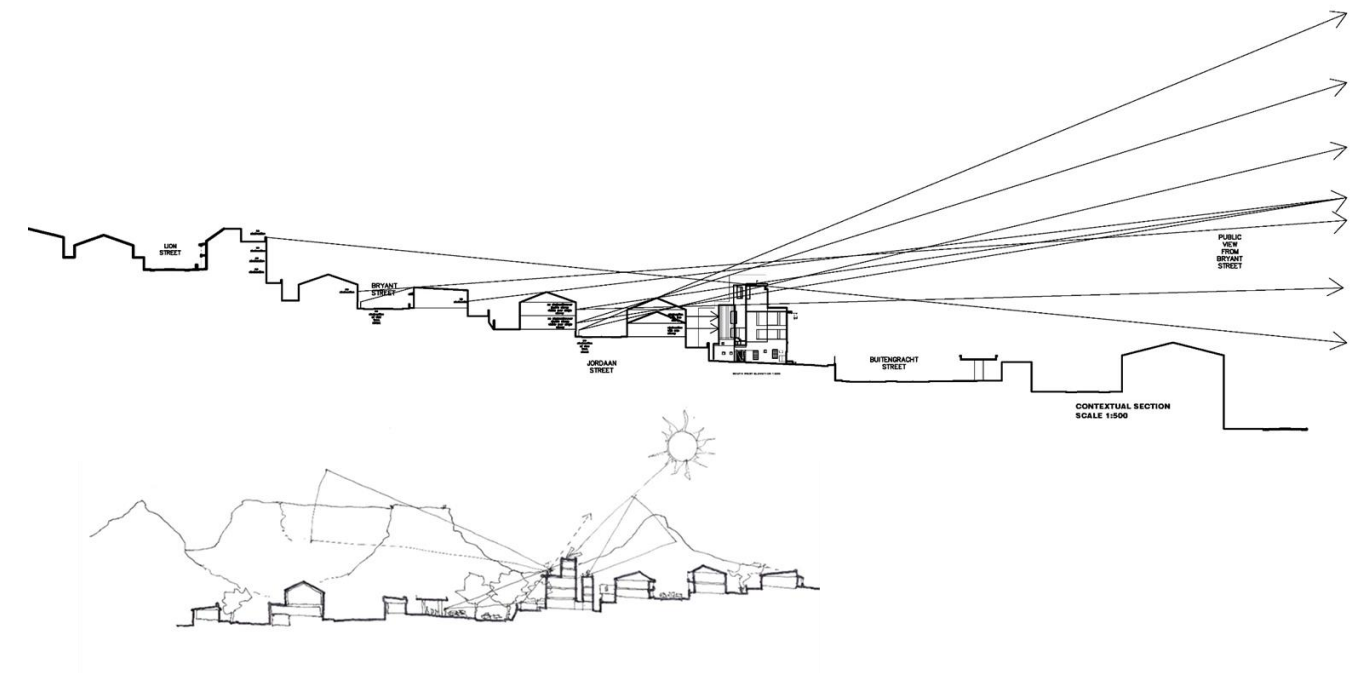
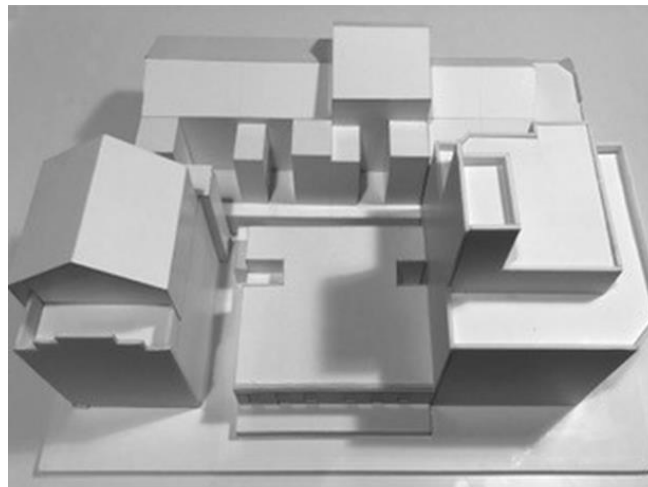
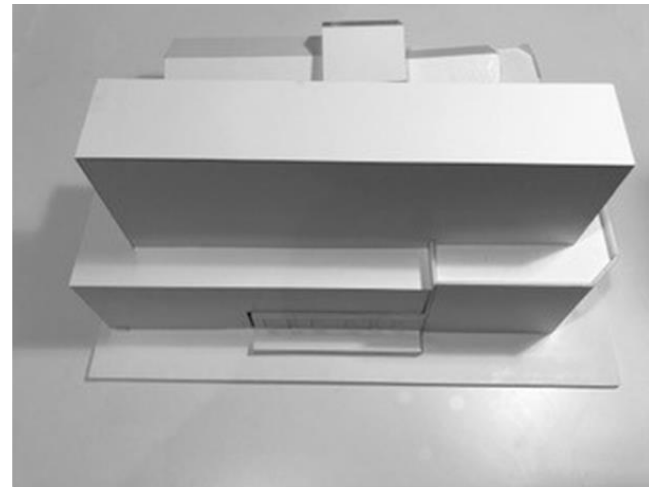


Figure 44: Model diagrams illustrating view lines
Source – KFA

This drawing is diagrammatic, but what it shows is that the building is invisible or nearly so from Jordaan Street and Bryant Street. It will only be seen in long oblique views as is 218 (white metal roof- same height and setback). It is not visible over the double storeyed neighbour, from both levels across the street. It is very slightly visible from the upper storey looking over a single storey, and not visible from the lower storey looking over the single storey.



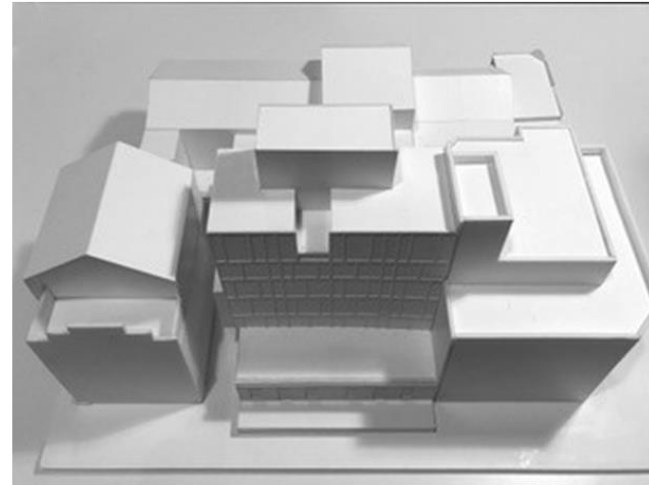
EXISTING



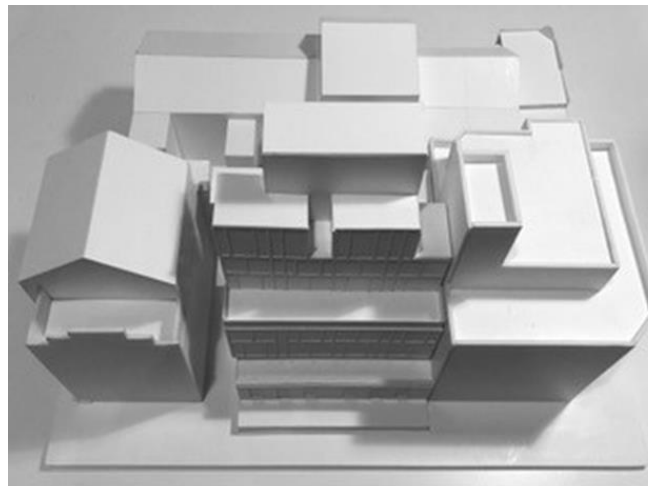
DEVELOPER IMAGINED PROPOSAL



ZONING COMPLIANT PROPOSAL



SINGLE SUBSTANTIAL SETBACK



DOUBLE SETBACK WHICH CREATES A TALLER BUILDING WITH NARROW DEPTH ROOMS ON THE UPPER LEVEL



KFA DEVELOPMENT PROPOSAL
 FAÇADE TO BUILDING LINE, STAGGERED SETBACK TO THE REAR,
 A CORNICE WITH OPEN SIDE SPACE WHICH ALL WHITTLE THE
 FLOOR AREA DOWN BY A THIRD

7b(ii). Heritage related issues:

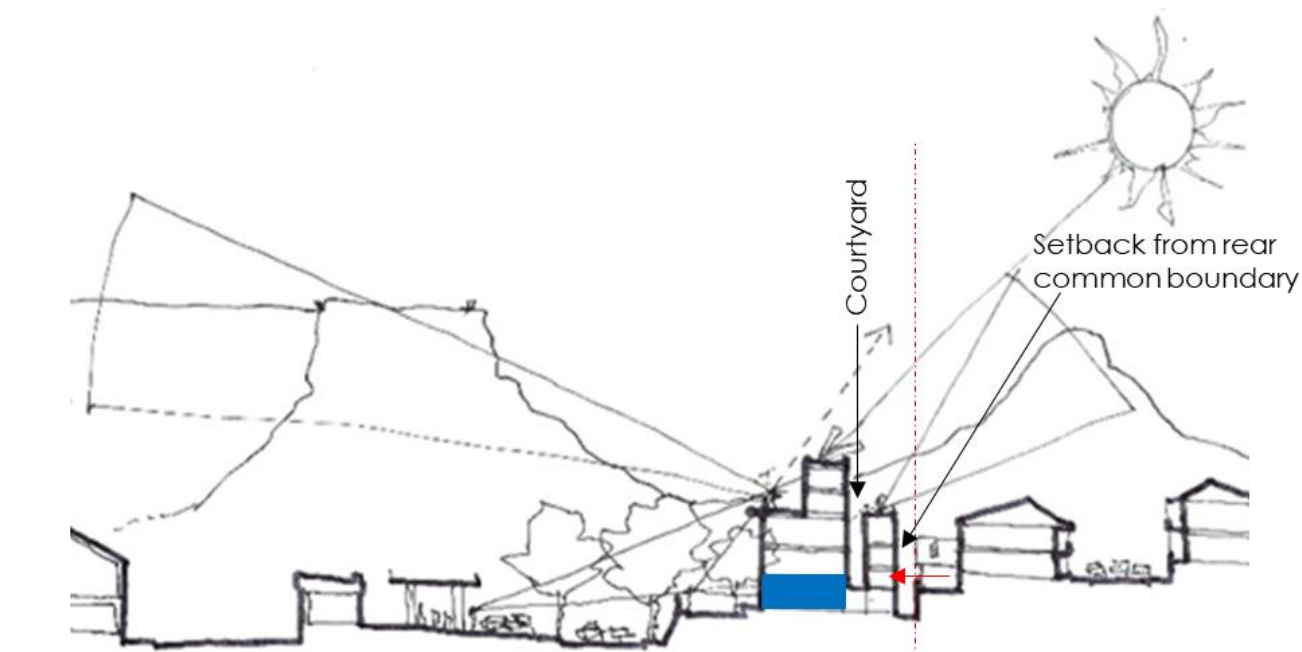
- HPOZ intentions and guidelines/rules

Whilst the HPOZ issues raised are important, they will not be addressed within the ambit of this Heritage Report. However, correspondence was submitted to Jacky Poking with regard to comment received by the CoCT i.r.o. the Bo-Kaap public participation process which invited input from a number of stakeholders. Two letters were submitted as potentially being of interest to the Bo-Kaap Ratepayers Association and these are attached herein. These two letters are from ClfA and Dr Stephen Townsend. Both speak about concerns regarding the size and diverse and varied nature of the geographically demarcated BO-Kaap HPOZ and associated heritage management problems. Refer to Appendix F.

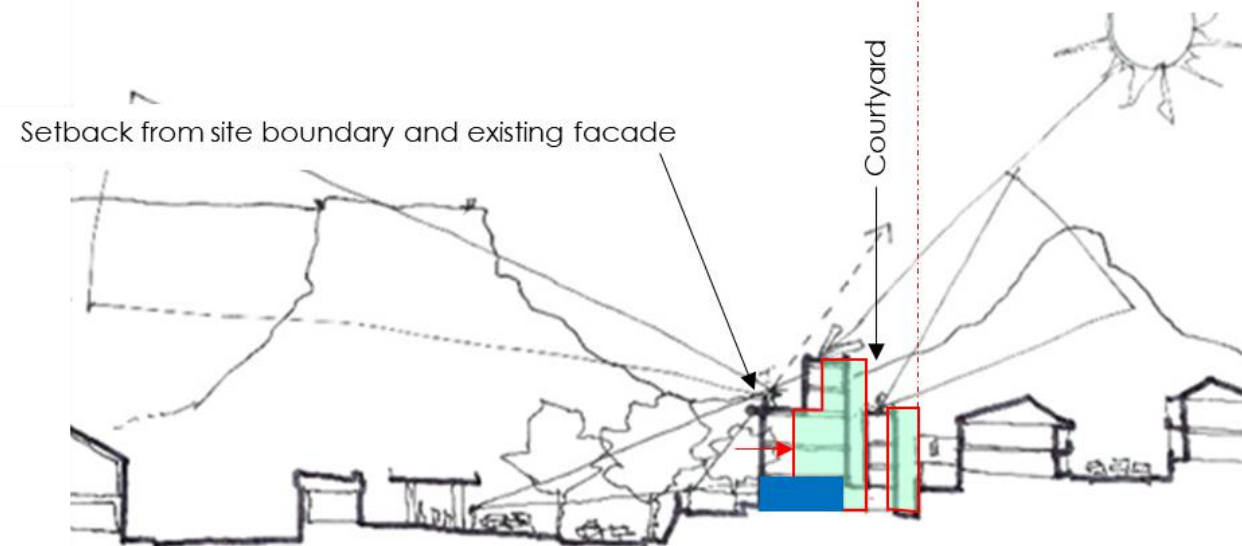
- The relationships between buildings located on Buitengracht and Jordaan Street and an assessment of height impacts by means of sectional analysis through this part of the Bo-Kaap

Additional information is supplied in terms of sectional sketches through Jordaan, Bryant and Lion Streets.

Figure 45: Model diagrams illustrating alternate development and set-back scenarios
 Source – KFA



OPTION A:- BUILT TO LINE ON BUITENGRACHT ACHIEVES A SET-BACK ON THE REAR COMMON BOUNDARY



OPTION B:- A SET-BACK ON BUITENGRACHT RESULTS IN NO SET BACK ON THE REAR COMMON BOUNDARY

Figure 46: Model diagram illustrating setback impacts on properties on Jordaan Street
Source – KFA and URA+HP

- CoCT Gradings

Additional information showing the morphology of the original cottages over time so that the changes can be read cumulatively will explain the history of change which has occurred on the site. The impressions created by the CoCT comment are somewhat misleading as some

statements lead one to believe that the building is a "rare remaining building of this typology" whereas it has in fact been substantially altered and gutted and operated as a business for at least 46 years (with Farquar and Amos Advertising) and more likely 89 years when the building was occupied by Voges the Plumber.

Furthermore, there are several similar types of cottage form buildings in the City area near to Buitengracht and these are recorded in Figure 47 with their gradings. Note how the grading vary from Grade IIIA to IIIB to IIIC amongst these examples.

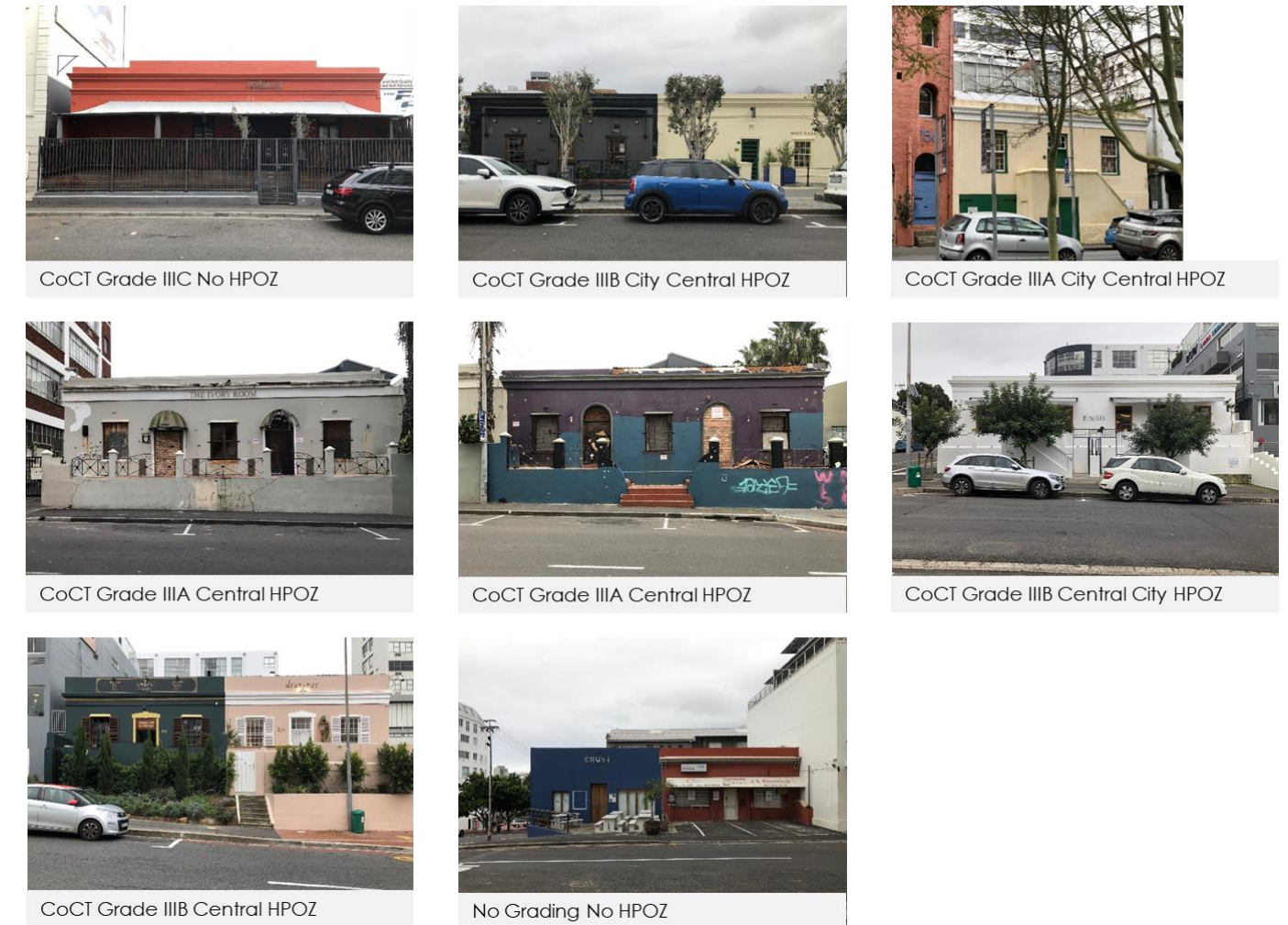


Figure 47: Similar Built Form Typologies in various nearby locations with varying Gradings
Source – KFA

- Timings related to an Applicant's request for comment

It has been explained that the applicant plans to submit a Draft II Heritage Report to other parties for comment and as such, Bo-Kaap Ratepayers have been asked to revert in writing at their earliest convenience if there are any further comments/queries other than those notes as per the 4th July correspondence (attached hereto).

End.

REFERENCES

Primary Sources

City of Cape Town (CoCT) (EHRIC and building plan archive)

The Buildings of Cape Town 1983: Phase Two, Vol Three Catalogue and Classification, ClfA

City of Cape Town Municipal Spatial Development Framework (MSDF) 2018

City of Cape Town Municipal Planning By-Law 2015

City of Cape Town Urban Design Policy Document 2013

City of Cape Town Design Guidelines for Tall Buildings 2013 (to be read with adopted Tall Building Policy)

City of Cape Town E&HM Clarification of Grading Document, 2015

Heritage Western Cape Grading Purpose and Management Implications Document, 2016

Unpublished sources

The Burra Charter 2013

ICOMOS Xi'an declaration on the Conservation of the setting of Heritage Structures, Sites and Areas 2005

International Charter for the Conservation and Restoration of Monuments and Sites, (Venice Charter), 1964.

Townsend S S, Extract from Managing Urban Conservation Areas in Cape Town, A Case Study in Conservation-oriented Urban Management, Jan 1998.

Townsend S S, The SCA Gees Judgment: and its Impact on the Administration of Development Involving Buildings more than sixty years old, 2018.

Unesco Vienna Declaration 2005

Unesco Vienna Declaration on the Conservation of Historic Urban Landscapes 2005

APPENDIX A - PHOTOGRAPHIC STUDY OF THE EXISTING BUILT FORM ERF 214007-RE

APPENDIX B - KFA DRAWINGS OF THE POST 2014 ALTERATIONS

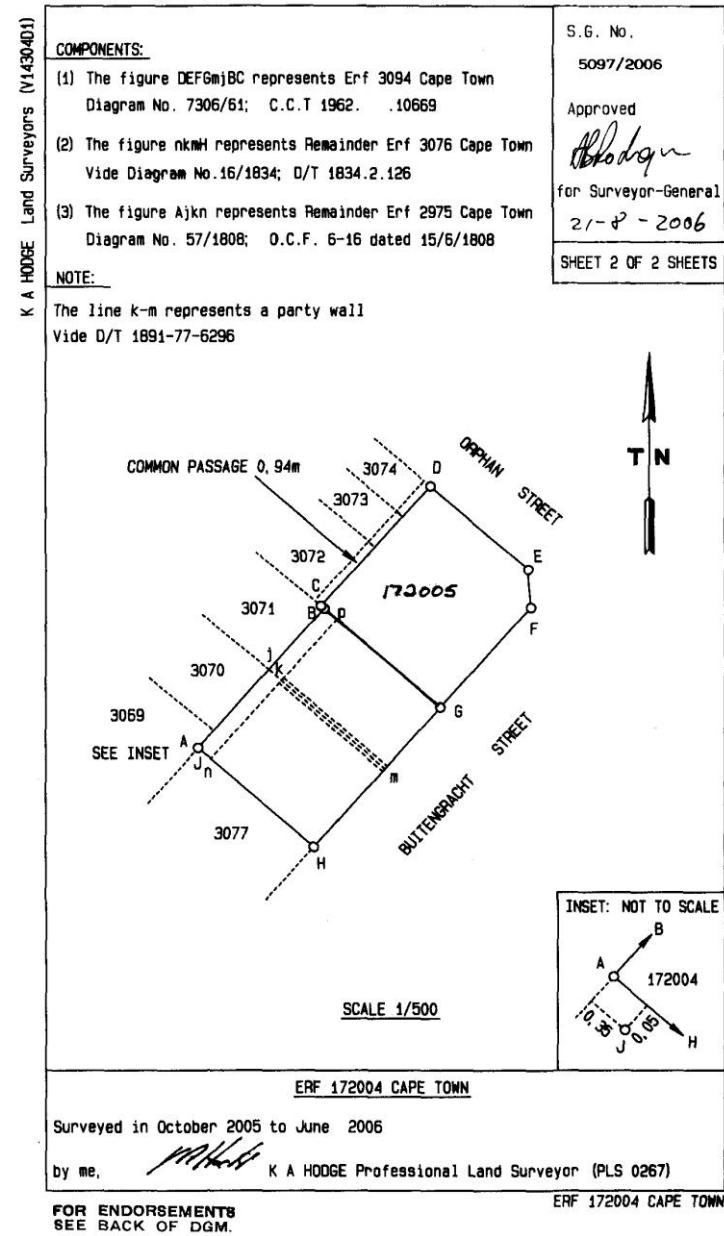
APPENDIX C - KFA DEVELOPMENT PROPOSAL DRAWINGS

APPENDIX D - SURVEYOR GENERAL DIAGRAM

OFFICE COPY

SIDES metres	ANGLES OF DIRECTION	CO-ORDINATES Y System MG 19° X		S.G. No.	
	CONSTANTS		+0,00	+3700000,00	5097/2006
AB 21,48	221 23 10	A	+ 54384,50	+ 55522,05	Approved <i>K A Hodge</i> for Surveyor-General 21-8-2006
BC 0,56	131 09 20	B	+ 54370,31	+ 55505,93	
CD 18,63	221 42 00	C	+ 54370,73	+ 55505,56	
DE 14,71	311 16 20	D	+ 54358,33	+ 55491,65	
EF 4,47	356 06 30	E	+ 54347,28	+ 55501,35	
FG 15,43	41 30 40	F	+ 54346,97	+ 55505,81	
GH 21,51	41 27 40	G	+ 54357,20	+ 55517,37	
HA 17,36	131 12 30	H	+ 54371,44	+ 55533,49	
INDICATORY BEACON					
JA 0,35	139 19 40	J	+ 54384,28	+ 55522,31	SHEET 1 OF 2 SHEETS
	2117	⊕	+ 54253,00	+ 55571,44	
	2617	⊕	+ 54331,45	+ 55506,19	
BEACON DESCRIPTIONS:					
A	... Not beacons				
B, C	... Drill hole in concrete				
D, E, F, G, H, J	... Wall corners				
The figure A B C D E F G H represents 702 Square metres of land being					
ERF 172004 CAPE TOWN AND COMPRISES COMPONENTS 1 TO 3 ON SHEET 2					
situate at Cape Town in the City of Cape Town					
Administrative District of Cape Province of the Western Cape					
Surveyed in October 2005 to June 2006					
by me, <i>K A Hodge</i> K A HODGE Professional Land Surveyor (PLS 0267)					
This diagram is annexed to No. T34542/2008 dated i.f.o. Registrar of Deeds	The original diagrams are as quoted above	File No. S/9390/189 v.1	S.R. No. E 1934/2006	Comp. BHSX-11744 (M4344)	ERF 172004 CAPE TOWN
				BHSX-13122 (M3294)	
				LPI C0160007	

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APPENDIX E – COCT EHM COMMENT



CITY OF CAPE TOWN
ISIXEKO SASEKAPA
STAD KAAPSTAD

FORM E&HM1(a)
APRIL 2018

SPATIAL PLANNING & ENVIRONMENT
ENVIRONMENTAL MANAGEMENT
Environmental and Heritage Management Branch

CITY HERITAGE COMMENT ON DEVELOPMENT APPLICATIONS POTENTIALLY AFFECTING HERITAGE RESOURCES

PART 1 SITE AND PROPOSAL PARTICULARS		Reference No: 2019-06-25	Applicants initials
Site address	212A Buitengracht, Bo-Kaap	Erven	172 004 RB
Owner	Karin Fellingham	Applicant	Ursula Rigby
Proposal summary			
4-storey addition to existing single storey historic building (1860)			

OFFICIAL USE ONLY

PART 2 HERITAGE TRIGGERS & SIGNIFICANCE		NHR Act Section: 34	HPOZ: E	Other:
Declared NHS / PHS	<input type="checkbox"/>	CCT Grade (pre-2007)	1 <input type="checkbox"/> 2 <input type="checkbox"/> 3A <input type="checkbox"/> 3B <input checked="" type="checkbox"/> 3C <input type="checkbox"/> Not graded <input type="checkbox"/>	
CCT Grading (2015 audit underway)	National <input type="checkbox"/> Provincial <input type="checkbox"/> Metro IIIA <input type="checkbox"/>	Neighbourhood IIIB <input type="checkbox"/>	Street Context IIIC <input type="checkbox"/>	Not Cons. Worthy <input type="checkbox"/> Exemption <input type="checkbox"/>
Aesthetic <input type="checkbox"/> Social <input type="checkbox"/> Creative <input type="checkbox"/> Archaeological <input type="checkbox"/>	Architectural <input type="checkbox"/> Spiritual <input type="checkbox"/> Natural features <input type="checkbox"/> Paleontological <input type="checkbox"/>	Contextual/ In group <input type="checkbox"/> Community significance <input type="checkbox"/> Tree(s)/Avenue <input type="checkbox"/> Technological <input type="checkbox"/>	Historical <input type="checkbox"/> Associational <input type="checkbox"/> Landscapes <input type="checkbox"/> Potential for information <input type="checkbox"/>	History of slavery <input type="checkbox"/> Oral traditions <input type="checkbox"/> Uncommon <input type="checkbox"/> Scientific <input type="checkbox"/> Struggle history <input type="checkbox"/> Linguistic <input type="checkbox"/> Burial grounds <input type="checkbox"/>

PART 3 CITY COMMENT ON PROPOSED DEVELOPMENT TO HWC

This does not in any way constitute approval or refusal of an application.

Drawing No(s)	Rev	Date
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Please see attached comments as per the EHM Comment Form.

City of Cape Town
Environmental Resource Management Dept.
Environmental and Heritage Management
25 JUN 2019
Signature

Suggested conditions:

Support <input type="checkbox"/>	Not Supported <input checked="" type="checkbox"/>	On behalf of the Executive Mayor	Date
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P1 of 4

DATE
06/05/2019

SUBURB
BO-KAAP

ENVIRONMENTAL & HERITAGE MANAGEMENT
COMMENT FORM

Applicant Details
Name: Ursula Rigby
Contact Number: 082 415 0990
Email Address: ursula@ursularigby.co.za
Site Details
ERF: 172 004 - 2E
Street Address: 212 Buitengracht Street.

NHR Act 25 of 1999 Section	34	Heritage Western Cape (HWC) approval to be required by applicant	<input checked="" type="checkbox"/>	Age of existing structure/s	1860
2015-2018 Audit Grading	I <input type="checkbox"/> II <input type="checkbox"/>	IIIA <input type="checkbox"/> IIIB <input type="checkbox"/> IIIC <input checked="" type="checkbox"/> IIIC/IV <input type="checkbox"/>		Not Conservation Worthy	Grading in Progress
2007 Grading	I <input type="checkbox"/> II <input type="checkbox"/>	IIIA <input type="checkbox"/> IIIB <input type="checkbox"/> IIIC <input type="checkbox"/>		Not audited	
Heritage Protection Overlay Zone (HPOZ)		<input checked="" type="checkbox"/>		Proposed Heritage Overlay Zone	
Proposal Description					
DAMS Case number					
Drawing/Plan number					

Photographs (context, external, internal)	Received	Requested
Previously approved plans, conditions, permit, ROD	Received	Requested
Heritage report, statement, HIA	Received <input checked="" type="checkbox"/>	Requested

Heritage report Received: D. Hellenberg. 06/05/2019
14/05/2019 - Site visit required.

25/6/2019 - This comment is submitted as per the request of Ursula Rigby - albeit that it is outside of 30 day commenting period allowed by the initial comment is also being made into the HPOZ while reserving the right to comment into the formal HPOZ applications are circulated to us.

This comment has reference to the Ursula Rigby Heritage Report (dated 2 May 2019) in which is included architectural drawings by Karin Fellingham (dated 10.04.2019), the Architectural Strategy Statement, and Please see reverse the Harry Fagan & Partners letter dated 29.04.2019.

PP ->

In assessing the proposal we note that the said architectural plans + 3Ds are conceptual in nature + do not provide full detail + annotation, and that the applicant, Ursula Rigby, is thus seeking an initial response at this point with the understanding that design development may be required.

Regard has also been had to the site visit undertaken.

It is necessary at the outset to differentiate the assessment criteria of the NHPA, S34, from those of the HPOZ. While S34 of the NHPA concerns itself primarily with assessment of potential impact on physical built form, namely buildings/structures on a cadastral site (and extended recently to impact on a broader context in the Gees Judgment), the HPOZ primary assessment criteria is potential impact on the character (physical + experiential) and sense of place of a cultural heritage environment. Provision for grading is made in the NHPA and is an accepted guide for heritage management. While predominantly HPOZs are designated for their concentration of heritage buildings, sites or places, HPOZ applications + their management is reliant on analysis of cultural, social + architectural character. This is particularly important in the BK HPOZ, which is unique in that it gives recognition to a deeply layered cultural heritage quality + experience.

It is unfortunate that inappropriate development has been permitted on the edges of Bo-Kaap but be that as it may now that the HPOZ has been designated (gazetted 12 April 2019) this issue can be worked and tighter control effected so as to enhance + protect this unique area.

The subject site falls within a stretch which has very often been considered, incorrectly, as the edge of the city, rather than as the defining edge of BK as it exists today - this delineation is clearly + physically defined by the historic Buitengracht Wall (a declared RHB). The inherited MUE zoning from the old Z5 has exacerbated this situation and resulted in insensitive + oversized buildings along this edge of Bo-Kaap although much historical residential fabric does still exist and one must adopt a glass-half-full approach rather than a glass-half-empty approach to regain + protect heritage significance.

The existing building, which comprises two separate but attached cottages dating back to 1860, displays a modest working-class residential vernacular architecture so characteristic of the early development of Bo-Kaap and rarely found in the area. Although now on a consolidated erf these two 3-bay, flat roofed cottages with their distinctive front stoep running across its frontage have survived over time + ~~remain~~ retain their original envelopes and an easy reading of their internal domestic layout, with original internal fabric, and their simple facades, possibly even with their original door + window opening positions albeit of slightly altered proportions the rhythm + pattern remains. The changes that have been made to be expected of a building of this age (180 years). The 2 cottages have surprisingly survived over this time and on entering the building its age is immediately apparent + experienced eg 50mm thick ^{interior} walls and old original ceiling beams + planks. It is also evident on entering the building that the owner-architect, Kevin Fellingham, has taken a sensitive approach to the alterations + additions he has made to the building.

This is a rare remaining building of this typology and given its association with the early development of BK as a working-class + slave community it warrants a 3B grading. Far from being 'nostalgic' it is original in its form + footprint and possesses relatively high authenticity value.

The architectural concept + statement evidences a thoughtfully considered design response to the immediate neighbourhood buildings but falls short of giving due consideration to the HPOZ context which includes, & necessarily in this instance given the HPOZ trigger, similarly the Heritage Report has taken a narrow assessment of context and hence the indicators do not adequately speak to a broader streetscape, building typologies, heights, architectural design elements and heights.

It is of the view that a setback is appropriate in this instance to give recognition to this building as a conservation

workly resource with a particular architectural aesthetic, to respect the residential low-scale nature of the building and to respect and enhance the family of low-scale residential buildings along this stretch of Buitengracht which should be the 'face' of Bo-Kaap ~~and~~ and its defining respectful edge, rather than the over-scaled buildings that further cut off BK from the city.

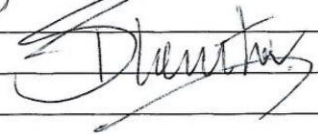
EHM is not supportive of the proposal submitted, both to of S34 and HPOZ application given the impacts on the resource ~~and~~ building itself and the HPOZ. The 4-storey development effectively subsumes the extant historic building and its form, meaning + contribution to the streetscape is lost, and appears as facadism which is not desirable.

By adopting a meaningful setback additional floors can be achieved although a balance must also be achieved between new and old - ideally 2 additional floors.

Further design development to include structural drawings and allow for an entirely independent structural system set in from the building's envelope + walls to minimize material impact on historic structures/fabric + fittings. A lightweight ^{steel} structural system is recommended with timber floors, ie a 'touch lightly' design approach.

Plaster removal will assist in ascertaining original openings.

EHM looks forward to further engagement with you on this proposal. We are confident that a quality building can be achieved with the right balance to architectural design and heritage conservation.



APPENDIX F – BO-KAAP RATEPAYERS PUBLIC MEETING 2ND JULY 2019

RECORD OF DISCUSSION

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professional heritage practitioner

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SAIA Practice No. PS2005
SAIA Enrolment No. 5042
SACAP Reg. No. 4508

4th July 2019

Bokaap Civic and Ratepayers Association
Attention: Jacky Poking, Spokesperson
bokaapcivic01@gmail.com

Dear Jacky,

MEETING WITH BO-KAAP NEIGHBOURS, CIVIC AND RATEPAYERS –

TUES 2ND JULY 2019 at ST PAUL'S CHURCH HALL on BUITENGRACHT - 7H30PM

Development Team:

Kevin Fellingham (Owner, Resident at 212A Buitengracht and Professional Architect) assisted by Alexander Janse van Rensburg and Mmakhotso Lamola (not present at this meeting) who built the Architectural Models presented by Kevin - Kevin Fellingham Architects.

Ursula Rigby - Architect and Professional Heritage Practitioner.
Tommy Brummer assisted by Nangamso Nkonzo – Professional Town Planners.
Henry Fagan - Consulting Structural and Civil Engineer (not present at this meeting).

Thank you for arranging for us to present to the Bo-Kaap community on Tuesday evening.

I have made some notes which list the concerns raised which you noted at the meeting as not necessarily all being Built Environment or Cultural Heritage related. I have therefore separated the comments into two categories.

The following items were raised and discussed:

General development, City management and National Planning related issues:

- Issues related to Rateable values and the calculation of rates and impact of development in the Bo-Kaap
- Environmental impacts and general issues regarding light and views (including solar path diagrams and studies)
- Traffic
- Land use rights and zoning parameters
- Land ownership rights and responsibilities (awareness with respect to land control measures which are set in place by the City, comments regarding window openings on boundaries being obscured by neighbour development

and non-conforming structures built by neighbours which encroach onto neighbours land)

- Issues related to land reform

Heritage related issues:

- HPOZ intentions and guidelines/rules
- The relationships between buildings located on Buitengracht and Jordaan Street and an assessment of height impacts by means of sectional analysis through this part of the Bo-Kaap
- CoCT Gradings
- Timings related to an Applicant's request for comment

In our application to Heritage Western Cape, we will be responding to the Heritage related issues raised by the community. It is not however within the ambit of this heritage application to address general building development, general city management and national planning related issues.

Our plan is to submit a Draft II Heritage Report to other parties for comment and therefore, please revert back to us in writing at your earliest convenience if you have any further comments/queries that we can assist with.

I commend you for your engagement in these matters and please contact me with any additional comments. Our intention is to address the relevant matters raised on Tuesday evening in order for you to revert back to the community with an updated Draft II Heritage Report.

Kind regards,



Ursula Rigby.

cc. Osman Shaboodien Chairperson