

DRAFT FOR REVIEW

HERITAGE REPORT

VERSLUIS-OLIVER RESIDENCE
ERF 457
NO. 1 ROSEBANK PLACE
VILLA CATHARINA
ORANJEZICHT
CAPE TOWN



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DRAFT I – 28 June 2022

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EXECUTIVE SUMMARY

The site:

Erf 457

No 1 Rosebank Place, Oranjezicht, Cape Town

The building on the site:

A two storied circa 1900 altered Victorian residence.

The site, Villa Catharina is graded as a Provincial Heritage Site (PHS) due to its registration as a National Heritage Site (NMS) in 1988.¹

The site is located within the Upper Table Valley Heritage Protection Overlay Zone (HPOZ) and new proposed work is therefore subject to scrutiny under both the National Heritage Resources Act (NHRA) Section 27 because the building is older than 60 years, and the City of Cape Town Municipal Planning By-Laws (CoCT MPBL) because the building is located in an HPOZ.

The site measures 183 m².

The property is zoned GR2.

This residence was purchased by Alet Versluis-Oliver in April 2022 and is to be altered by Ann-Mari da Silva of Swansilva Architecture.

This building is assessed to be a heritage resource which holds considerable intrinsic significance in terms of the significance criteria identified by the NHRA and it is significant in the context of its location in Oranjezicht.

An Emergency Permit application was submitted to HWC in April 2022 by Swansilva Architecture, to repair unsafe and structurally unsound balcony facing onto Rosebank Place and internal timber floorboards. This work is currently in progress.

¹ SAHRA Data Form notes: "*Wes-Kaapse Streekkomitee se besluit van 1986-09-05: Daar word BESLUIT om aan te bevel dat die huis end die erf waarop dit gelee is tot nasionale gedenkwaardigheid geproklameer word*". The site was recommended for declaration in 1986 however it was only officially declared in 1988 (Gazette 11511, notice 1960, paragraph 11).



Figure 1: Existing building – looking east on Rosebank Place. June 2022
Source: URA+HP image

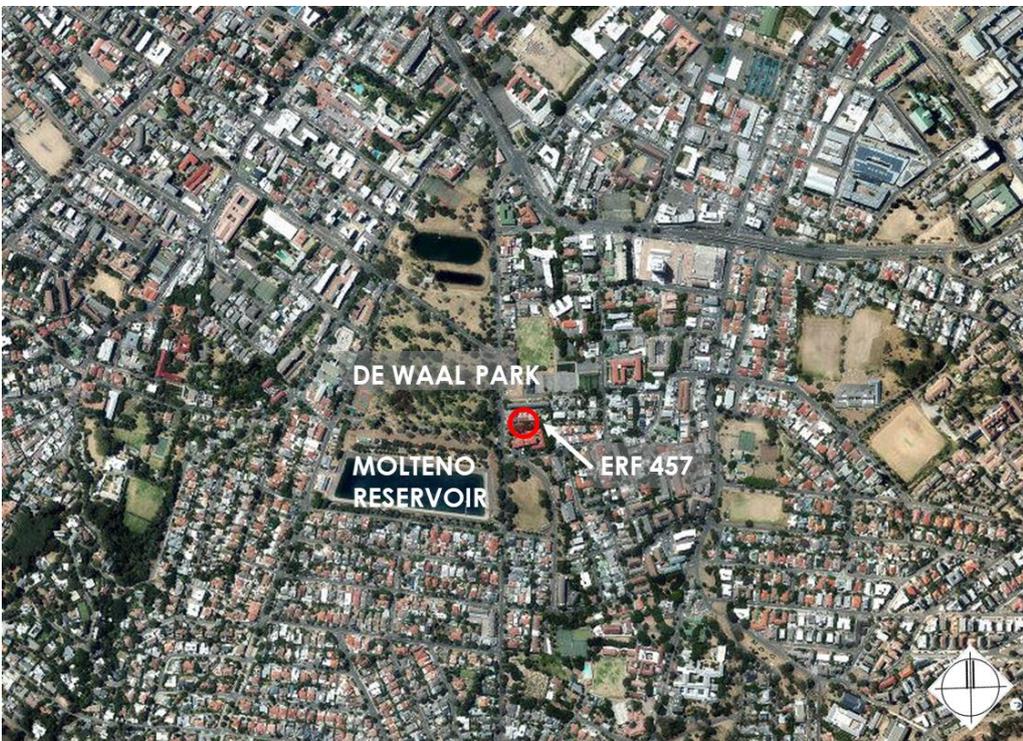


Figure 2: Locality diagram – small scale
Source: CoCT Egis database with URA+HP annotations

1. INTRODUCTION

1a. Purpose of this report

This Heritage Report serves to provide background information and an assessment of the heritage resource and environs to inform heritage design indicators intended to guide alterations to this dwelling. The report will evaluate the impacts of the proposed alterations as presented by Swansilva Architecture for the new owner.

It has been established that the building was constructed in about 1900 and that it has retained its overall form and most of its exterior detail since then. Some alterations have been made over time, most to the rear of the site.

This report will analyse and assess the existing building in its context. It draws on the extensive research work carried out by Rosemary Lombard in her MPhil Researching and Assessing Heritage Resources assignment of 2014 which is a Heritage Statement for the six terraced houses in Rosebank Place (Erven 457-462) which covers historical data about the environs, a history of ownership and inhabitants at Rosebank Place and a history of use.

The methodology for this report is as follows: -

- Summarise information on the history and development of the context and this site;
- Identify and assess the cultural heritage significance of the existing building on this site;
- Present a statement of heritage significance regarding this Provincial Heritage Site (PHS) and its environs;
- Propose heritage design indicators (HDI's) for any alterations and/or additions.

This report will also:

- Describe the scope of, and evaluate the impact of, the proposed new work.

1b. Author

Ursula Rigby is appointed as the Architectural Heritage Specialist.

This Heritage Report is prepared by Ursula Rigby as Architect registered with the South African Council for the Architectural Profession (SACAP) and the South African Institute for Architects (SAIA) and as accredited Professional Heritage Practitioner, member of the Association of Professional Heritage Practitioners (APHP) and member of the Cape Institute for Architecture (ClfA), member of the ClfA Heritage Committee and past convenor of the ClfA Heritage Review Committee.²

The assessment of the site and precinct and the consequent recommendations result from an independent assessment. The author has no business, personal, financial or other interest in the proposed development work apart from remuneration for the research, assessment and the report preparation work.

² The ClfA Heritage Review Committee (HRC) is recognised by the City of Cape Town and Heritage Western Cape, as a body who provides unbiased opinion and comment on architectural heritage matters. ClfA's review comment, when invited, assists authorities in their decision-making processes.

1c. Heritage grading and the legal heritage status of the existing building

Formal applicable heritage constraints, in terms of the National Heritage Resources Act (NHRA) of 1999, fall under Section 27 (National and Provincial Heritage Sites) which refers to the Formal Protection and management of Heritage Resources.

Clause 27(18) refers:

"No person may destroy, damage, deface, excavate, alter, remove from its original position, subdivide or change the planning status of any heritage site without a permit issued by the heritage resources authority responsible for the protection of such site."

HWC's Belcom is the delegated authority in terms of S26 of the NHRA, read with Regulation 11 of the Regulations promulgated in terms of the Act (Oct 2002) to:

Assess and approve permits relating to alterations or additions to, or to the subdivision and change of a planning status of any provincial heritage site, provisionally protected site or heritage area ...

The original building was constructed in about 1900 and it is situated on Rosebank Place, Oranjezicht, within the Upper Table Valley HPOZ.

Consequently, all development proposals are assessed in terms of the City of Cape Town's Municipal Planning By-Laws (CoCT MPBL).

1d. Property ownership and current occupation

The property was previously owned by the late M E de Kock and sold to A Verluis-Oliver in December 2021. The property was transferred to the new owner, Alet Verluis-Oliver and her husband Mark Antony Oliver in April 2022.

The current owners have been living in the house and intend to continue to occupy the house as their primary residence. When they moved into the house it became evident that some emergency repair work was required and an Emergency Permit application was submitted to HWC in April 2022, to repair unsafe and structurally unsound balcony facing onto Rosebank Place and internal timber floorboards.

1e. Scope of proposed work

Ann-Mari da Silva of Swansilva Architecture is the Architect for the proposed new work which responds to the brief provided by the owners. The work will be carried out by Mark Antony Oliver who is suitably qualified and experienced to manage and carry out the proposed changes.³

The proposed alterations to the dwelling are largely to areas already altered and those areas which are located to the rear north side of the property: -

³ Mark Anthony Oliver's qualifications include: CIOB Level 4 Certificate in Site Management (QCF), 2015 from the Chartered Institute of Building (UK), CIOB Level 4 Diploma in Site Management (QCF), 2016 from the Chartered Institute of Building (UK), NHBRC Certificate of Competency in the following courses, 2009: ID14894, ID 14679, ID14674.

-
- The previously altered kitchen and dining spaces are being rearranged and reconfigured;
 - The upper level, previously remodelled, bathrooms are also being reconfigured;
 - A new en-suite bathroom is created for bedroom 2 with access stepping down through a new opening in an existing wall;
 - The remaining existing bathroom 2 is reconfigured for use by bedroom 3 with access via the existing passage way which leads off the original stair landing;
 - A new bathroom and dressing room is to be inserted into the existing study space which will provide an en-suite arrangement to the main bedroom;
 - A new bedroom is to be created in the roof space, as an inverted dormer with a sliding door leading onto a new north facing deck space. This bedroom will utilise bathroom 3 on the level below;
 - A new stair will provide access to the loft bedroom and storage spaces created within the existing roof area;
 - The existing asbestos roof covering is replaced with dark grey Zinalume Kliplok 405 metal sheeting.

This work is discussed in more detail and illustrated in Section 8c – Scope of Work.

1f. Interested and Affected Parties

The following stakeholders and the relevant registered conservation body for this area will be issued with a Draft Report for their information and comment as per the rules and regulations of HWC.

These bodies are:

- City of Cape Town Environment and Heritage Management division (CoCT EHM)
- City Bowl Ratepayers Association (CIBRA) ⁴
- South African Heritage Resources Agency (SAHRA)

2. THE SITE

2a. Locality

The residence is located east of de Waal Park and Upper Orange Road in Oranjezicht and north of the Booth Memorial Hospital. It is situated on the north side of Rosebank Place and looks out onto the Hospital site.

The building is part of a grouping of six distinct and well-preserved double storied Victorian villas on Rosebank Place. Some are more authentic than others. This unit is the first 'bookend' unit and originally would have identically matched the last 'bookend' unit which has however been altered.

⁴ CIBRA are a civic organisation which acts on behalf of members in municipal matters such as those relating to property development, business licencing, public events and the use of public spaces. They are an independent organisation, run by members on income raised through membership fees. The CIBRA Urban Conservation Advisory Panel deals with ward 115 development referrals from Heritage Western Cape (HWC). CIBRA provide formal comment on proposed developments in their area. They are registered with HWC as a Conservation Body. Website: <https://cibra.co.za/about/>



Figure 3: Site location - large-scale
 Source: CoCT Egis with URA+HP annotations



Figure 4: Erf 457 Site layout - large-scale aerial view
 Source: Farm Mapper with URA+HP annotations

2b. A history of place - Oranjezicht

Oranjezicht was developed between the early 19th and 20th century and parts of the suburb has sufficient heritage built-form stock and landscape elements for it to be considered as an area of Heritage significance and protection as the Upper Table Valley HPOZ.

Verschoyle's historical research of the Table Valley area refers to various stages of urbanisation and the following points are taken from his work to outline the development in the city bowl in the late 1800's and early 1900's.⁵

- *unprecedented expansion of housing development in 1892 and 1897 with the establishment of new townships on the large Leeuwenvoet and Tamboerskloof estates which had formerly been dairy farms;*
- *subdivision into building lots on further portions of Zorgwyk and on the gardens Uitkyk, Buitenzorg and Rheezicht;*
- *after 1890 that the houses became intrinsically late Victorian in form and appearance. "They reflected the excitement and exuberance of a booming economy. Of all styles and no styles they were unfettered by traditional canons of form and proportion. Each building was a congeries of projecting gables, heavy quoins, rusticated base courses, bay windows and recessed porches. In the larger houses turrets and gazebos appeared."*
"Fenestration tended to be capricious in arrangement and proportion but the four-paned sash window was ubiquitous. Imported standardised corrugated iron sheets and cast iron hardware provided the material for roofs, balconies, verandahs and railings at low cost. The delicate tracery of the ornamental ironwork often imparted a touch of gaiety to an otherwise sombre building. These houses continued to be built in the first decade of the twentieth century and they form the greater part of the older housing stock which has survived in Upper Table Valley to the present day."
- *Granite quarries opened below Kloof Nek;*
- *a patent kiln, capable of producing 40 000 hard bricks per day, was installed above St. Michael's Road in 1897;*
- *1885 a horse tram began running from Mill Street via Long Street to link with the existing Sea Point line;*
- *1897 an electric tramway was introduced on the same route and continued down Buitenkant, Roeland Street and Plein Street to the Parade;*
- *In 1899 van Breda sold Oranjezicht Farm to the syndicate who developed the area as a housing estate;*
- *by 1904 there were 39 shops between Mill Street and Roeland Street, 12 in Mill Street itself and 57 in the Kloof Street area - food shops predominated*
- *industry still remained on a craft basis in the area below Mill Street with typical pre-industrial diversity of occupations and mixed land uses. The only large concern was a steam flour mill in Mill Street on the side of the old watermill;*
- *this period came to an end with the Anglo-Boer War and the short-lived boom of 1902 and 1903 which immediately followed it in Cape Town;*

⁵ The work of Denis Verschoyle (1910-1997) on the Upper Table Valley District Policy Plan, completed in draft in 1979 is well detailed in the VASSA Journal no. 3, July 2000. Although his policy recommendations were never officially adopted, his historical research, cultural landscape analysis, and understanding of the Upper Table Valley as a special place, was available to planners and urban conservationists within the city who used his work to inform planning initiatives within the Upper Table Valley and elsewhere.

-
- *a fresh burst of land speculation and projected housing development was stimulated by the build-up of evacuees from the Transvaal during the war and the flood of immigrants just after it. Upper Table Valley with its efficient public transport and municipal services attracted a large share of the new development but by 1904 the post-war boom had given way to a prolonged depression and many housing projects were abandoned or delayed.*

2c. The Upper Table Valley HPOZ

The City formally protects its conservation worthy areas as Heritage Protection Overlay Zones (former urban conservation areas) in terms of section 31 of the NHRA.

The CoCT Heritage Resources Management Guideline series (2021) extract explains:

"In the mid-1970s, it had already been proposed that conservation area controls be included in the town planning scheme, and that a number of conservation areas be declared in Cape Town. From 1990 onwards, the process for demarcating such conservation areas was formally included in the old zoning schemes. By 1997, the historic city centre and nearly 30 other historic suburbs were declared 'urban conservation areas'.

The City's Municipal Planning By-law (MPBL) was promulgated in June 2015 and amended in 2017, and again in 2019. It replaced the 2012 Zoning Scheme Regulations and complies with the requirements of the Spatial Planning and Land Use Management Act (SPLUMA) of 2013. One of the changes introduced by the Development Management Scheme (DMS) of the MPBL was to convert all previously designated urban conservation areas of the various old zoning schemes in the metropolitan area to 'heritage protection overlay zones' (HPOZ).

The HPOZ is the MPBL's mechanism for managing and protecting conservation worthy heritage resources. Any work proposed in an HPOZ has to be approved as part of the land use management application process in terms of section 42(i) of the MPBL. In considering an application, the City must take into account the effect such activity may have on the significance of the heritage resource or area. The City may also request additional information or attached conditions to an approval in terms of the HPOZ.

An overview of the areas protected by the HPOZ is accessible to the public at <https://citymaps.capetown.gov.za/EGISViewer/>."

Conservation Area	Upper Table Valley HPOZ
Status	Declared
Statement of Significance	The Upper Table Valley is a unique heritage environment with a high density of highly conservation-worthy heritage resources. The environment includes buildings, infrastructure, streets and spaces associated with the development of the Upper Table Valley from the earliest homesteads and farms to significant twentieth century buildings. There are areas of excellent Victorian building stock, detached, terraced, single and double storey. These are mainly of good quality and represent the homes of the middle classes of Cape Town. Many are decorated with ironwork, fretwork, quoining and other plaster details. There is a large collection of exemplary early twentieth century villas built by established as well as avant garde architects of the time. A fine grain of buildings with significant canopies of stone pines, and gardens. Numerous institutions and sports fields are interspersed within this important cultural landscape.

Figure 5: CoCT EGIS Viewer extract for the Upper Table Valley HPOZ
Source: CoCT EGIS Viewer

2d. A history of the site

Reference is made to Lombard's study of Rosebank Place and the following points are taken from her work as they provide interesting background information to the site:

Lombard established:

- The six row houses were built on a small piece of Zorgwyk Farm (part of the homestead is still situated on the corner of Prince and Breda as a previous 1820's out-house which has since been altered but which remains a good architectural example of the era);⁶
- Parts of Zorgwyk were broken up into lots and sold by public auction during the first wave of residential development between 1855 and 1865;
- The land on which this site is located was owned by Thomas Sutherland who built a mill in 1856;
- In the 1890's more subdivisions took place and the row of houses on Rosebank Place was built by 1902;
- The villa known as Rosebank House became the Salvation Army's Booth Memorial Hospital from 1917.

⁶ CoCT Survey notes



Figure 9: View of Sutherland's Mill from the North. Rosebank House visible behind it. Early photograph.⁴⁴

⁴⁴ From the collection of Stewart Harris (date unknown).

Figure 6: View of Sutherlands Mill with Rosebank House behind it (S Harris collection)
Source: Harris via Lombard. Date unknown

- A record of ownership was established by Lombard as follows:

Erf 457

17 Dec. 1927: George Cruickshank (late estate) transferred to Arthur Ralph Tyrrell

9 Mar. 1956: A R Tyrrell (late estate) transferred to Helen Tyrrell (widow)

5 Feb. 1964: H Tyrrell transferred to Cornelia Jacoba van Niekerk

14 Mar. 1969: C J van Niekerk transferred to Richard Brain Owen Hellyer

28 May 1970: R B O Hellyer transferred to Heart Investments

14 Dec. 1973: Heart Investments transferred to Maria Elizabeth de Kock.

2e. The existing context – June 2022

The existing built form environment is heterogeneous in character with some Victorian row houses interspersed with larger modernist apartment buildings and the Hospital. The residential units here and on Prince Street and in other nearby locations remain predominant desirable and conservation worthy resources.

2e(i). Contextual images in and around Rosebank Place:



Looking east on Rosebank Place



Looking west on Rosebank Place

Figure 7: The Rosebank Place context
Source: URA+HP

2e(ii). Contextual assessment

The building is part of a grouping of Victorian row houses on Rosebank Place. This particular unit is the more distinct bookend unit with noteworthy features which retains excellent streetscape qualities. Nearby examples of later densification developments from the mid 1920's and the 1950 to 70's modernist era sit in close proximity to this enclave of homes, yet do not degrade them. This site is herein identified as being special, somewhat unique and it therefore remains conservation worthy.

3. A STATEMENT OF CONTEXTUAL HERITAGE SIGNIFICANCE

It is clear that this group of row houses on Rosebank Place represent a collection of typical Victorian homes as an important part of Oranjezicht and the Upper Table Valley Heritage Protection Overlay Zone. Despite that some homes have been altered, the group remains largely intact and recognisable as a group of a particular era with distinct, well-preserved and authentic Victorian detailing which contributes great streetscape and townscape value in this context. This villa, as part of the group, must be conserved with careful interventions that are skilfully designed to complement the existing dwelling and its associated group.

4. THE EXISTING RESIDENCE

4a. A description of the existing buildings on the site

The existing residence consists of: -

Existing basement storage area beneath the existing dining-room

Ground storey – Veranda, entrance hallway, living (reception) room, dining room, kitchen, guest WC (beneath the stair), an added kitchen space with associated lounge area leading into a north facing courtyard

First storey – Main bedroom, bedrooms 2 and 3, bathroom, study

The asbestos tiled roof is double pitched and the balcony retains its decorative cast iron veranda supports, brackets and balustrade railing. There is one original masonry chimney and all windows and doors viewed from the street and most of the interior doors and architraves are authentic. The stair is original and unusually ornate in detail and all skirtings and cornices in the front living room, entrance area and main bedroom are original.

The architectural form and detail of this existing two storied dwelling is largely the same as it was in circa 1900 when it was constructed, as viewed from the public domain. Additions and alterations have taken place to the northern rear areas of the house where they are not visible from the street. The alterations are unremarkable and not worthy of retention as a distinctive layer as they have not been particularly well considered in terms of their planning or their detail.

The following noteworthy details are summarised as being important in contributing to guiding heritage related indicators for future development:

- Typical Victorian row house plan form with a veranda, a triangular bay window extending through both levels and FF covered balcony;
- Low boundary wall with original columns and cast-iron railings and gate;
- Gabled double pitched roof form (asbestos tile);
- Roof is pitched over bay window and extends out with painted timber barge decoration (with finial) framing the cast iron vent;
- Corrugated iron sheeting to balcony roof;
- Cast iron veranda columns, decorative balcony frieze (below the balcony), brackets and balustrade railing;
- Plastered brick exterior with detailed window surrounds and sills;
- Gable wall ends are decorated with plastered mouldings;
- External louvered shutters;
- Panelled and top glazed front door with fanlight above;
- Double French doors with fanlight opening onto the balcony;
- Original interior staircase;
- Original marble surround to tiled cast-iron fireplace unit;
- Some original timber floors;
- Ceiling heights on the ground storey are 3,6mm and 3,27mm on the first storey;
- Original pressed metal ceilings, cornices and picture rails;
- Elaborate skirtings and panelled door liners, all are painted white;
- Original architraves to doors and windows;
- Original internal doors.

4b. CoCT Heritage Survey



Figure 8: CoCT Heritage Survey map showing the context

Source: CoCT Egis data with URA+HP notes

NHRA Status	PHS
SAHRA Reference	9/2/018/0224
Site Name	Villa Catharina
SAHRA_PRIM_KEY	13836
National Gazette (Post 2000)	Null
Provincial Gazette (Post 2000)	Null
Gazette Wording (Post 2000)	Null

Building Plan	31, 1900
Site Name	Villa Catharina
Contextual Significance	H/M
Symbolic Significance	Null
Associational Significance	M/H
Aesthetic Significance	H
Excellence Significance	Null
Scientific Significance	Null
Age Significance	M
Statement of Significance	Part of the late 19th Century development of Oranjezicht. Is a good architectural example. Has good interface with the street. Contributes to a well preserved streetscape.
Rarity	Null
Significant Interior	Null
Demolished	Null
Date Demolished	Null
Grading Notes	Has many intact elements such as its windows, door and verandah. Has brookie lace.
Associated Events	Null
Heritage Vulnerability	Null
Architectural style	Victorian

Figure 9: CoCT Heritage Survey notes for the subject site
 Source: CoCT Egis data with URA+HP notes

4c. A history of the built form

Lombard finds:

No original plan for the row houses was found at the usual repositories:

- City of Cape Town Planning and Building Development Management
- Cape Archives
- City of Cape Town EHRIC/Heritage Resources Section – neither in the “yellow pages” valuation folders nor in the Upper Table Valley survey conducted by Nicolette Duckham and Graham Jacobs in the 1990s.
- SAHRA registry

Reference to the plan number for the terraced houses was obtained from the updated Thom survey map of 1918, which listed it as 31/1900. Reference to the architect or builder was found in the Pryce-Lewis list: “31, 1900. A. Bawden for A.R.McKenzie. Nine double storey houses. Typical Victorian terrace. Fairly intact.”⁶⁵

⁶⁵ Register of building plans in Cape Town (1887-1913) made by Prof. Owen Pryce-Lewis, from the Cape Town Municipal Archives; analyses of the plans. UCT Libraries Manuscript BC1074. From the presence of this information in the Pryce-Lewis list, it can be deduced that the plans did exist in at least one official repository and have gone missing subsequent to the making of the list, and not earlier, as was suggested by an official at the Cape Archives, where an entire batch of City records is missing from between 1899 and 1901.

One plan for an alteration done to the house on Erf 459 (No. 5 Rosebank Place) by the owner Levenberg in 1941 was available via the City Planning Department’s microfiche collection (Figure 24):

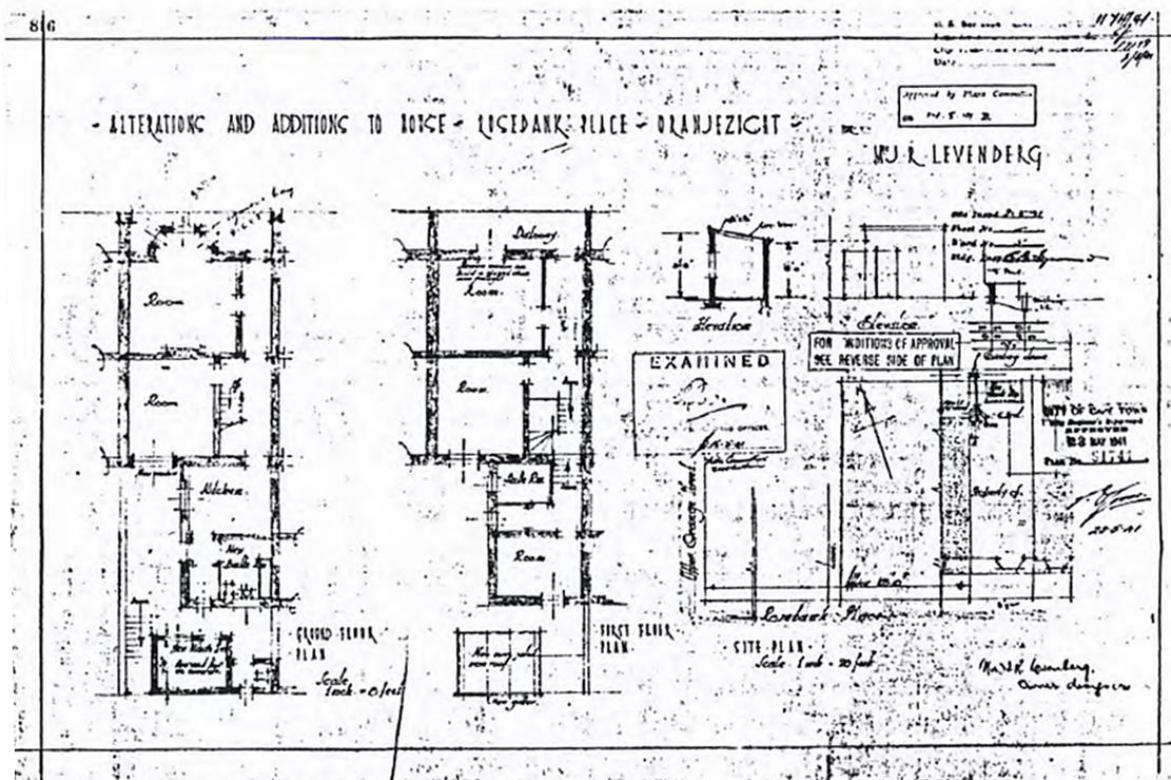


Figure 24: Plan for 1941 alterations to Erf 459 – 5 Rosebank Place.

Figure 10: Plan for the villa on Erf 459 - a mirror image of 1 Rosebank Place (Erf 457)

Source: Lombard via owner Levenberg, CoCT archive

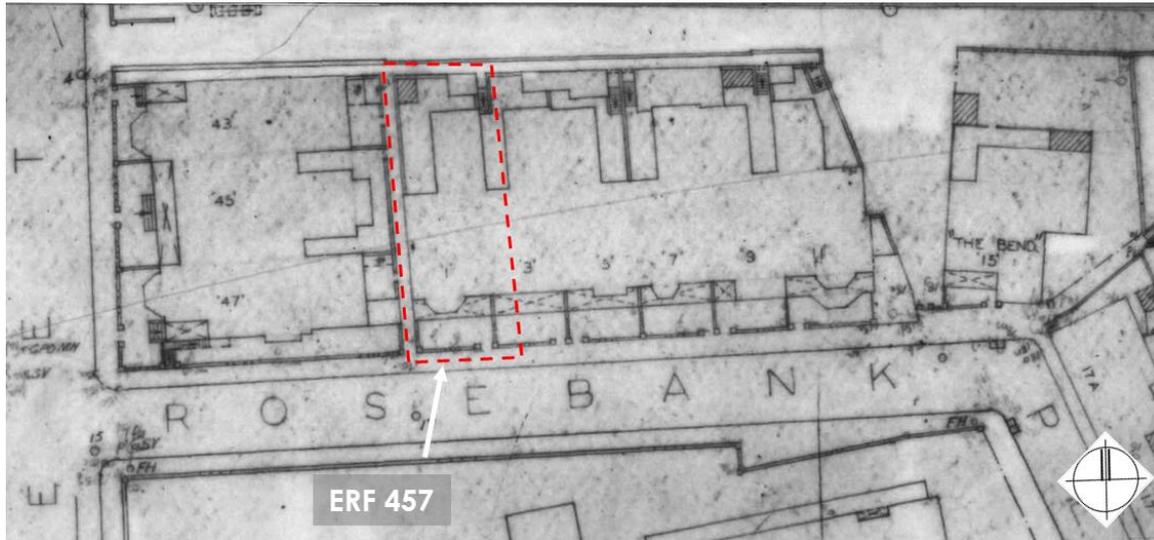
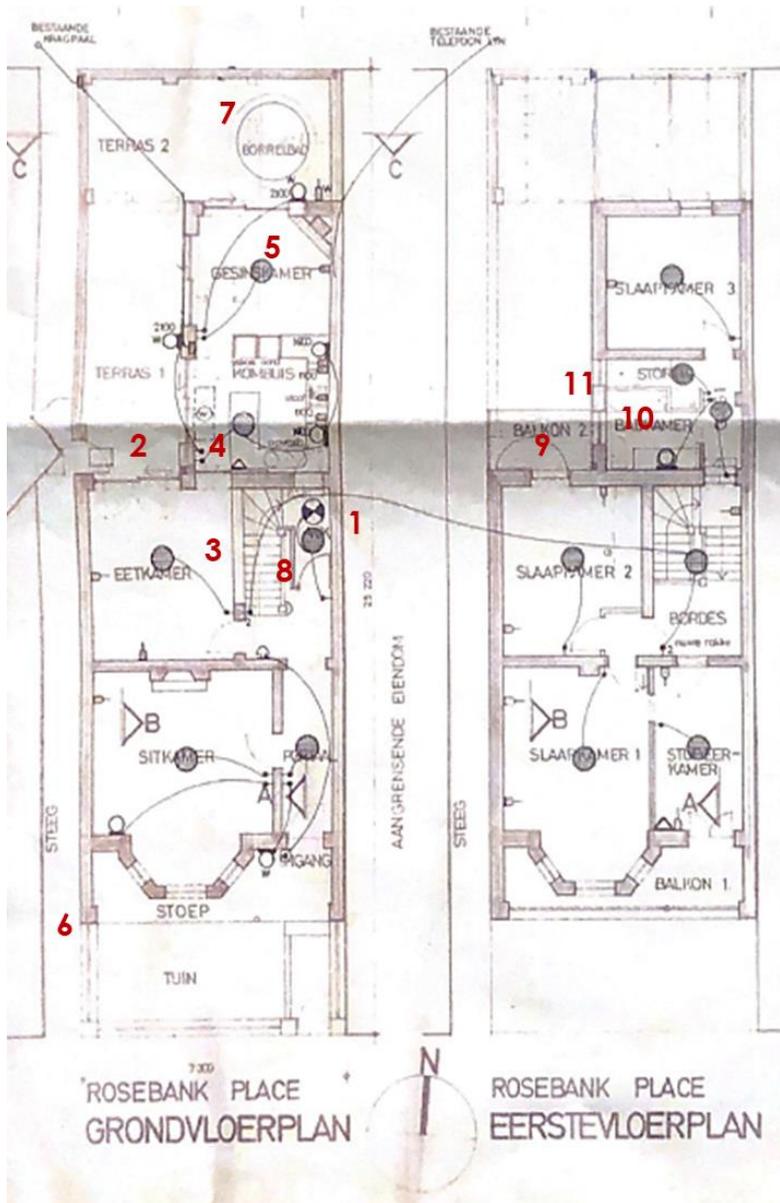


Figure 11: CoCT Survey drawing 480 series enlarged
Source: CoCT Egis data with URA+HP notes

4d. Changes to the building over time

The previous owner conveyed via an interview with Lombard the following record of changes made post 1973 and prior to 2014:

- Floor boards are original;
- Stair was previously painted;
- 'broekie lace' is original and this house was the only housed with original cast iron work in 1973 (other houses had timber balustrades and balcony railings. Neighbours borrowed no. 1's 'broekie lace' to make replicas for their houses;
- A toilet was added under the stair;
- A glass sliding door was added in the dining room, leading to the patio;
- The wall between the stairs and dining room was broken open to let in more light;
- The door way to the kitchen was opened up and the kitchen rearranged;
- An ex downstairs bedroom and pantry were consolidated to form a less formal sitting room with a fireplace and sliding doors were added for light and access to the outside
- The sanitary lane was closed off;
- There was a toilet in the backyard (for staff);
- A small skylight above the landing was replaced with a larger one;
- The guest bedroom window was replaced with a glass door - the intention was to add a balcony;
- The layout of the toilet and bathroom was altered – a toilet was added to the bathroom and the separate room that housed the toilet was converted to a shower;
- Louvre windows were installed



1. WC added under the stair
2. Glass sliding door was added in the dining room, leading to the patio;
3. Wall between the stairs and dining room opened up to let in more light;
4. Door way to the kitchen opened up and the kitchen rearranged;
5. Ex downstairs bedroom and pantry were consolidated to form a less formal sitting room with a fireplace and sliding doors were added for light and access to the outside
6. The sanitary lane was closed off;
7. There was a toilet in the backyard (for staff);
8. Small skylight above the landing was replaced with a larger one;
9. Guest bedroom window replaced with a glass door - intention was to add a balcony;
10. WC and bathroom spaces were altered – a new WC was added to the bathroom and the separate room that housed the WC was converted to a shower;
11. Louvre windows were installed

Figure 12: Changes to the built form – GF and FF plan circa 1973
 Source: URA+HP

4e. The existing building – June 2022

A record of interior and exterior images of the house is presented in Appendix A as prepared by Swansilva Architecture.

4f. Assessing the existing building in its current form and state

Some noteworthy features have been identified and discussed – refer to Section 4a.

The condition of the house is reasonable bar some elements which required urgent repairs and for which an emergency permit was applied for.⁷ The timberwork has been maintained and the finishes are generally found to be in good condition. The timber inside the house is an unusual red grained timber which was reputedly imported from Russia which was shipped via France.⁸

This home has been altered to the rear where a new kitchen and lounge space were created from an ex bedroom and pantry. There are currently two bathrooms on the first storey. The windows, doors and fittings which were used when these spaces were altered are not of a high quality. They have deteriorated and are dated.

Some areas of the original building required urgent repairs as per the emergency permit application of April 2022.

The structure is sound and many details are authentic and remain intact and this site lends itself to sensitive and careful remodelling for ongoing use as a family residence in a well-positioned and resourced environment.

5. A STATEMENT OF BUILT FORM HERITAGE SIGNIFICANCE

In establishing heritage significance, it is important to note that a place is deemed to have heritage significance if it is to be considered part of the national estate in terms of the NHRA (Section 3) and if it has cultural significance or other special value because of: -

- its importance in the community, or pattern of South Africa's history;
- its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;
- its importance in demonstrating a high degree of creative or technical achievement at a particular period;
- its strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;
- its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa:

In this instance, the existing building is deemed to be an important building in the community and pattern of South Africa's history of architecture. It exhibits some particular aesthetic details with characteristics valued by the architectural and other communities.

⁷ In March 2022 an emergency permit was granted, Case no 22030401MS0310E.

⁸ This information is according to the owner de Kock who applied for National Heritage status. This information is recorded on the National Monuments Council Data form. Refer to Appendix A.

The following Statement of Built form heritage significance is proposed:

Statement of Built form Heritage Significance – the existing dwelling

The house was built during the late 19th century development of Oranjezicht and it is a noteworthy Victorian doubled storied dwelling which sits at the end of a row of six largely intact similar dwellings. It has been altered once and all changed work is located to the rear of the site. The house retains its original form with many intact elements such as

- its veranda and balcony with cast iron columns, decorative frieze, brackets and balustrade railing;
- its double level bay window with gable and timber barge decoration complete with finial and cast-iron vent;

The boundary interface remains intact. It retains its tall unaltered chimney and generally contributes significance to the streetscape and this grouping of attached houses in this neighbourhood.

6. HERITAGE GRADING

The PHS grading of this site is a resultant of the pre - 1999 status as a National Monument.

This grading is not specifically warranted if one checks the criteria for assessment for a Provincial Heritage site's status as set out by the HWC Short Guide to and Policy Statement on Grading (May 2012).

The HWC guide and policy document states that Grade II sites are

- "those with special qualities which make them significant in the context of a province or region and should be applied to any heritage resource which –*
- a) is of great significance in terms of one or more of the criteria set out in s3(3) of the NHRA; and*
 - b) enriches the understanding of cultural, historical, social and scientific development in the province or region in which it is situated, but does not fulfil the criteria for Grade I status"*

Grade II resources are those which are *"so special that they need to be given a status beyond being granted recognition by being entered in the heritage register, but are not of outstanding national significance. They may be rare examples of their kind, or otherwise be highly representative of a type. They may connect closely to an event or figure of provincial/ regional significance. They may fall under national themes, or under provincial themes."*

This building is neither a rare example of its kind, nor a highly representative type and it does not have very special qualities that set it apart from other similar building types in this area.

While not especially rare, this dwelling does contribute significantly to the historical fabric of Rosebank Place and the row of houses of which it is a part of. Furthermore, this dwelling contributes significantly to the historical fabric of the greater Oranjezicht both in its streetscape qualities and because of its typological general form and detail.

The CoCT has proposed a grading of IIIA for the remaining five terrace units and as it is important to ensure the integrity of the grouping, and streamline administration processes, it makes good sense to recommend the same grading for no. 1 Rosebank Place. For these reasons, it is recommended that this building be graded as a IIIA resource.

7. HERITAGE DESIGN INDICATORS

7a. Heritage-based indicator source information

The City of Cape Town's gradings for the site and surrounds and their HPOZ statement of significance as well as other relevant information such as:

- CoCT Heritage Advice Pamphlets and
- CoCT Urban Design - (Policy number 12986, December 2013)

provide information which is referred in establishing the statements of significance for built form and context in this report.

All these sources of information, in turn, inform the following site-specific heritage design indicators here below in Section 7b.

Generally, any new work must respect, retain and restore all recognised and listed significances noted here below. All new work must be sensitively considered and detailed.

Note that the City of Cape Town Heritage Resources also recommend as follows:

*"Consider replacing historically inaccurate and intrusive elements of previous alterations with more appropriate ones, but beware of over-restoration which will remove the distinguished patina of age and use that helps make the building aesthetically valuable and attractive."*⁹

7b. Site specific heritage-based indicators to guide the alterations

1. Form, footprint and roof detailing:

- Extensions to the existing footprint are to be rationalised so as to not deter from the existing typical Victorian typology which is clearly identifiable (gabled double level bay window with GF veranda and FF covered balcony).
- All extensions/ alterations are to be confined to the rear of the site and form changes to the building must not be visible from the street.

Specifically:

- Retain the existing plan form as viewed from the public domain (which is one bookend to a row of six row houses);
- Retain the existing roof form as viewed from the public domain;
- Retain the roof cover to the balcony;
- Retain the double level gabled bay window;
- Retain all painted timber barge decoration framing the cast iron gable vent;
- Retain decorative plaster mouldings on the gable wall ends;
- Retain the GF veranda and FF balcony;
- Retain all the cast-iron elements such as balcony support columns and frieze, brackets and balustrade railings on the FF;
- Retain the existing exterior plastered window and door surrounds;
- Retain the panelled top glazed entrance door with fanlight;
- Retain the FF French door with fanlight which opens onto the balcony;

2. Boundary treatment

- Retain the low boundary wall with original columns, gate and cast-iron railings;

⁹ Refer to CoCT publications entitled *"The least you need to know about caring for your old building"*.

-
- No private parking should be allowed off-street in the front garden area as this will severely detract from the visual line of the six terraces as they stand in addition to compromising kerbside parking in public space.
3. Roofscapes – considerations for new roof related work (projecting or inverse dormer /roof window/ roof terrace):
- Where inserting new openings into the existing roof space, refer to CoCT guidelines as per Figure 13.
 - New dormer windows are to fit within the existing roofscape in size and be similar in detailing. They should not only deal with internal functioning and they should successfully hide the additional level function with the roofscape still reading as a dominant form;
 - A new dormer window should be a similar scale to the existing roof and row of rooves as it will dominate the context unsuccessfully if not so designed;
 - The existing roof and row of rooves should not be 'crowded' with too large a roof window /door unit. The new dormer or roof window should not extend to the apex of the roof, it should remain subsidiary to the main roof and row of rooves;
 - Skylights should not be visible from the street;
 - The roof terrace, as an outside room must respect and fit with the scale of the house and the row of houses;
 - Where portions of the roof are removed to create and an outdoor area, care needs to be taken to preserve the overall character and shape of the roof.
4. Construction and detailing
- Retain all significant external timber windows, doors floor finishes, skirtings, cornices, ceilings, stair and so forth. If elements are to be replaced, the form and scale (the size and profile of the timber section for example) and the treatment of replacement elements must match or complement the existing as a new layer of work;
 - Re-use and refurbish existing elements and finishes where possible;
 - Where it is not possible to refurbish existing elements – replace existing elements with carefully and thoughtfully designed new elements that complement the authentic existing elements;
 - Refer to details of the existing work and respond accordingly with a new layer of identifiable and appropriate detail design where new work is proposed.
5. Materials, details, finishes and colour
- Extend the material palette and finishes (plastered and painted walls, painted timber window and door frames) and the colours of walls, roof, window and door surrounds in additions to the existing buildings to blend with other buildings in the group and the surrounding area;

Specifically:

- Retain and/or match 220mm deep skirtings;
- Retain all authentic internal joinery (the stair, skirtings and architraves) and design new work to complement the existing;
- Retain the internal living room fireplace and surround;
- Retain suspended timber floors and match where repairs are required;
- Retain original internal doors with architraves;
- Retain original boarded ceilings;
- New roofing materials should be fibre cement slate (un-mitred) or sheeted iron and grey in colour;

- New wall surfaces are to be plastered brick and preferably painted a light colour;
- New materials such as composite timber / fibre cement plank elements could also be introduced for different textures in new dormer roof detailing;
- Refer to details of the existing work and respond accordingly with a new layer of identifiable and appropriate detail design where new work is proposed.

A checklist in table format is provided (Appendix A) as a means to evaluate of the development proposal against the indicators provided.

7 ROOFSCAPES in Heritage Areas and of Historic Buildings

City of Cape Town Heritage advice pamphlet 7



Figure 13: Guidance for new roof related work

Source: Extracts from CoCT Heritage advice pamphlets with notes added by URA+HP

DORMER WINDOWS, GABLE WINDOWS AND SKYLIGHTS

The following are guidelines for the design of dormer windows and skylights:

- Dormer windows can be built into the roof or built up from the exterior wall or can start partially below the eaves line. Whichever method is used, the alterations should be sensitive to the existing roof, which should retain its importance.
- Certain pitched roofs may, however, not be able to accommodate dormer windows for example, the roof pitch may be too low to comply with legal minimum floor to ceiling heights. Changing the height of the main roof may give better internal space than too many new dormer windows.
- To reduce the scale and impact of dormer windows on a roof, they should not exceed 1,5 m wide for larger roofs or 1,2 m wide for smaller roofs. Dormer windows should not extend up to the apex of the roof and should remain subsidiary to the main roof.
- The number of dormer windows or skylights should be restricted to avoid crowding the old roof with too many openings, and to allow "breathing" space for other roof elements such as chimneys, gables and turrets.
- Dormer windows should be matching in size and style and be evenly spaced.
- Dormer windows can highlight important elements of the house for example, they can be placed over front doors or above bay windows. The layout of the existing building will give clues about how this could be done.
- Existing, original roof elements such as fascias, timber fretwork and finials should be protected, restored and replaced after fitting new dormer windows.
- Small windows serving the roof space can be placed in gable walls. Proportionally they should not be bigger than a quarter of an existing window below.
- Skylights work best when not very visible from the street.

ROOF MATERIALS AND COLOUR

Materials and detailing should match those of the existing buildings or interpret them in a contemporary manner. The following are considerations in the choice of materials and colours:

- Slate, tiles, corrugated iron and thatch are typical materials found in Heritage Areas and have their own inherent natural colours, for example dark greys or terracotta.
- Different kinds of roofs could have different materials for example, the main roof could be slate, and the verandah roof could be covered in corrugated iron.
- Corrugated iron should be used rather than commercial ribbed metal sheeting for main roofs and light weight materials like timber or glazing should be used for the cladding of dormer windows.
- Corrugated iron roofs should be painted in sympathetic natural colours such as shades of grey or deep green to prevent glare. Bright primary colours should be avoided. White or very light colours are reflective and can cause disturbance to neighbours.

ROOF DECKS AND ENTERTAINMENT DECKS

In certain historical areas, timber decks extending out from buildings have little historic precedent and can easily disrupt the relationship between the street and the building. In some circumstances covered stoeps and verandahs, integrated into the overall building design are typical for enjoying views and the outdoors and should be used in preference to a deck.

As a guide:

- When portions of a roof are removed in order to create an outdoor area, care needs to be taken to preserve the overall character and shape of the roof.
- Where the Zoning Scheme permits a rooftop to be used as a deck without overlooking the neighbours, it should be designed to have the least visual impact possible.

Figure 13: Guidance for new roof related work
(Continued...)

8. PROPOSED WORKS

8a. General consideration regarding new work

New work must take its cue from Heritage Design Indicators (Section 7) so as to respond sensitively to the existing building's massing and material detail and so complement the existing in a contemporary manner.

New built form or built form detailing as an intervention should present as an articulated / which takes its cue from the existing resource.

8b. Early sketch proposals

Early sketch options were explored for roof space access and utilisation - refer to Figure 14 below. These early proposals were discussed with the CoCT EHM officials who provided guidance and reference to the Heritage Advice Pamphlets. The comment obtained, at that time, stated that the roof addition would not be supported *“as it will detract from the significance of the typology, the historical significance of the grouping and the roofscape of the area. A smaller scaled addition i.e roof dormer that is stylistically in keeping with the period of the house could be the way forward.”*

Subsequent development has taken place, taking into regard the heritage design indicators which are derived from information provided in the Heritage Advice Pamphlets as per Figure 13, new proposals are presented here.

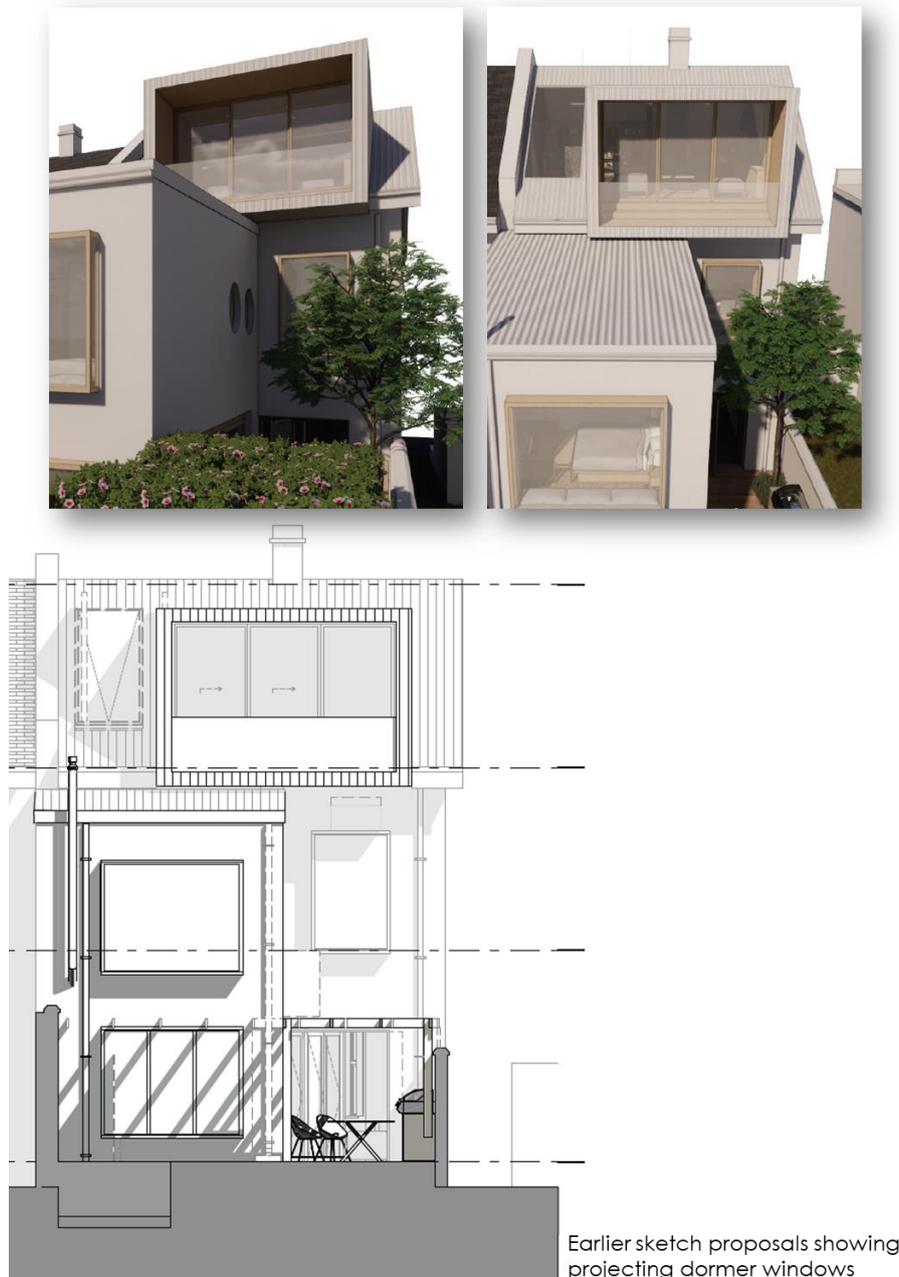


Figure 14: Early dormer window explorations
Source: Swansilva Architecture

8c. Proposed scope of work

Ground storey

- **New openings between living room and new kitchen (ex dining room)**
Refer to Figure 15
- **Convert existing dining room into a kitchen;**
Refer to Figure 16
- **Convert existing altered kitchen area into a dining room and retain existing associated lounge space;**
Refer to Figure 17

First storey

- **Convert existing study into a new bathroom with dressing room as en-suite to the main bedroom;**
Refer to Figure 18
- **Reconfiguring existing already altered bathrooms;**
They will be reconfigured and the partition wall between them altered to enable the inclusion of a wc in bathroom 2
Refer to Figure 19
- **Break through access from bedroom 2 to one of the bathrooms to create an en-suite arrangement;**
Refer to Figure 20

Second storey (within the roof space)

- **Create a new loft bedroom space and storage within the existing roof space with access out onto a roof deck;**
Refer to Figure 21
- **Extend the existing stair to provide access to the loft area;**
Refer to Figure 22



Ceiling, picture rails, cornice and fireplace to remain intact



Two 850mm wide openings with timber lining to reveals

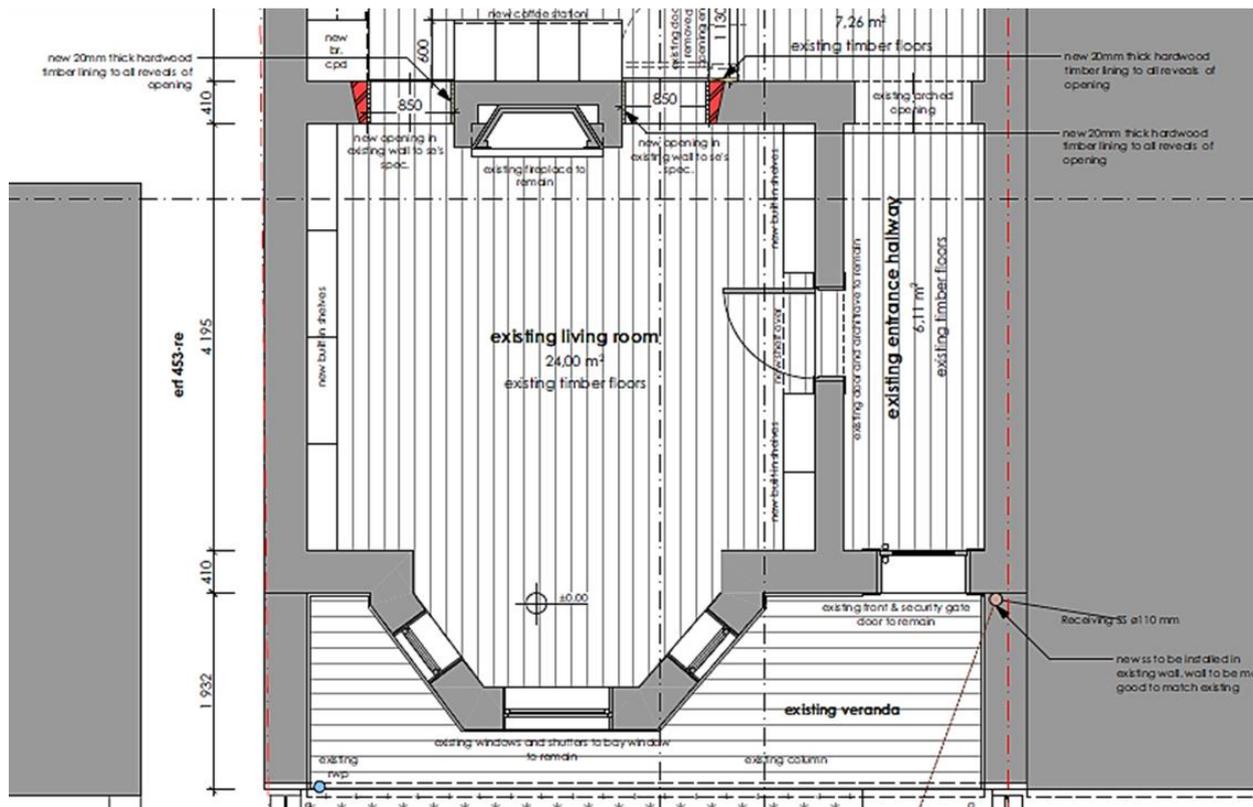


Figure 15: Proposed work: new wall opening living room – kitchen
 Source: Swansilva Architecture with URA+HP notes added



Existing kitchen

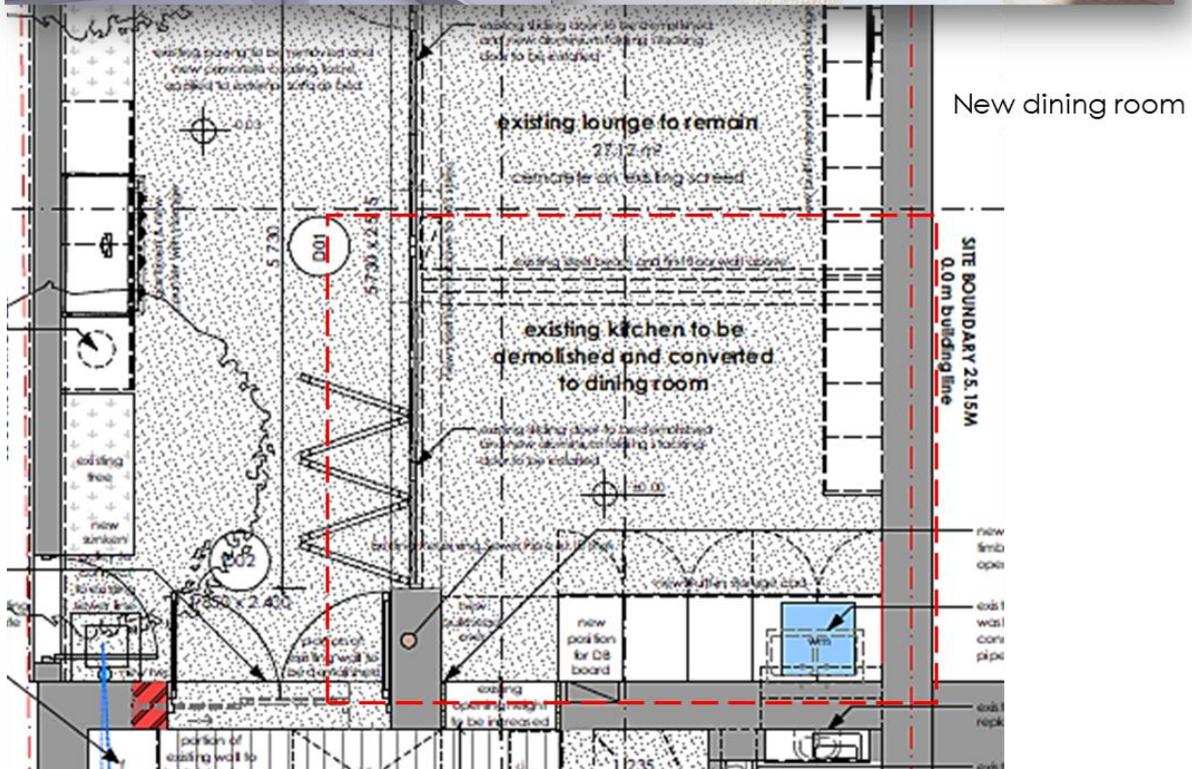


Figure 16: Proposed work: convert existing kitchen to dining room
Source: Swansilva Architecture with URA+HP notes added

Existing dining



New kitchen

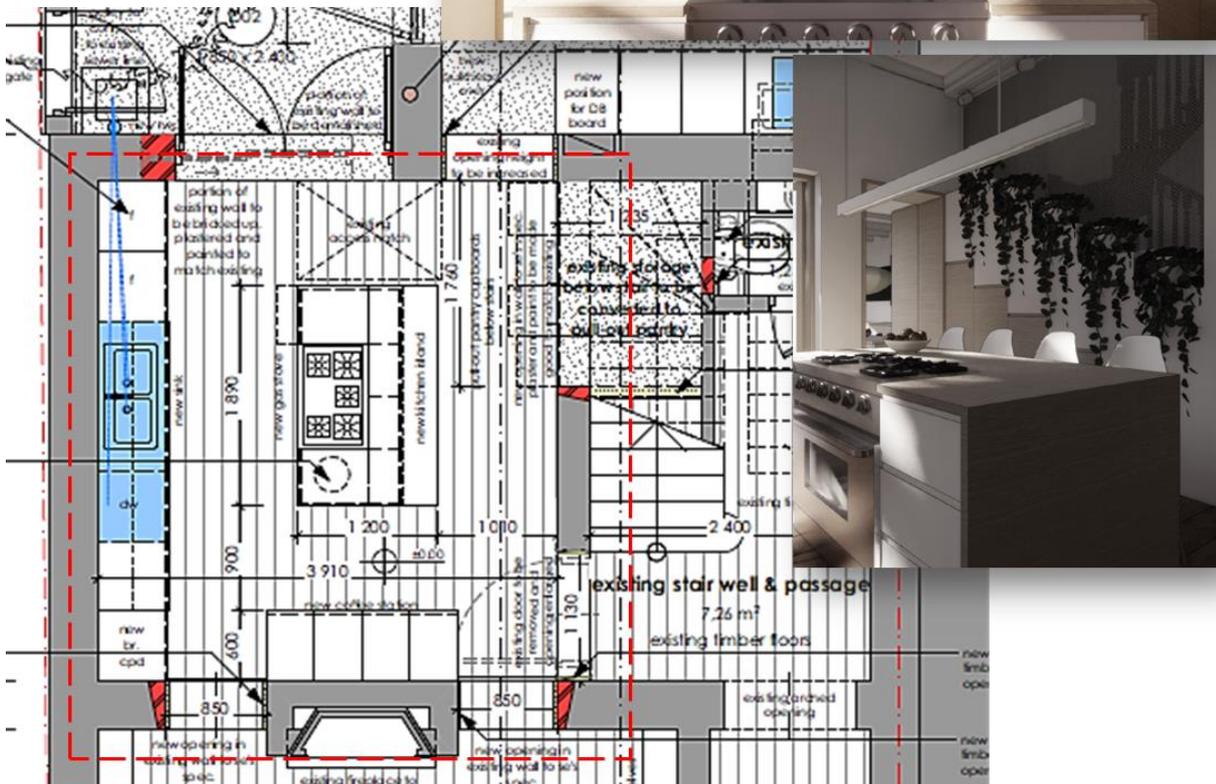


Figure 17: Proposed work: convert existing dining room to kitchen
Source: Swansilva Architecture with URA+HP notes added



Existing study



New main bathroom

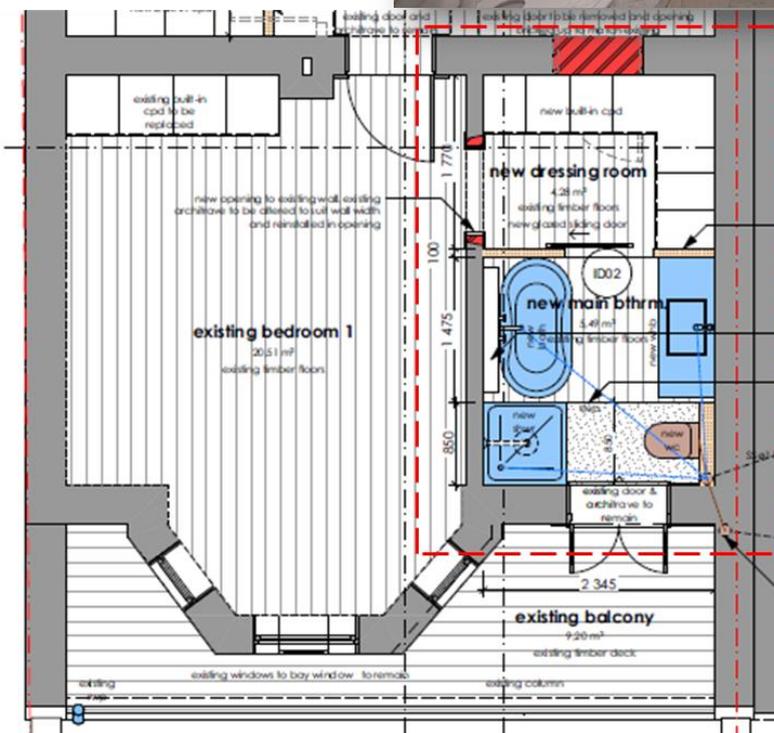
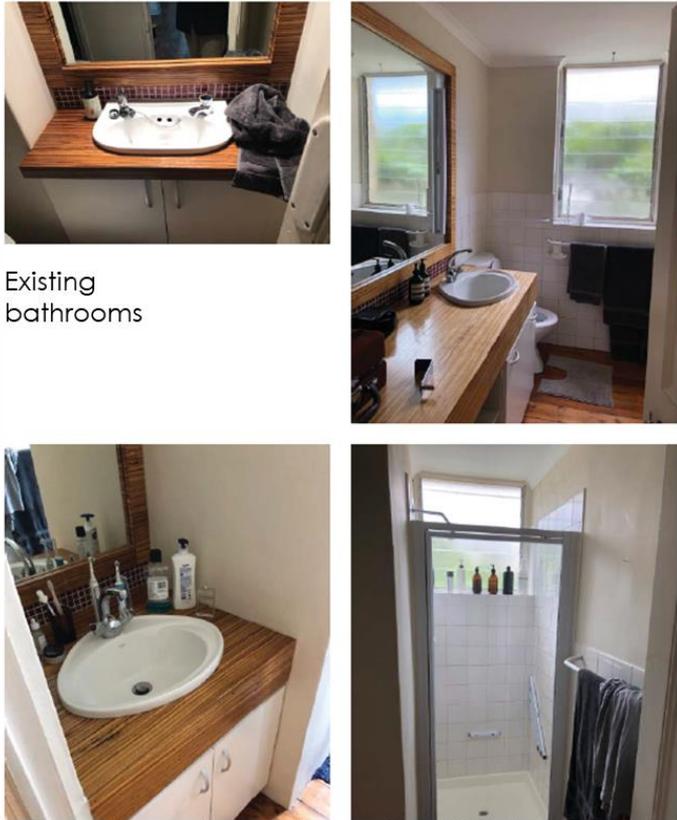


Figure 18: Proposed work: convert existing study to new bathroom + dressing room
Source: Swansilva Architecture with URA+HP notes added



Existing
bathrooms

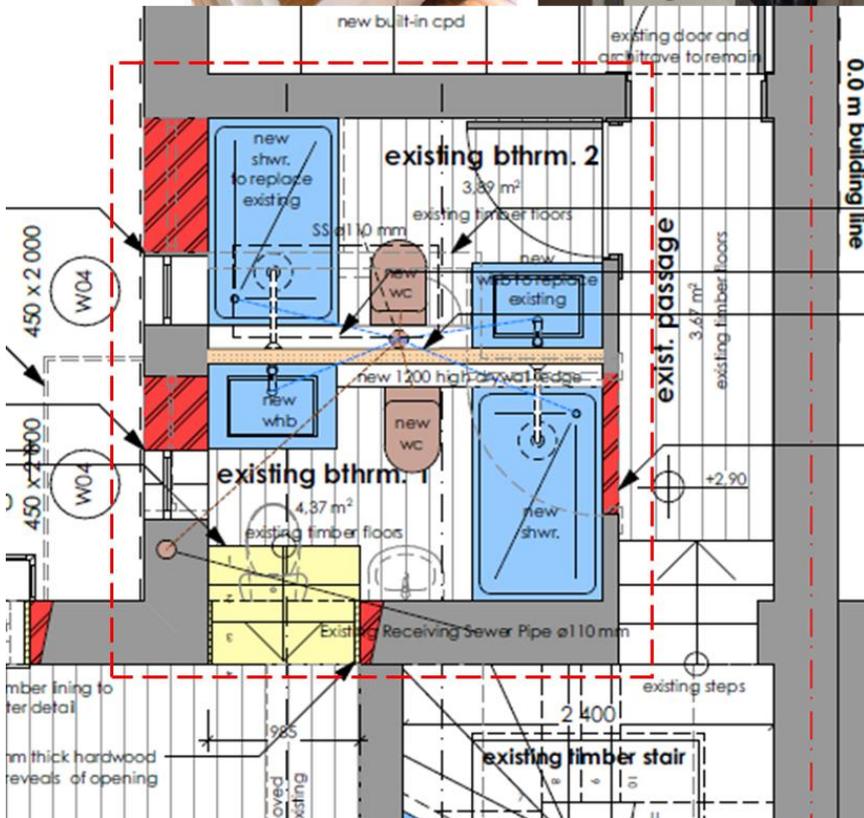
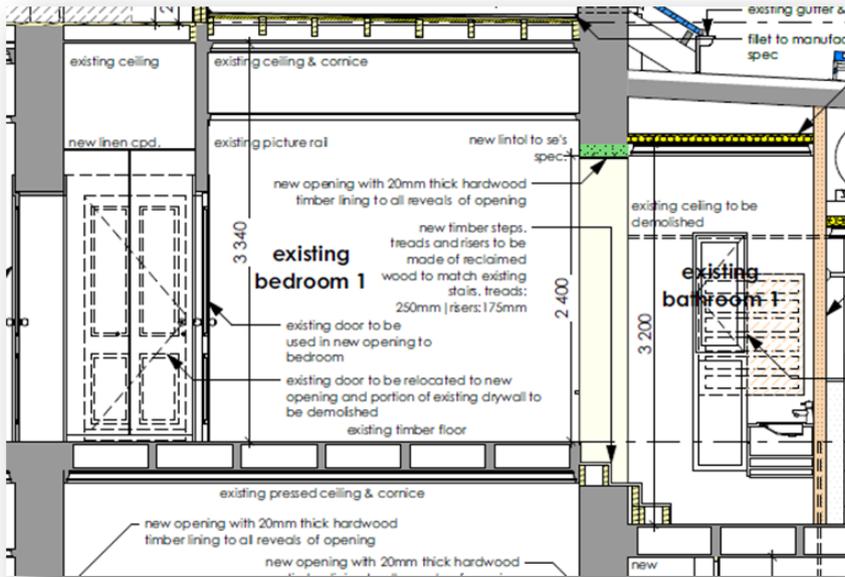
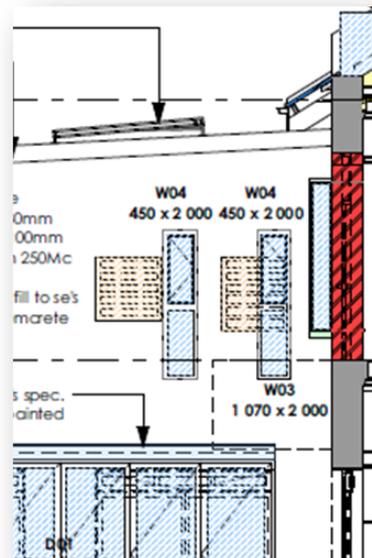
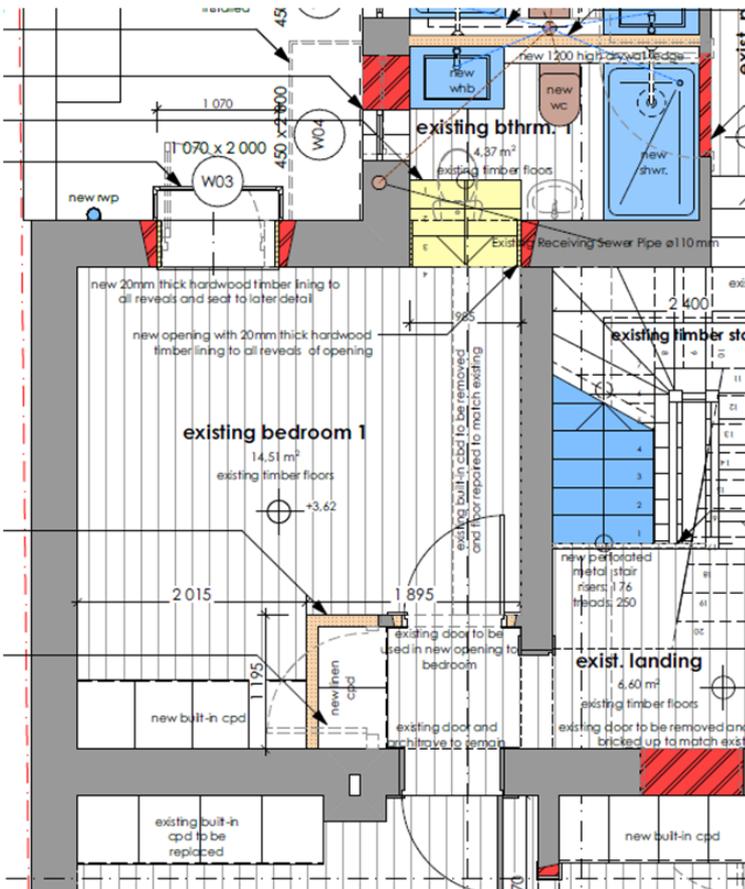


Figure 19: Proposed work: convert altered bathroom to two separate bathrooms
Source: Swansilva Architecture with URA+HP notes added

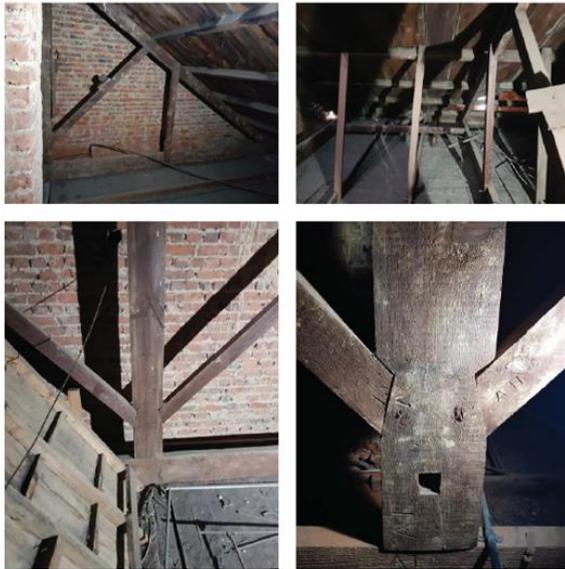


New access from existing bedroom to bathroom



Exterior window changes

Figure 20: Proposed work: new opening from bedroom 1 to en-suite bathroom
Source: Swansilva Architecture with URA+HP notes added



Existing roof space

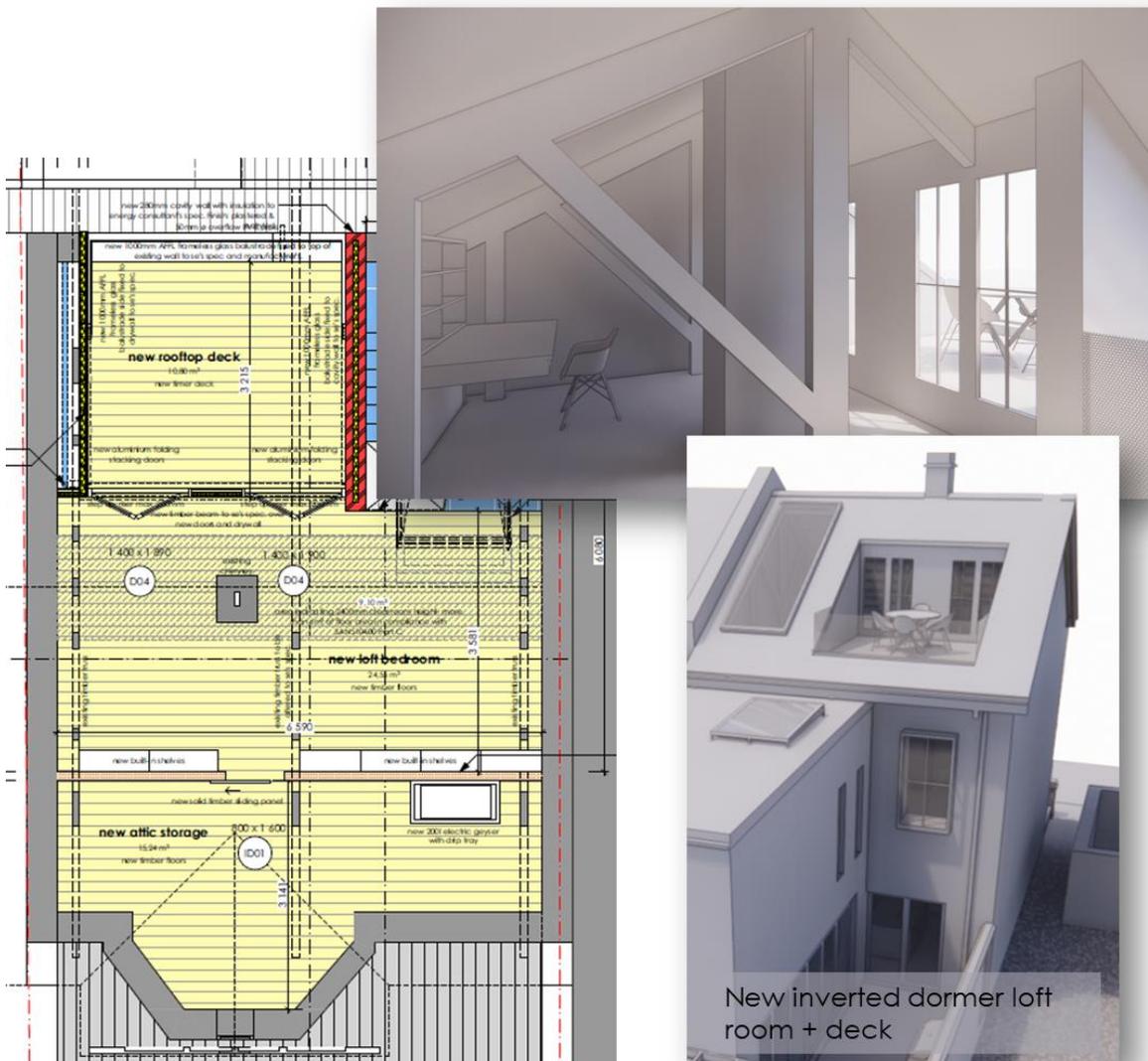


Figure 21: Proposed work: new loft bedroom space within the existing roof space
 Source: Swansilva Architecture with URA+HP notes added

9. CONCLUSIONS AND RECOMMENDATIONS

Preliminary comments and recommendations are as follows:

9a. An evaluation of impacts on the Heritage Resource

The heritage resource is defined as both the building on the site and its context which is the grouping of six houses in Rosebank Place Oranjezicht and therefore one must evaluate impacts in both domains – the house and its context.

Cognisance has been taken of the design indicators and this is evident when assessing the new development proposals which have evolved to be more sensitive and which retain the predominant roof shape. The scale and impact of the new inverted dormer is acceptable in this context as it

- Located to the rear side of the site
- It does not reach the roof apex and
- it does not crowd the existing roofscape.

The overall character and shape of the existing roof is largely preserved internally and externally. Furthermore, the material choices are contemporary and complementary to the asbestos replacement roofing material which is a dark grey metal sheeting.

In evaluating impacts, we revert to the checklist, in table format, which is provided as a means to evaluate the development proposal against the heritage indicators provided.

As all of the heritage indicators have been assessed to be compliant, there is irrefutable evidence that the development proposal meets with all requirements. Some engineering considerations regarding the new layer of detail design is still in progress, however, principals and intent are aligned and clearly demonstrated to be in accordance with the heritage indicators provided.

The proposal does not impact negatively on the heritage resources in any way. The proposal provides additional accommodation within the current built form envelope in ways that will enhance the experience of living in the existing dwelling in this urban environment. The new work is sensitive detailed so as to effect minimum impact. It is clearly detailed as new work which skilfully addresses the challenges brought about by previous alterations whilst enhancing the existing heritage assets which are to be retained.

This proposal is recommended for approval.

The End.

APPENDIX A – HERITAGE DESIGN INDICATOR CHECK LIST

Source: Ursula Rigby Architect and Heritage Practitioner

NO. 1 ROSEBANK PLACE, ORANJEZICHT, CAPE TOWN

Rating Heritage indicator assessment

	Complies well
	Generally in accordance, design development in process
	Does not comply, re-design required

HERITAGE DESIGN INDICATORS

TABLE TO BE COMPLETED FOR THE EVALUATION OF THE DEVELOPMENT PROPOSAL

Identifying characteristics and form giving elements:

1	Extensions to the existing footprint are to be rationalised so as to not deter from the existing typical Victorian typology which is clearly identifiable (gabled double level bay window with GF veranda and FF covered balcony);		
2	All extensions/ alterations are to be confined to the rear of the site and form changes to the building must not be visible from the street;		
3	Retain the existing plan form as viewed from the public domain (which is one bookend to a row of eight row houses);		
4	Retain the existing roof form as viewed from the public domain;		
5	Retain the roof cover to the balcony;		
6	Retain the double level gabled bay window;		
7	Retain all painted timber barge decoration framing the cast iron gable vent;		
8	Retain decorative plaster mouldings on the gable wall ends;		
9	Retain the GF veranda and FF balcony;		
10	Retain all the cast-iron elements such as balcony support columns and frieze, brackets and balustrade railings on the FF;		
11	Retain the existing exterior plastered window and door surrounds;		
12	Retain the panelled top glazed entrance door with fanlight;		
13	Retain the FF French door with fanlight which opens onto the balcony;		

CoCT Heritage Protection Overlay Zone related indicators

14	Retain and contribute towards the unique heritage environment with its high density of highly conservation worthy resources of Victorian building stock, detached, terraced, single and double storey. Retain the decoration (ironwork, fretwork, plaster detailing and so forth) and fine grain form that exists in this particular grouping of row houses;		
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CoCT Urban Design Policy

15	Respect the heritage and cultural landscape of the city and integrate new proposals within their existing context by: creatively adapting buildings of historic or architectural value, responding sensitively in terms of building height and massing and by complementing the style and material palette of a building in a contemporary manner, by using appropriate technologies and modern detailing;		
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Roofscapes - considerations for new roof related work (such as projecting or cut-in dormer /roof window /roof terrace)

16	New dormer windows are to fit within the existing roofscape in size and be similar in detailing. They should not only deal with internal functioning and they should successfully hide the additional level function with the roofscape still reading as a dominant form;		
17	A new dormer window should be a similar scale to the existing roof and row of rooves as it will dominate the context unsuccessfully if not so designed;		
18	The existing roof and row of rooves should not be 'crowded' with too large a roof window /door unit. The new dormer or roof window should not extend to the apex of the roof, it should remain subsidiary to the main roof and row of rooves;		
19	Skylights should not be visible from the street;		

20	The roof terrace, as an outside room must respect and fit with the scale of the house and the row of houses;		
21	Where portions of the roof are removed to create an outdoor area, care needs to be taken to preserve the overall character and shape of the roof;		
Window and Door proportions			
22	Respect the height and width relationships of the existing building group and window and door elements in façades in the overall design. Windows and doors have predominantly vertical proportions. Maintaining these proportions creates a visual unity and should be respected in alterations;		
23	Large openings such as sliding doors should be avoided unless they are screened by verandas or pergola/sunscreen structures;		
Construction and detailing			
24	Retain all significant external timber windows, doors floor finishes, skirtings, cornices, ceilings, stair and so forth. If elements are to be replaced, the form and scale (the size and profile of the timber section for example) and the treatment of replacement elements must match or complement the existing as a new layer of work;		
25	Re-use and refurbish existing elements and finishes where possible;		
26	Where it is not possible to refurbish existing elements – replace existing elements with carefully and thoughtfully designed new elements that complement the authentic existing elements;		
27	Refer to details of the existing work and respond accordingly with a new layer of identifiable and appropriate detail design where new work is proposed;		
Materials, details, finishes and colour			
28	Extend the material palette and finishes (plastered and painted walls, painted timber window and door frames) and the colours of walls, roof, window and door surrounds in additions to the existing buildings to blend with other buildings in the group and the surrounding area;		
29	Retain and/or match 220mm deep skirtings;		
30	Retain all authentic internal joinery (the stair, skirtings and architraves) and design new work to complement the existing;		
31	Retain the internal living room fireplace and surround;		
32	Retain suspended timber floors and match where repairs are required;		
33	Retain original internal doors with architraves (re-use where removed);		
34	Retain original ceilings;		
35	New roofing materials should be fibre cement slate (un-mitred) or sheeted iron and grey in colour;		
36	New wall surfaces are to be plastered brick and preferably painted a light colour;		
37	New materials such as composite timber / fibre cement plank elements could also be introduced for different textures in new dormer roof detailing;		
38	Refer to details of the existing work and respond accordingly with a new layer of identifiable and appropriate detail design where new work is proposed;		
Boundary Treatment			
39	Retain good streetscape interface with original low boundary wall, columns, gate and cast-iron railings.		

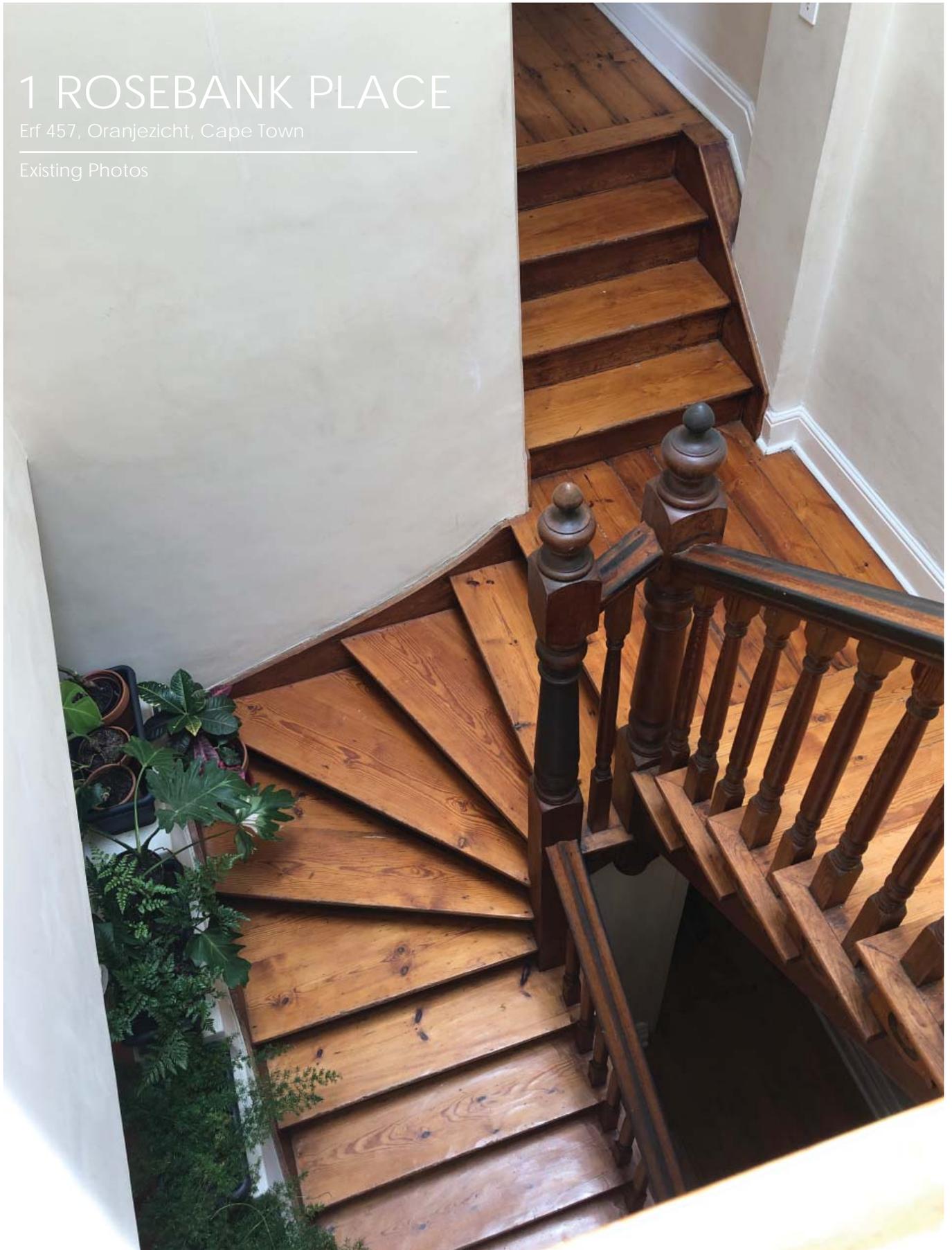
APPENDIX B – PHOTOGRAPHIC IMAGES OF THE EXISTING HOUSE

Source: Swansilva Architects

1 ROSEBANK PLACE

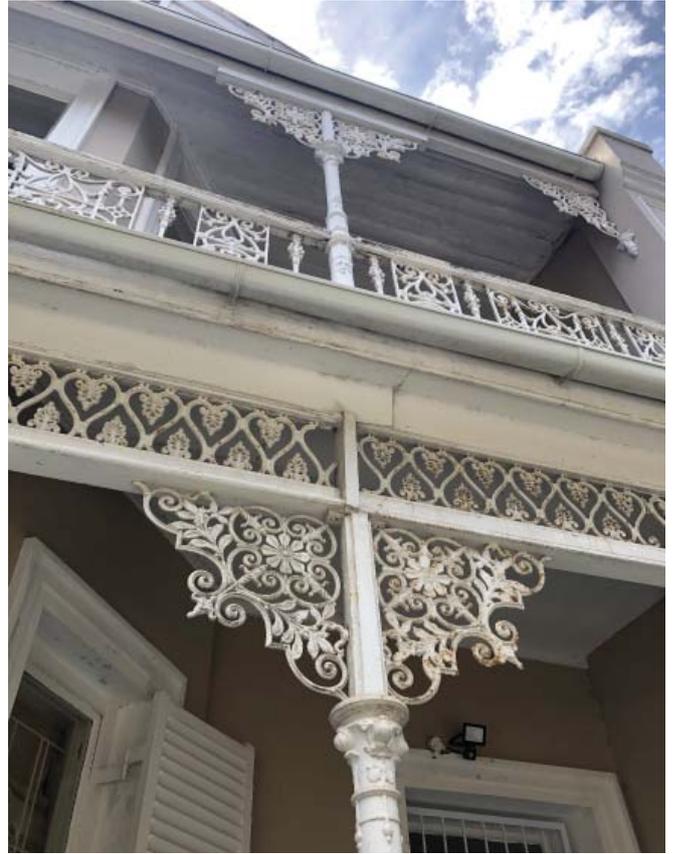
Erf 457, Oranjezicht, Cape Town

Existing Photos

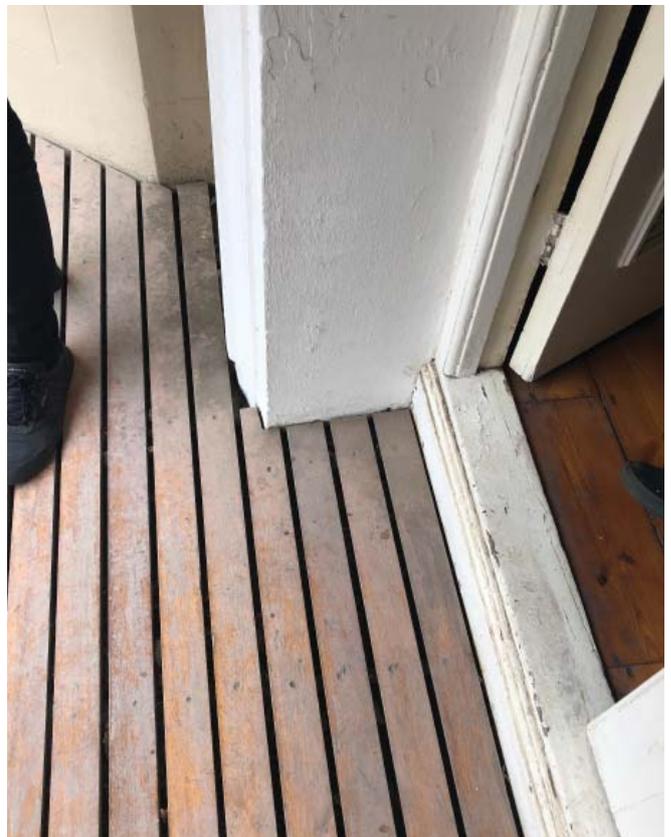


1 Rosebank Place | Erf 457, Oranjezicht, Cape Town | Existing Photos

Exterior | Existing Elevation on Rosebank Place & Facade Details



Exterior | First Floor Balcony (currently deteriorating and unstable - refer to engineer's report)



1 Rosebank Place | Erf 457, Oranjezicht, Cape Town | Existing Photos

Exterior | North & Western Garden, Aluminium Windows Installed by Previous Owner and Deteriorating Pergola



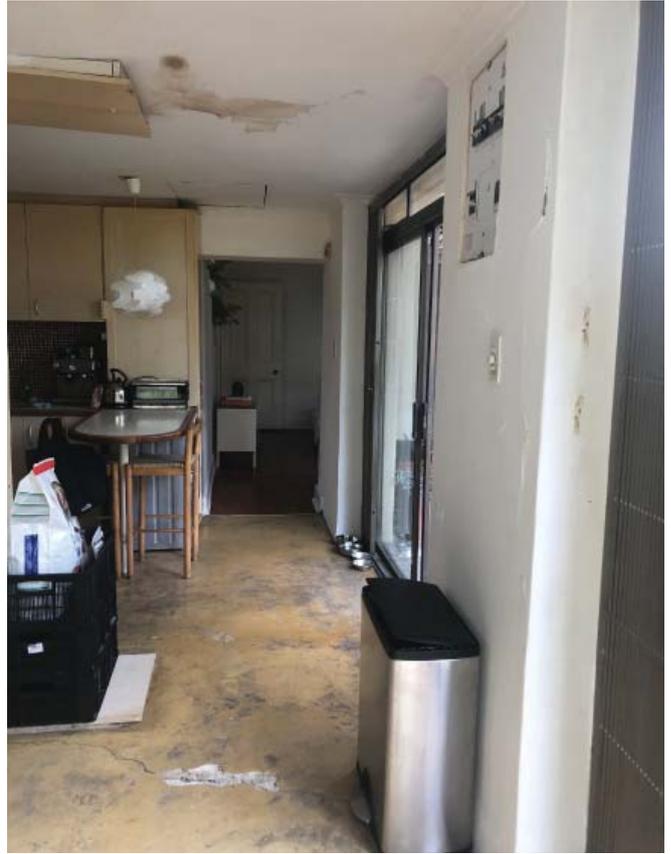
1 Rosebank Place | Erf 457, Oranjezicht, Cape Town | Existing Photos

Exterior | North & Western Garden, Aluminium Windows Installed by Previous Owner and Maintenance Required to External Walls



1 Rosebank Place | Erf 457, Oranjezicht, Cape Town | Existing Photos

Interior | Existing dilapidated Kitchen (please note that a portion of the dilapidated joinery has been removed since picture was taken)



Interior | Existing Dining Room Pressed Ceiling, deteriorating floor boards and View Towards Central Stair

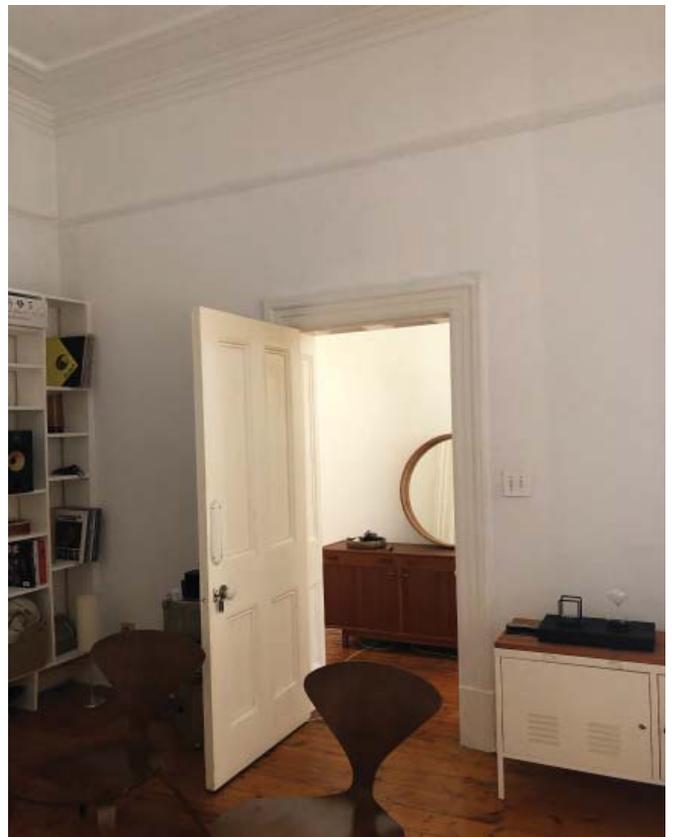


1 Rosebank Place | Erf 457, Oranjezicht, Cape Town | Existing Photos

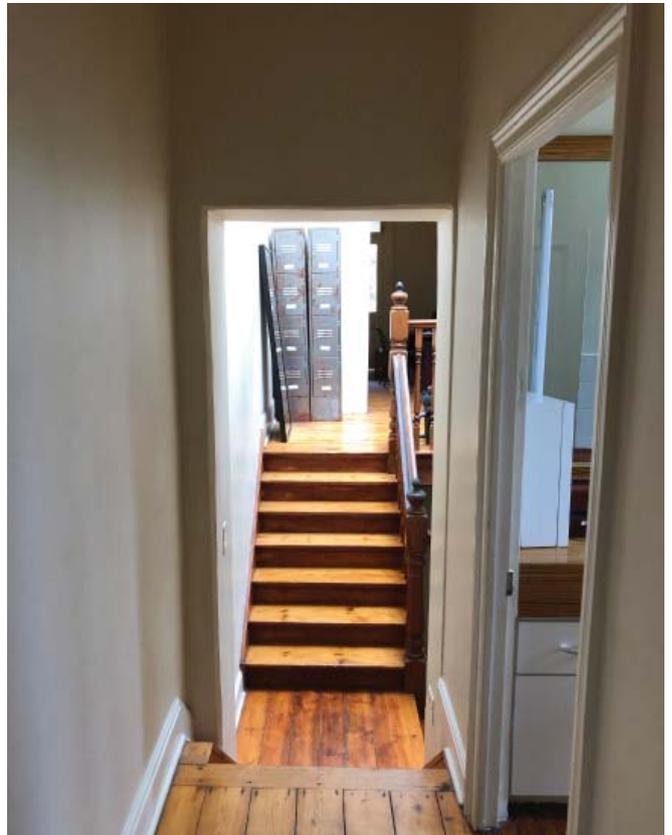
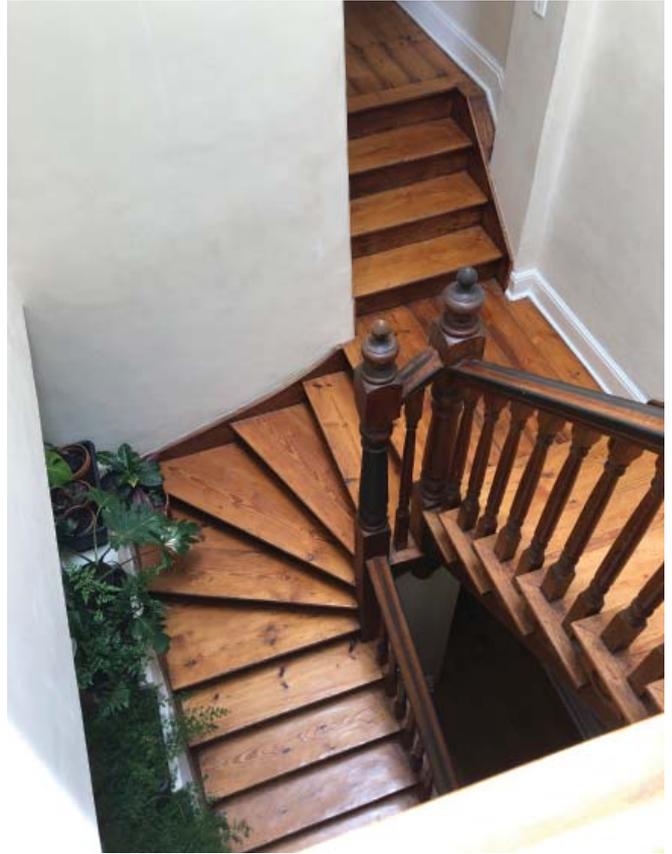
Interior | Existing Entrance Lobby Pressed Ceiling, Existing stair, Guest WC and View Down Entrance Lobby to and from Front Door

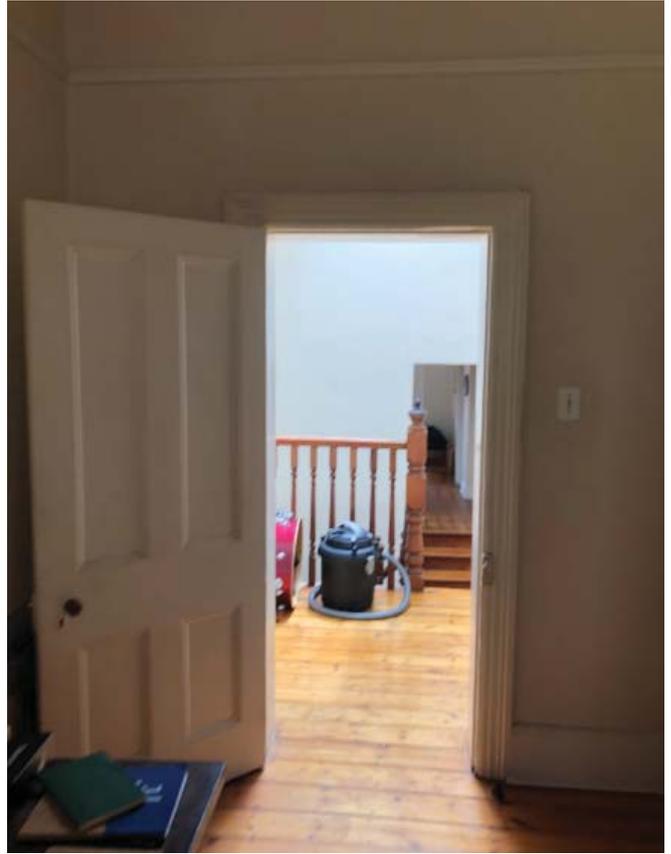


Interior | Existing Living Room (Bay window, pressed ceiling, fireplace and door from entrance lobby)

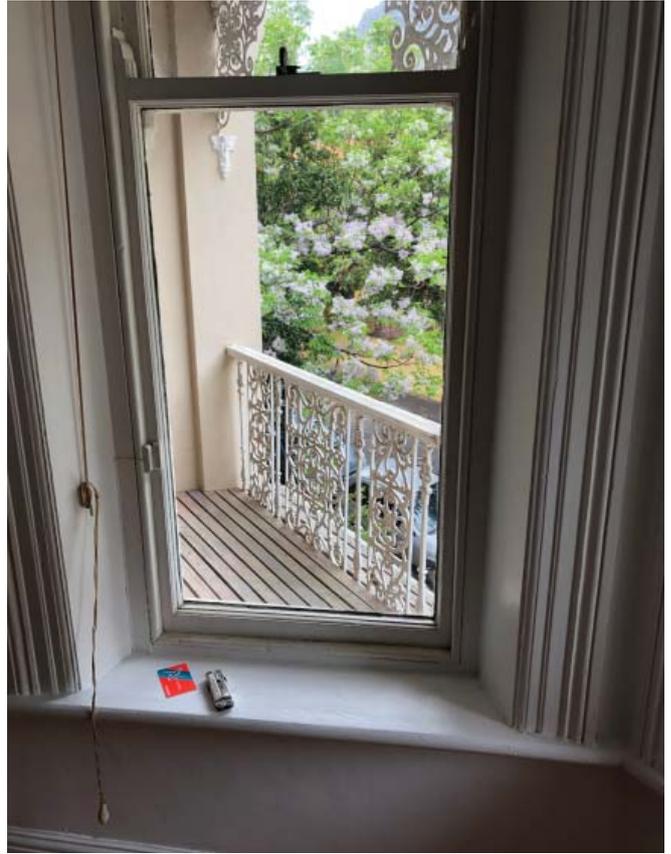


Interior | Existing Stair & Skylight (skylight requires replacement)



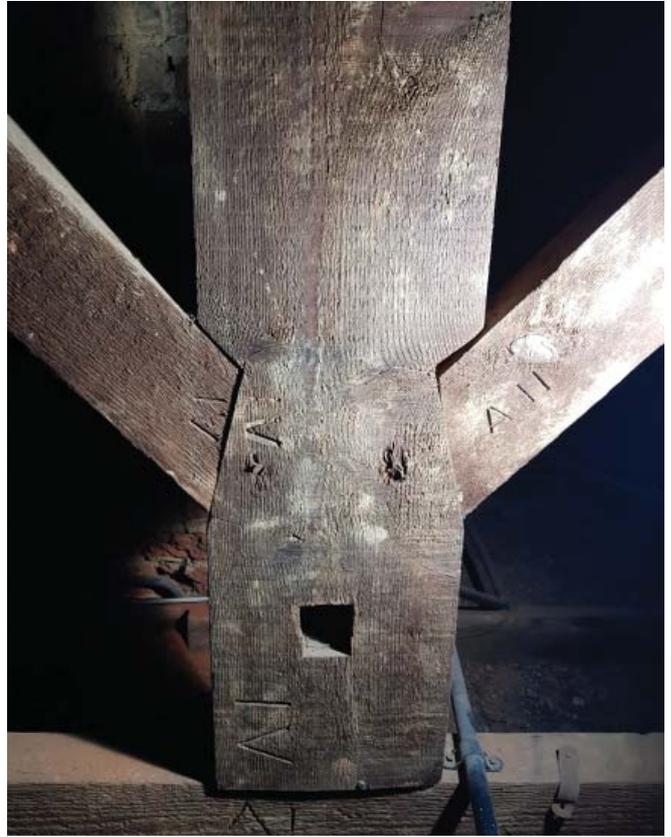


Interior | Main Bedroom Ceiling and Window with View to Balcony and Guest Bedroom below.





Interior | Existing Roof Space & Trusses



APPENDIX C – AS-BUILT DRAWINGS OF THE EXISTING RESIDENCE

Prepared by Swansilva Architects

APPENDIX D – SWANSILVA DRAWINGS SHOWING PROPOSED NEW WORK

APPENDIX E – SG DIAGRAM

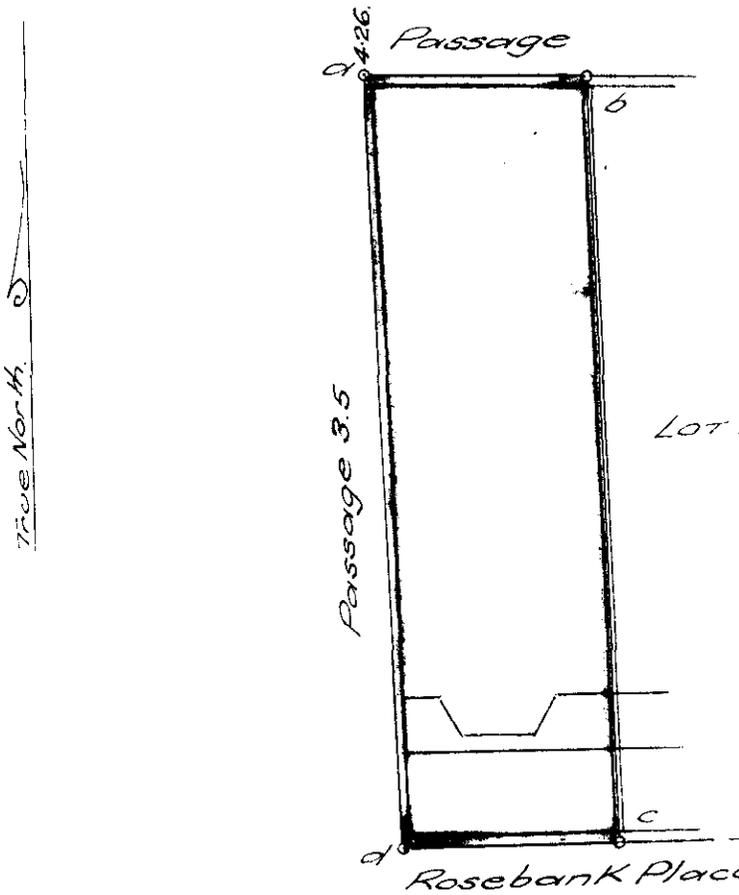
No.

3134

1921

Approved

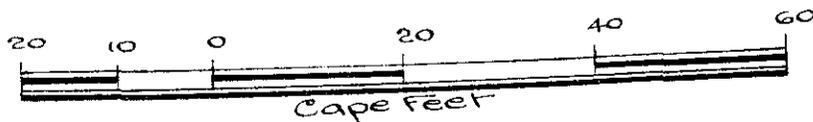
ANGLES.		SIDES.	
a	86.31.30	ab	23.4
b	93. 0. 0	bc	79.87
c	88.49.50	cd	22.7
d	91.38.40	da	80.64



NOV ERF NO. 457.

GRANTZICHT

The Wall along bc is a partly wall



The above Figure, lettered *abcd* represents — Morgen,
 12 Square Roods, 120 Square Feet of Ground, situated in The City of
 Cape Town being Lot No 1 Rosebank Place portion
 of Lots Nos 6, 7, 8 transferred to Robert Atmore on
 22nd October 1858.

Bounded N. by Passage
 S. .. Rosebank Place 30'
 E. .. Lot No 3
 W. .. Passage 3.5 feet. M 3314

ERF 457.
 Comp. 19.
 Nos.

This ... 23rd DAY OF Feb. 1922 . 1405
 by George Lundshand

Surveyed and beaconed by me according to regulations.

J. L. Thain
 Government Surveyor.
 August 1921.

C

APPENDIX F – COMMENT

To follow