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Evaluation of existing built structures on:

The Clulee on holding 30, holding 32 and holding 33 Linbro Park Agricultural

Holdings and

The Reid on holding 20, portion 1 of holding 20, holding 21, holding 22, holding

23, holding 27, holding 28 and holding 29 Linbro Park Agricultural holdings,

Gauteng, Johannesburg

In terms of Section 34 of the National Heritage Resources Act

Leap Environmental
P.O. Box 13185
HATFIELD
0028

Tel 011 344 3582

3 September 2016

Attention: Dr Gwen Theron

EVALUATION OF STRUCTURES

This evaluation was prepared with reference to the instruction received from Leap in July 2016. All the recommended areas for research and reference have been addressed to the best of our ability.

Please herewith find our findings of the status of the existing structures on The Clulee on holding 30, holding 32 and holding 33 Linbro Park Agricultural Holdings and The Reid on holding 20, portion 1 of holding 20, holding 21, holding 22, holding 23, holding 27, holding 28 and holding 29 Linbro Park Agricultural holdings, Gauteng, Johannesburg all in terms of section 34 of the National Heritage Resources Act.

Regards

A handwritten signature in black ink, appearing to read 'Engela White', with a horizontal line extending to the right.

Engela White

SACAP 7330

B. Arch (1991)

FA Arb (2011)

Certificate in Construction Law (2013) Association of Arbitrators of Southern Africa

Association of Arbitrators 2084

ICOMOS RSA 13171

1. LOCATION

The site under assessment comprise: the Clulee and the Reid;

Geographical Location: 26°05'26.81" S; 28°07'58.13" E

4.2.1. Archival Map Of The Area Under Investigation

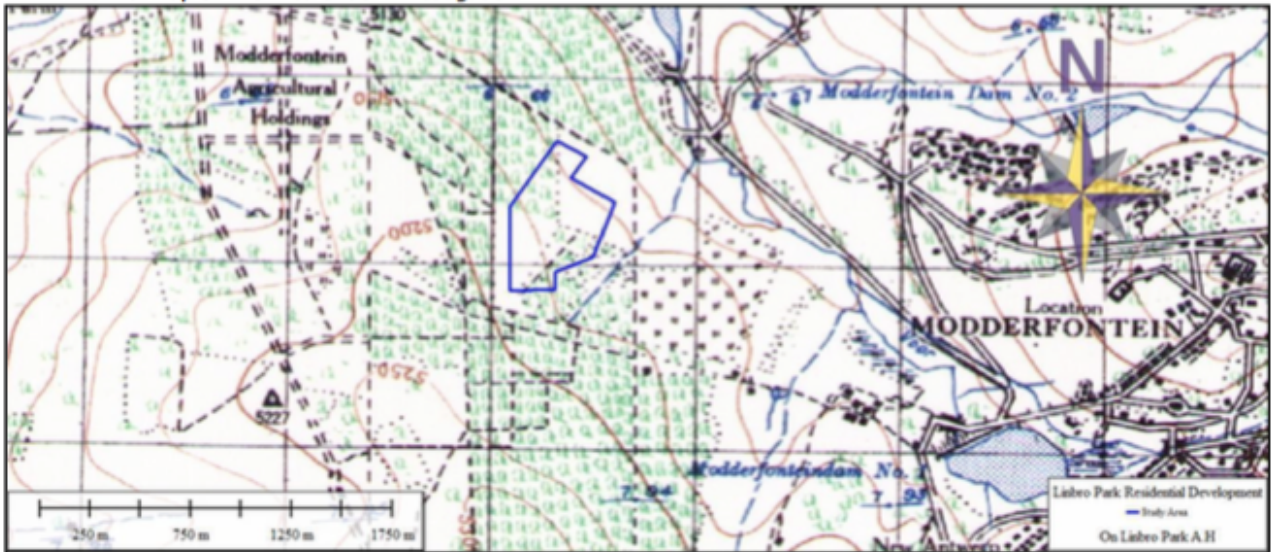
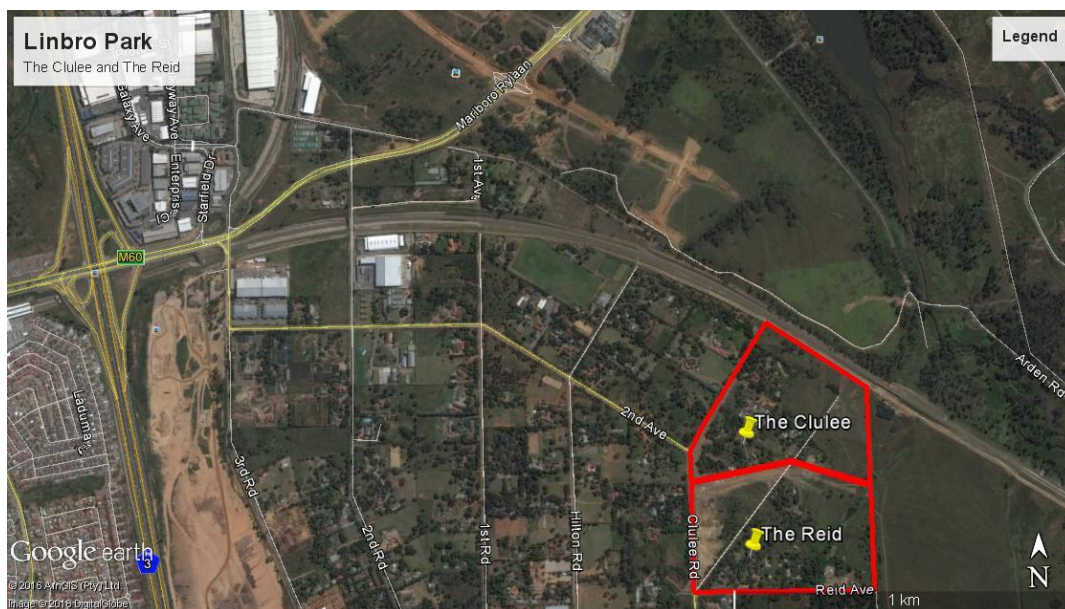


Figure 1 from map, circa 1944 in Archaeological Impact Assessment prepared by HCAC Heritage Consultants (Annexure S)



2. METHODOLOGY

2.1. DATA SOURCES

- i. Physical inspection of the site.
- ii. Historic photo's;
- iii. Original building plans of the properties adjacent to the ruins under investigation (Annexures A, B, C).

2.2. ASSESSMENT METHODOLOGY

- i. A site survey was executed to establish the quality and origin of the heritage resources on the site.
- ii. the ruins were compared with the building styles and materials as well as the dates, identified on copies of the original municipal drawings (Annexures A, B, C), of the adjacent properties, as the original building plans of the ruins on lot 20 could not be sourced.

3. THE STUDY

3.1 The site survey



figure 2: ruin of what is deemed to have been the residence on lot 20, The Reid.



figure 3: ruin of what is deemed to have been the residence on lot 20, The Reid.



figure 4 & 5: ruin of what is deemed to have been the residence on lot 20, The Reid



figure 6: ruin of what is deemed to have been the residence on lot 20, The Reid

3.1 The position and orientation of the comparative properties

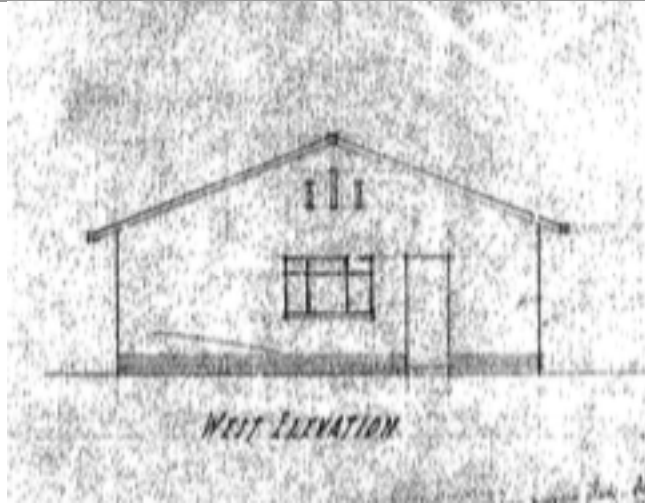


figure 7: from map, circa 1944 in Archaeological Impact Assessment prepared by HCAC Heritage Consultants (Annexure S)

| Summary of findings on municipal drawings of adjacent properties | | |
|--|-------|-----------------|
| Lot no | image | Date on drawing |
| 28 | | 1965 |

single storey residential building on a face brick plinth and with pitched roof

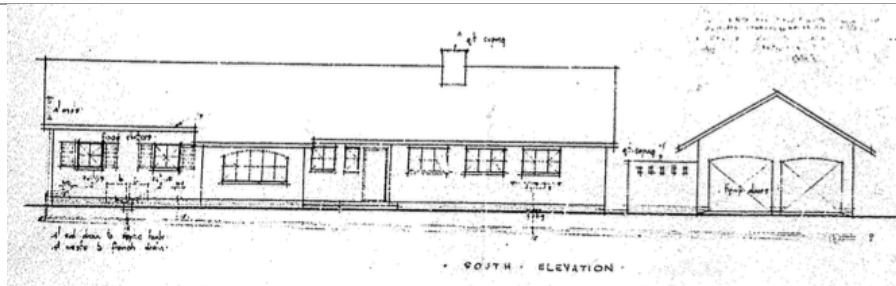
36



1961

single storey residential building on a face brick plinth and with pitched roof

38



1965

single storey residential building on a face brick plinth and with pitched roof, resulting from a linear plan form

4. CONCLUSION

It therefore concluded that:

- 4.1 A ruin could be identified on Lot 20 and a photographic record was taken thereof and included under item 3 of this report
- 4.2 The photographic record displays a single storey residential building with what is deemed to have been a pitched roof and a linear plan form. The building is supported on a face brick plinth with bag washed and painted exterior walls. Steel framed windows are still visible.
- 4.3 The original building plans of this ruin could not be located at the Local Authorities, nor with the current owner;
- 4.4 the original building plans of adjacent lots 28, 36 and 38 were located with the current owner and the dates of construction approval confirmed as 1961 and 1965 respectively;
- 4.5 the remains of the structure on lot 20 are deemed to be from the same era as mentioned under item 4.3, because:
 - a. the linear plan layout coincides with the typological plan layouts of the buildings described on the original drawings of adjacent lots 28, 36 and 38;
 - b. the elevations coincide with the typological morphology of the buildings described on the original drawings of adjacent lots 28, 36 and 38;
- 4.6 The ruins that were identified on site, are deemed to have been constructed around of after circa 1960.
- 4.7 The ruins that were identified on site, are therefore deemed to not be older than 60 years and therefore do not resort under section 34 of the Heritage Act.