





## SPECIFICATIONS

**IMPORTANT:** All Work to be done in accordance with the National and Local Building Regulations Requirements, incl. all drainage regulations and requirements incl. all plumbing and electrical work.  
**PLUMBING & DRAINAGE:** As per National Bldg Regs (SANS 10400) and waste fittings to have 100mm deep seal soil pipes connected to Municipal connection. Any foundation within 1250mm of drainline to be at, or below the level of such drainline. The minimum invert level for any rodding and/or inspection eye to be 450mm.

**STORMWATER:** Stormwater channels to guided to council stormwater system, and to discharge to front garden areas and street via council pavement channels and/or concrete splashtrays.

**RAINWATER GOODS:** 100mm halfround PVC gutters and downpipes. Gutters to be fixed to pre-painted 229 x 32 fascia boards.

**AIRBRICKS:** Minimum of one airbrick per room for cross ventilation. Decorative airbrick cover plates to owner's choice.

**FLOOR CONSTRUCTION:** Floor finishes as shown on 25mm screed on 75mm 20MPa mass concrete slab on 250 micron dp membrane (plastic underlay) on well compacted 100mm clean course sandbed on well rammed in-situ material, free from clay and organic materials.

**WALLS TO EXTENSIONS:** External walls to be 230 clay bricks to be plastered and painted on both sides. Window & door openings formed with precast conc lintols with min 3 courses brickwork with brickforce over.

**WINDOWS:** Window area to be 15% of room area, min 10% openable. Provide obscure glazing to bathroom and toilet areas. All windows in aluminium finish in colour as selected by owner.

**CEILINGS:** Skimmed Rhino ceiling boards nailed to 38x38 bracker at 400 c/c to underside of trusses. 76mm gypsum coved cornices to be used. Insulation: 140mm fibreglass blanket in ceiling.

### ROOF CONSTRUCTION:

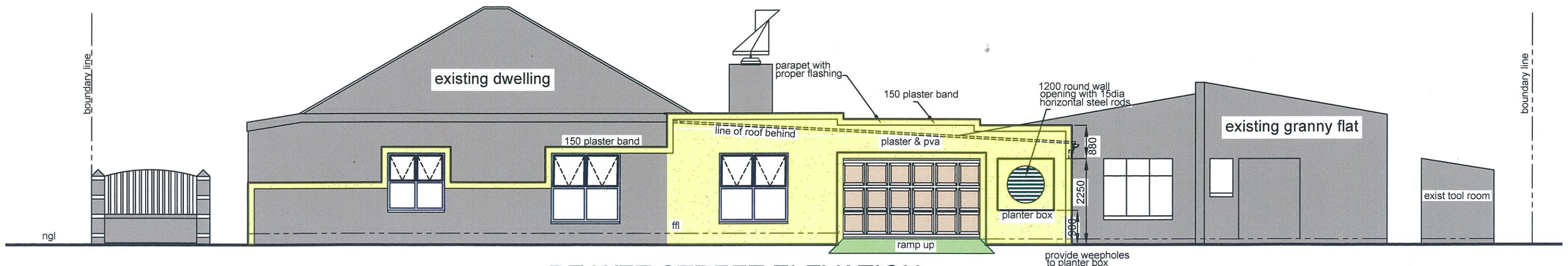
1. Recreation Room roof to be in Longspan IBR profile sheets on 152x52 purlin rafters at **1000 c/c**. Rafters and Bearer beams to be tied down to endwalls with 30 x 1.2 x 6mm galvanised hoop iron straps embedded 600mm into brickwork. Bearer beam as shown as plan. Rhino ceiling.

2. Proposed Verandah roof to be WHITE (not clear transparent sheets) fibreglass Opal 8% sheets on 75x52 purlins at 1000 c/c on 152x52 rafters at **1000 c/c**. Bearer beams as shown on plan.

**DIAGONAL BRACING:** 114 x 38 end wind bracing nailed to underside of rafters at two wall ends.



EAST ELEVATION



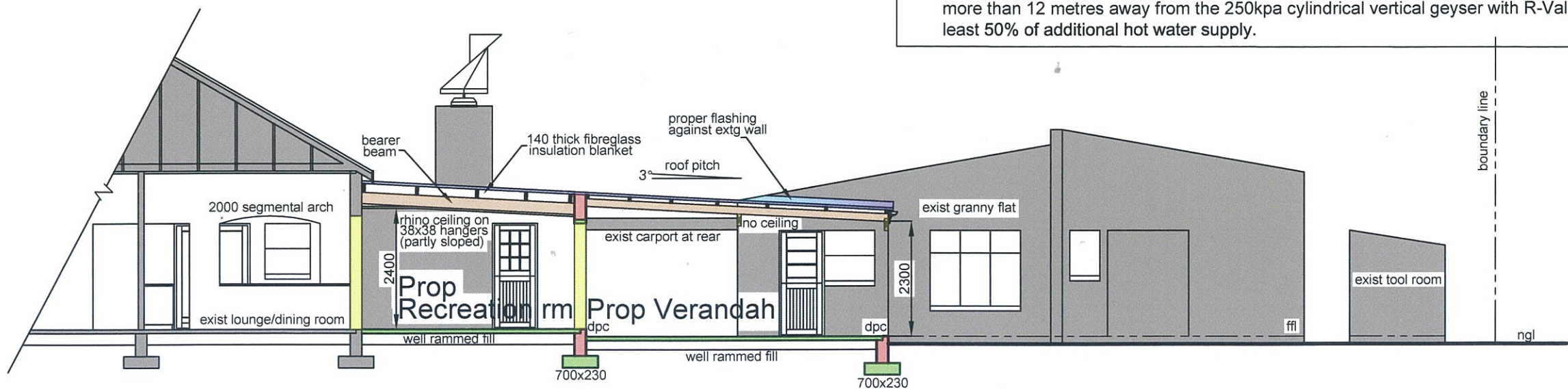
DE WET STREET ELEVATION

<b>WINSTON MOOLMAN - Construction Consultant - NDArch</b>		Designed: WIW Moolman	Apr '17
P O Box 1709, Brackenfell, 7561		Landline: 021 - 982 4699	
Cell Phone: 083 412 8212		winstonm@mweb.co.za	
Signature of Owner(s): <i>Mr Martin H Jacobs</i>		Case no.:	
Scale(s): 1:100		Drawing: no.:	RA-MJ-01
@ A3		Erf no.:	11839
PROPOSED RECREATION ROOM & VERANDAH for:		Pg no.:	2 - 3
<b>MR MARTIN H JACOBS</b>			
41 LLOYD STREET, BELLVILLE SOUTH, 7530.			
Phone: 082 493 0326.			



GENERAL NOTES

- 1. All boundary pegs, dimensions and levels to be verified on site by the contractor before works commence, or the setting out off these working drawings, are started.
- 2. Figured dimensions to be taken in preference to scaling. Any discrepancies to be reported to Architectural Technicians.
- 3. All dimensions in millimeters, unless otherwise shown.
- 4. Building work must be rendered both rodent and bird proof.
- 5. All paved areas must slope away from the buildings.
- 6. All openings in excess of 1,5m to have pre-stressed lintols over, which shall be laid in strict accordance to manufacturer's specs.
- 7. Provide brickforce lintols above all internal openings and arches.
- 8. All new electrical points to owner's discretion.
- 9. Contractor to check all exist. services before commencing works.
- 10. Concrete mix to be of 1:4:5 quality.
- 11. Structural timber to be V4, unless stated otherwise by Engineer. All portions of structural timber built intowalls to be well tarred, creosoted or encased in a dpc membrane.
- 12. No footings shall project any lateral - adjacent - boundaries.
- 13. All new windows to equal or near the sizes as shown.
- 14. This design is the property of WIW Moolman and is copyrighted, and as such it may not be traced, photographed or reproduced, nor used for any purpose whatsoever, except by written permission. Plan remains the property of WIW Moolman until all fees are fully paid.
- 15. The designers will not be held liable for any faulty workmanship due to misinterpretation as all uncertainties must be duly clarified.
- 16. Existing drain pipes to be encased in concrete wherever new construction over such areas should necessitate.
- 17. All work to comply with the Model Preambles for Trades (1992 Edition), and with the SABS Code of Practice.
- 18. Builders to arrange all site inspections with Building Inspectors as and when required during the various construction phases.
- 19. ENERGY EFFICIENCY Report: This drawing - When Approved - to be read in conjunction with the approved SANS XA report.
- 20. IMPORTANT: No Barbeque unit to be built less than 1,5m from any common boundary. Flue to be min 200mm away from combustible materials, i.e. roof timbers.
- 21. All Glass larger than 1sqm & less then 500mm ABOVE the finished floor level to be SAFETY GLAZED according to NBR.



SECTION A - A

ENERGY EFFICIENCY Report

SANS 10400-XA 'Deemed to Satisfy NBR' EE Compliance Report  
[As per 8-Point PRESCRIPTIVE ROUTE in paragraph 4.2.1(b).]

Climatic Zone: 4 (Temperate Coastal) with °S Latitude of 33,92	Building Occupancy: H4 Residential Dwelling	Occupancy Time: 24hrs/day and 7days/week
Roof Overhang Calculation based on TANGENT of Ø = 0,67	Solar Heat Gain Constant (SHGC) = 0,14	Angle of North Sun (Ø) from 23 Sept till 21 March = 33,92°
<p>1. <b>ORIENTATION OF PROPOSED RECREATION ROOM to dwelling:</b> Proposed recreation room is orientated with window facing the eastern side. Northern heat gain properties does not exist.</p> <p>2. <b>NORTHERN WALL SHADING:</b> not applicable</p> <p>3. <b>FENESTRATION TO WHOLE OF DWELLING:</b> 15,315m² / 105,46m² X 100 = 14,52% means that Dwelling does comply with the 10% and 15% Fenestration Rule of SANS 10400-XA and 204 i.r.o. Natural Ventilation. These calculations shows Glazed area divided by Nett floor area as a percentage, which should be ≥ 15%. Solar Heat Gain Constant is 0.13 (and Conductance Constant is 1.4).</p> <p>4. <b>CONCRETE FLOOR:</b> This building will have no in-slab heating, thus no under-slab insulation (min R-Value, i.e. thermal resistance, of 1) should be provided. Provide perimeter DPCourse insulation and DPMembrane insulation of R-Value 1 to slab-on-ground.</p> <p>5. <b>EXTERIOR WALLS:</b> Consists of double skin 230 clay bricks to be plastered &amp; painted on BOTH sides.</p> <p>6. <b>FLAT ROOF ASSEMBLY TO BBQ Room:</b> Longspan IBR Profile (R-Value required is min 3,35) where the heat flow is upwards. A continuous flexible fibreglass blanket (K-Value: 0.040 and density of 10-18 kg/m3) 140mm thick to be laid in roof (upon 20mm knotty pine ceiling with 0,05 R-Value). Additional R-Value as required to be improved by two coats wood sealer to ceiling. Outdoor Air Film (7m/s) is 0.03.</p> <p>7. <b>SERVICING AND CONTROL OF ENERGY:</b> BY OWNER'S CHOICE as no new plumbing works are introduced. All exposed copper and other piping in the cold and hot water domestic supply chain to be pipe-wrapped with 12,5mm black foam (Class O, min 1,5 R-Value) tubular insulation. Duct tape to be used to seal all seams and butt joints.</p> <p>6. <b>HOT WATER SUPPLY:</b> BY OWNER'S CHOICE as no new plumbing works are introduced. Domestic Heat Pump, Type ITS-4,7 HDP, to be installed to manufacturer's specs in position as specified on plan, but not more than 12 metres away from the 250kpa cylindrical vertical geyser with R-Value 2. Heat pump to supply at least 50% of additional hot water supply.</p>		

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P O Box 1709, Brackenfell, 7561		Landline: 021 - 982 4699		Drawn: RB ADAMS	
Cell Phone: 083 412 8212		winstonm@mwweb.co.za		SACAP: ST - 2447	
Signature of Owner(s):		Case no.:		PSAT	
Scale(s): 1:100  @ A3	PROPOSED RECREATION ROOM & VERANDAH for: <b>MR MARTIN H JACOBS</b> 41 LLOYD STREET, BELLVILLE SOUTH, 7530. Phone: 082 493 0326.			Drawing: no.: <b>RA-MJ-01</b>	
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